

5617 CALIFORNIA AVE SW



#3041327-EG
#3041292-LU

EARLY DESIGN GUIDANCE (ADR)
DECEMBER 13th, 2023



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5617 CALIFORNIA AVE SW



PROJECT DATA

ADDRESS: 5617 California Ave SW
Seattle, WA

LEGAL DESCRIPTION: Plat Block 20, Lot 4, Sea View Park addition to the city of Seattle.

PARCEL #: 762570-1415

PROJECT DESCRIPTION: Demo office, construct (3) 4-story buildings containing a total of (3) live-work units & (6) townhouses with (4) open parking stalls. Future unit lot subdivision.

PROJECT TEAM ARCHITECT: JW Architects, LTD

DEVELOPER: The Best Practice

LOT SIZE: 7,502 SF

ZONE: LR3 RC (M)

URBAN VILLAGE: No

ECA: No

MAX FAR: 13,503.6 SQ FT (1.8 X 7,502)

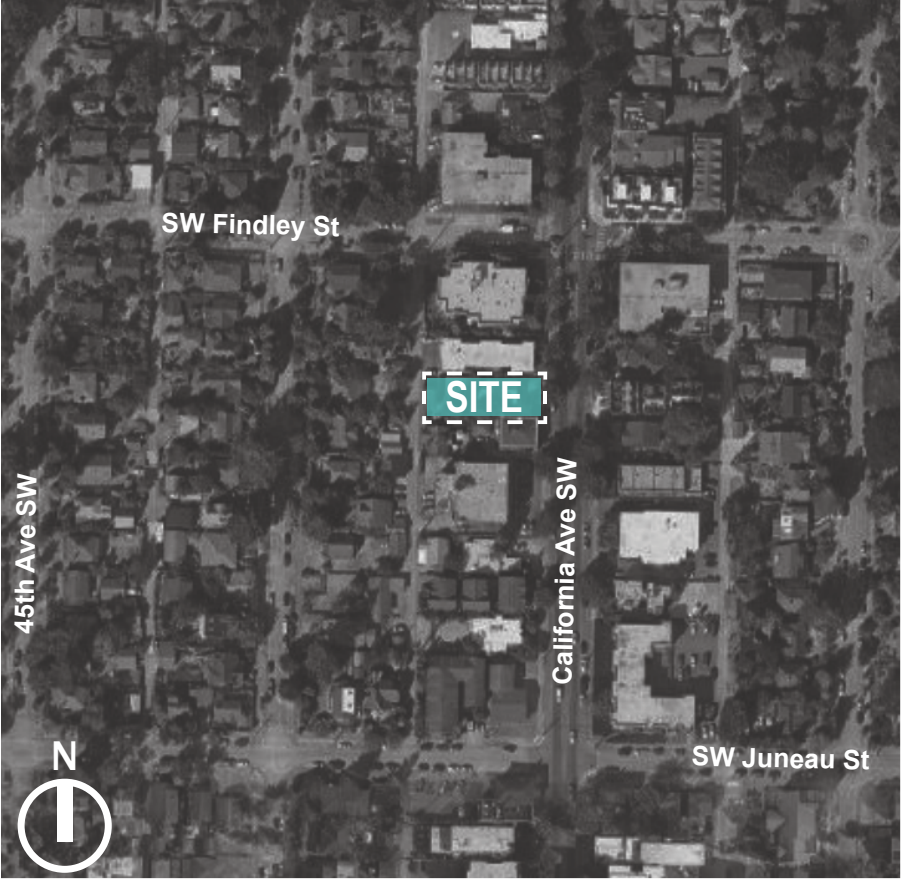
MAX HEIGHT: 40' + 4' parapet & 10' penthouse

PARKING: 1 stall per 2 residential units (frequent transit, outside urban village)
Live-Work: No parking if <1,500 sf GFA

RESIDENTIAL GFA: 12,488 SF

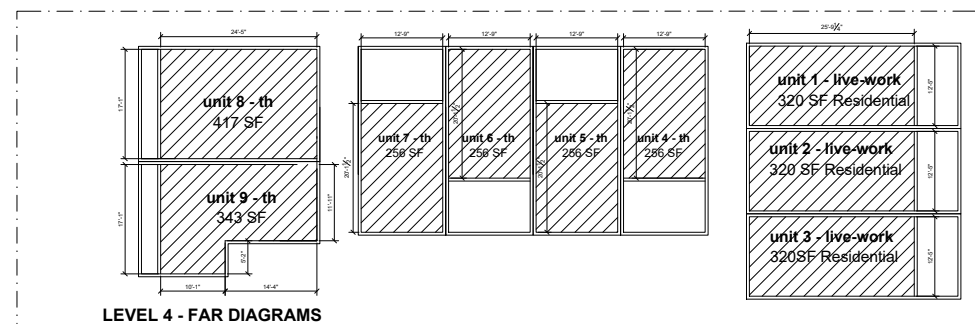
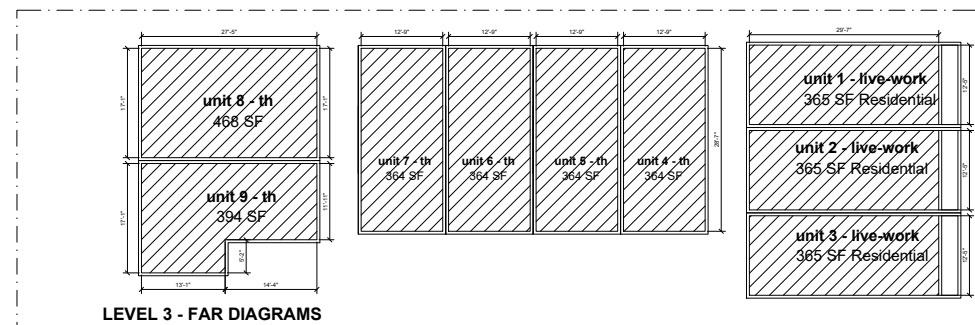
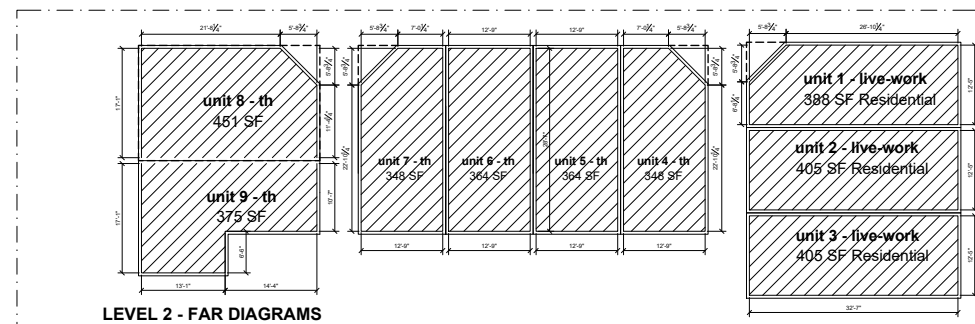
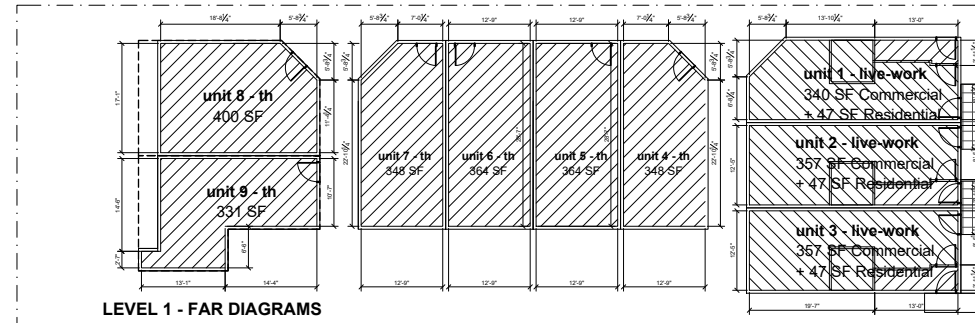
COMMERCIAL GFA: 971 SF

TOTAL GFA: 13,459 SF



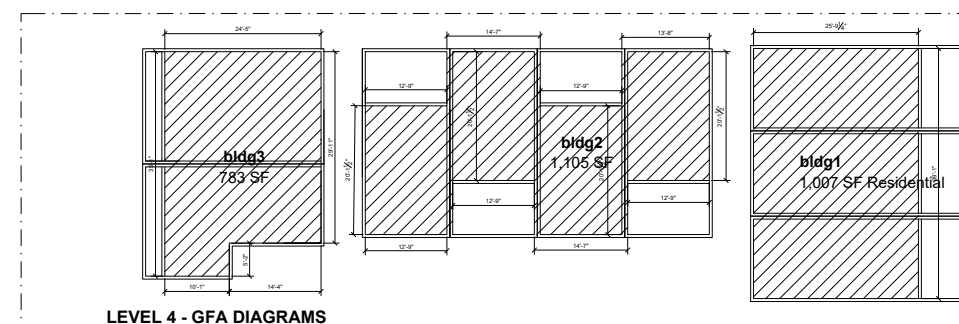
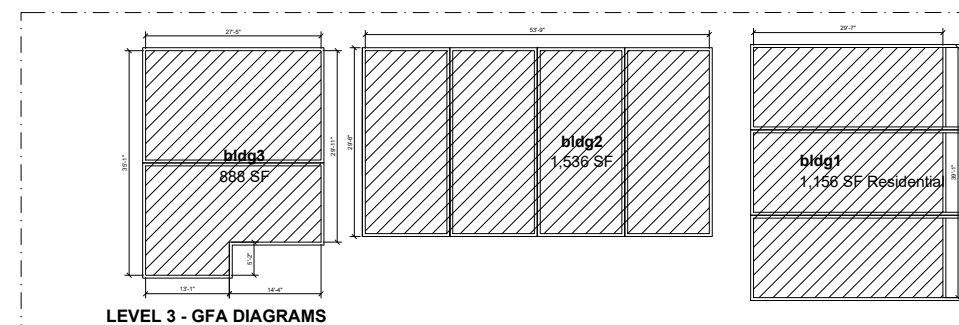
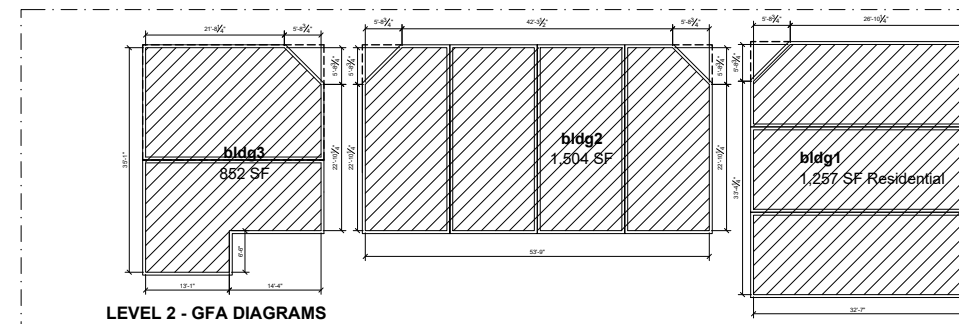
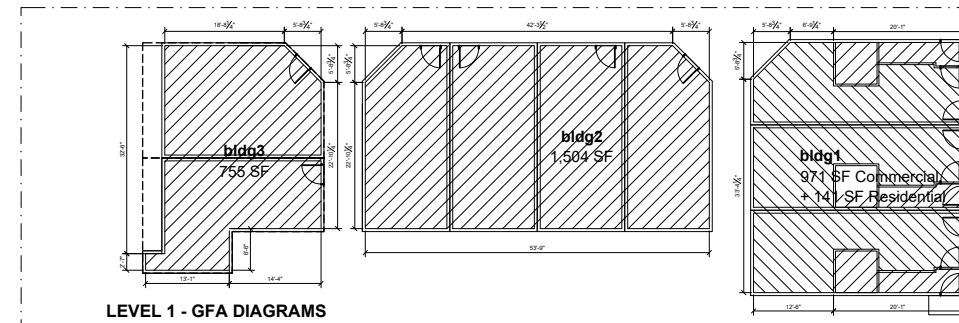
AREA SUMMARIES

FAR DIAGRAMS



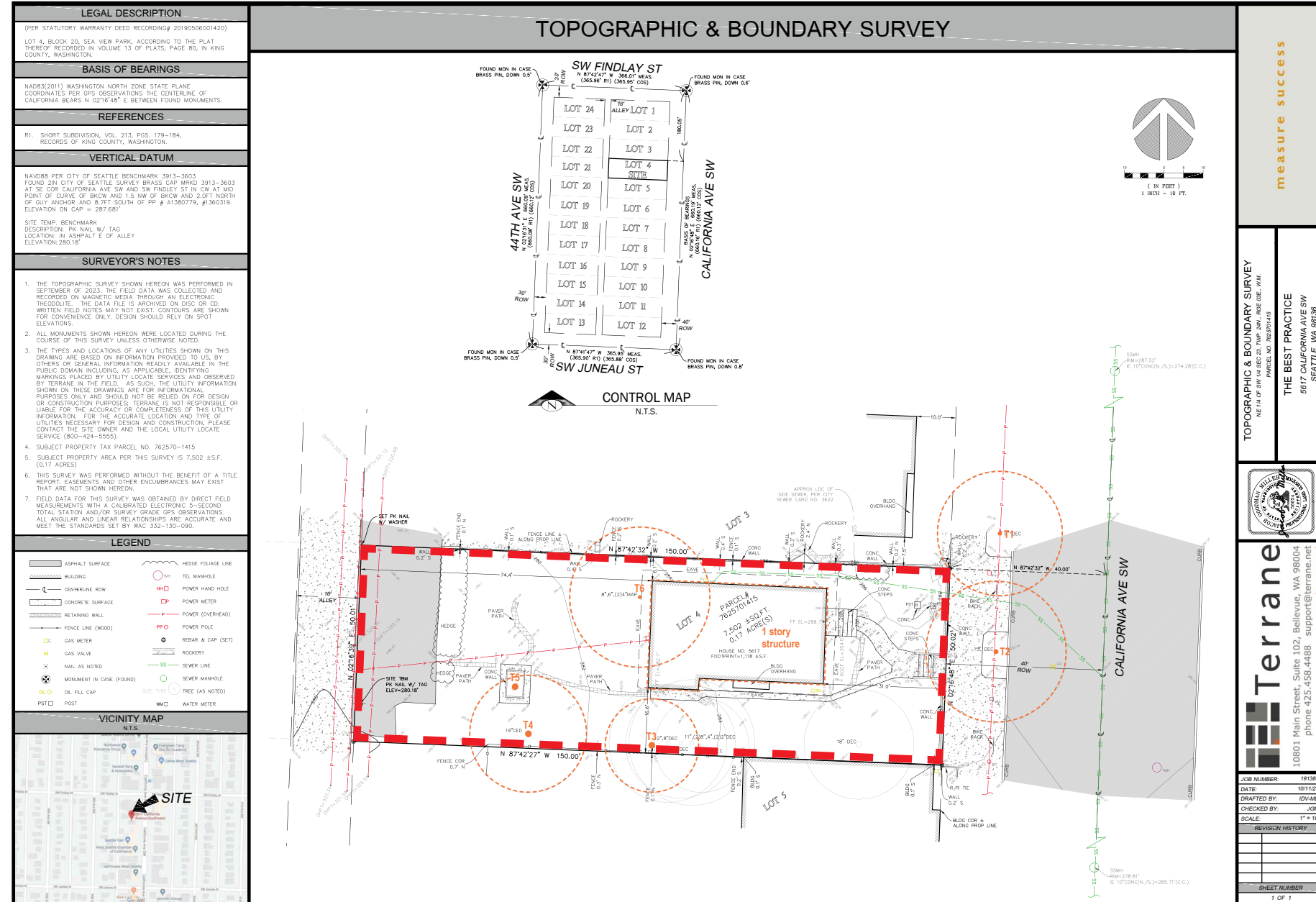
FAR (PROPOSED)	
UNIT 1 - L-W	
LEVEL 1	387 SF
LEVEL 2	388 SF
LEVEL 3	365 SF
LEVEL 4	320 SF
TOTAL	1,460 SF
UNIT 2 - L-W	
LEVEL 1	404 SF
LEVEL 2	405 SF
LEVEL 3	365 SF
LEVEL 4	320 SF
TOTAL	1,494 SF
UNIT 3 - L-W	
LEVEL 1	404 SF
LEVEL 2	405 SF
LEVEL 3	365 SF
LEVEL 4	320 SF
TOTAL	1,494 SF
UNIT 4 - TH	
LEVEL 1	348 SF
LEVEL 2	348 SF
LEVEL 3	364 SF
LEVEL 4	256 SF
TOTAL	1,316 SF
UNIT 5 - TH	
LEVEL 1	364 SF
LEVEL 2	364 SF
LEVEL 3	364 SF
LEVEL 4	256 SF
TOTAL	1,348 SF
UNIT 6 - TH	
LEVEL 1	364 SF
LEVEL 2	364 SF
LEVEL 3	364 SF
LEVEL 4	256 SF
TOTAL	1,348 SF
UNIT 7 - TH	
LEVEL 1	348 SF
LEVEL 2	348 SF
LEVEL 3	364 SF
LEVEL 4	256 SF
TOTAL	1,316 SF
UNIT 8 - TH	
LEVEL 1	400 SF
LEVEL 2	451 SF
LEVEL 3	468 SF
LEVEL 4	417 SF
TOTAL	1,736 SF
UNIT 9 - TH	
LEVEL 1	331 SF
LEVEL 2	375 SF
LEVEL 3	394 SF
LEVEL 4	343 SF
TOTAL	1,443 SF
TOTAL PROPOSED = 13,255 SF	
MAX. ALLOWED = 13,503 SF	

GFA DIAGRAMS



GFA (PROPOSED)	
BLDG1	
LEVEL 1 - C	971 SF
LEVEL 1 - R	141 SF
LEVEL 2 - R	1,257 SF
LEVEL 3 - R	1,156 SF
LEVEL 4 - R	1,007 SF
TOTAL - C	971 SF
TOTAL - R	3,561 SF
BLDG2	
LEVEL 1	1,504 SF
LEVEL 2	1,504 SF
LEVEL 3	1,536 SF
LEVEL 4	1,105 SF
TOTAL	5,649 SF
BLDG3	
LEVEL 1	756 SF
LEVEL 2	852 SF
LEVEL 3	888 SF
LEVEL 4	783 SF
TOTAL	3,279 SF
TOTAL - C	971 SF
TOTAL - R	12,488 SF
TOTAL PROPOSED = 13,459 SF	

SITE SURVEY



SITE CHARACTERISTICS

- There is one tier 2 tree on the south edge of the site
- Mid block site with access from California Ave SW and the alley to the west
- Minimal grade change - slight slope to the east (2.4' total)

LEGAL DESCRIPTION

- Sea View Park Add Plat Block: 20 Plat Lot : 4

ARBORIST REPORT

Tree ID	Parcel/Location	Species	DBH (inches)	Health Condition	Structural Condition	Combined Viability	Average Diameter	DBZ Diameter	Tier Type
1	ROW	Littleleaf Linden <i>Tilia cordata</i>	13	Good	Good	Viable	30'	15'	ROW
2	ROW	Littleleaf Linden <i>Tilia cordata</i>	13	Good	Good	Viable	30'	15'	ROW
3	7825701415	Japanese Cedar <i>Cryptomeria japonica</i>	19	Good	Good	Viable	25'	12.5'	Tier 1
4	7825701415	Japanese Cedar <i>Cryptomeria japonica</i>	32	Good	Good	Viable	30'	15'	Tier 2
5	7825701415	Upright English Tree <i>Taxus baccata 'Sensu'</i>	9	Good	Good	Viable	10'	5'	Tier 4
6	7825701415	Fullmoon Magic Aler <i>Alnus japonica</i>	16	Good	Good	Viable	15'	7.5'	Tier 3

TOPOGRAPHIC & BOUNDARY SURVEY
 NET 1/4 OF SW 1/4 SEC 22, T10P 20N, R9E OBE, WA
 PARCEL NO. 7825701415

THE BEST PRACTICE
 5617 CALIFORNIA AVE SW
 SEATTLE, WA 98136

Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425-458-4488 support@terrane.net
 www.terrane.net

JOB NUMBER: 191384
 DATE: 5/11/23
 DRAFTED BY: DV-MC
 CHECKED BY: JSM
 SCALE: 1" = 10'
 REVISION HISTORY:
 SHEET NUMBER:
 1 OF 1

COMMUNITY OUTREACH

SEEKING COMMUNITY INPUT

EARLY COMMUNITY OUTREACH FOR DESIGN REVIEW

We'd like to hear from you!

SCAN ME

TO LEARN MORE ABOUT THE PROJECT
VIST OUR WEBSITE*
OR
TAKE AN ONLINE SURVEY**

5617 California Ave SW

SDCI #004225-23PA

JT development and JW Architects are collaborating to design the redevelopment of 5617 California Ave SW. This project will have convenient access to the grocery stores and schools. After completion, the homes will be three stories structures and will include 6 townhouses and 3 live-work units with 4 open parking stalls, amenity roof decks and a future lot subdivision. This project will be located near the intersection of SW Findlay St and California Ave SW. When it's complete, the new homes will be a variety of three to four stories structures. We're just getting started planning now – construction could start in Fall 2024 and the building could be open as early as Winter 2025.

What type of feedback is the Design Review looking for?

- Reference unique neighborhood features and character
- Building forms and materials, sidewalk experience

Project Contact:
Julian Weber, Founding Principal
outreach@jwseattle.com

For additional information on the project please visit the Seattle Service Portal (SDCI), record number #3041108-EG, or project address.

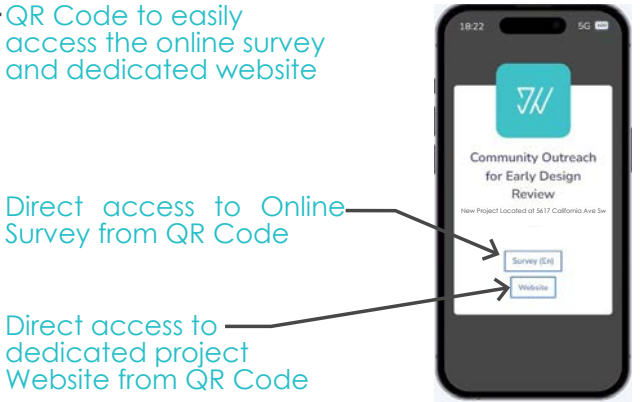
* <https://jwseattleoutreach.wixsite.com/5617>
 ** <https://jwseattleoutreach.wixsite.com/5617survey>
 *Survey will be end on 21st september 2023

ANY INFORMATION COLLECTED MAY BE MADE PUBLIC THROUGH THE CITY OF SEATTLE.

HIGH-IMPACT METHOD:

We mailed flyers in a 500 foot radius from the site. Flyers provided information about the project and location, as well as a QR code to scan and access to the project website and on-line survey.

APPROVED BY DON ON 10/27/2023



QR Code to easily access the online survey and dedicated website

Direct access to Online Survey from QR Code

Direct access to dedicated project Website from QR Code

Link to dedicated project website and public comments.

Link to Online Survey and dates



English Flyer

SURVEY RESULTS

We received a total of 2 survey responses for this project. The survey available on the dedicated website <https://jwaseattleoutreach.wixsite.com/95617-survey-eng> from September 13 through October 13

What is your connection to this development project?

I live very close to the project , I visit the area often for work or leisure	1
I live very close to the project	1

What is most important to you about a new building on this property?

That it fits into neighborhood look, That it brings new services or amenities to the area (businesses, open space, etc), That is affordable for residents and/or businesses, That it is designed to be family-friendly, That it is designed with environmental sustainability in mind, Other (fill in blank, 100 character max.): [Architecturally/visually appealing as opposed to the blocky, boxy, hardie-board slab and flat roof trend that is becoming more prevalent.]	1
That it fits into neighborhood look, That it is designed with environmental sustainability in mind	1

We will be improving the sidewalks and landscaping at the street-level. What design features do you prefer?

Lots of plants/greenery, Quality building materials at street-level (brick, large windows, etc), Seating/places to congregate (sidewalk cafes, benches, etc), Other (fill in blank, 100 characters max.): [Trees and native plants, please]	1
Lots of plants/greenery, Quality building materials at street-level (brick, large windows, etc), Other (fill in blank, 100 characters max.): [Off-street parking for new townhomes. Street parking is already limited.]	1

What concerns do you have about the project?

That I will not like the way it looks, That it may feel out of scale with other buildings nearby	1
Construction noise/impacts, That I will not like the way it looks, Other (fill in blank, 100 characters max.): [That it will impact street parking for current townhome owners that don't have off street parking.]	1

Is there anything specific about this property or neighborhood that would be important for us to know?

	1
(fill in blank, 300 characters max.): [C&P (awesome coffee shop) hosts weekly events that impact street parking availability.]	1

What are some landmarks/spaces that help to identify your neighborhood

(fill in blank, 300 characters max.): [C & P coffee, basically right across the street]	1
(fill in blank, 300 characters max.): [C&P coffee]	1

What do you like most about living or working in your neighborhood?

(fill in blank, 300 characters max.): [Quiet, calm setting compared to other neighborhoods in Seattle]	1
(fill in blank, 300 characters max.): [Friendly people, great coffee shop, and easy to walk to everything you need (food, gym, restaurants)]	1

What do you like least about living/working in your neighborhood?

(fill in blank, 300 characters max.): [No Ethiopian food! 🙄]	1
(fill in blank, 300 characters max.): [Traffic on California and people that speed down the street]	1

What is your age?

35-44 years old	1
25-34 years old	1

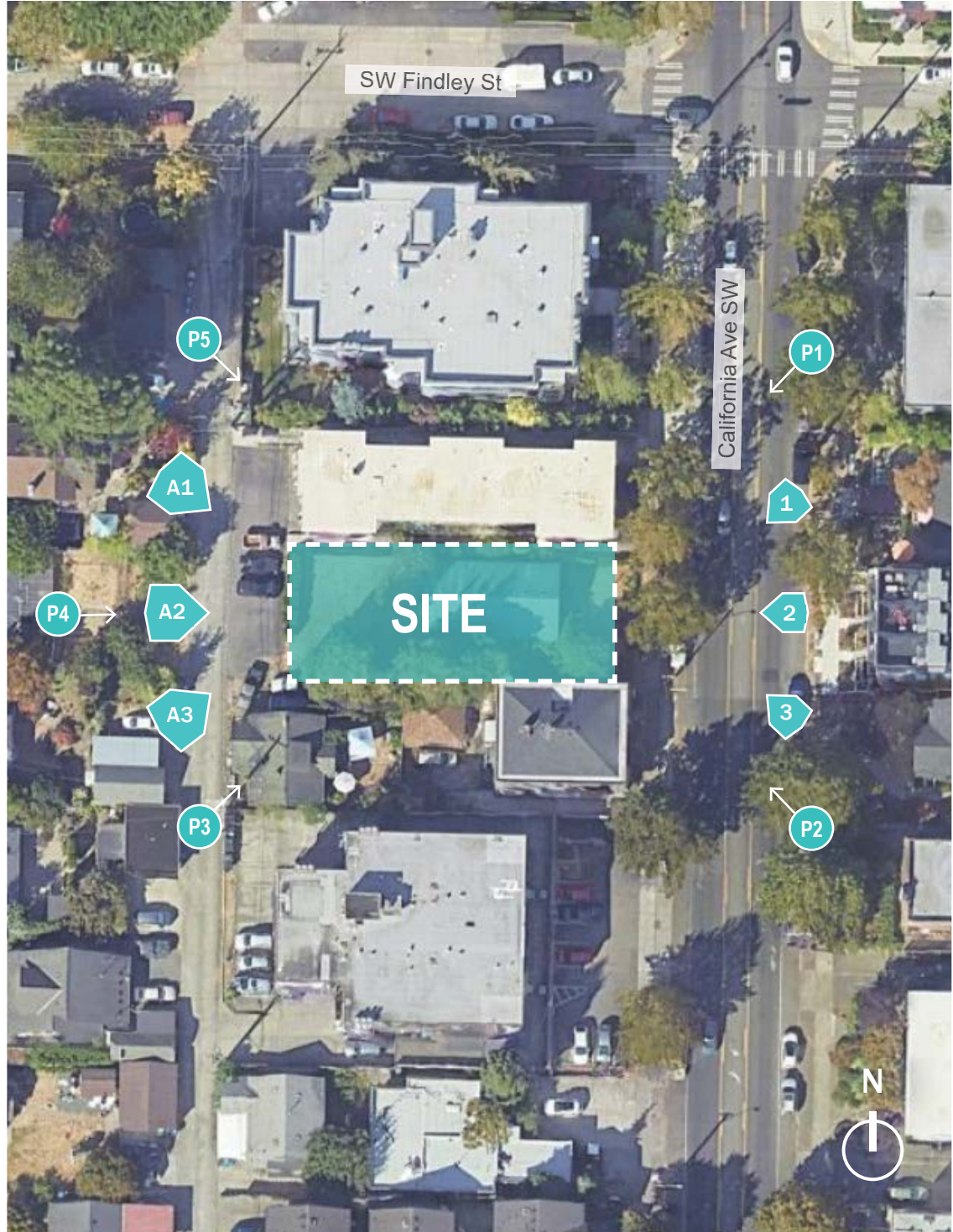
What are the languages spoken in your home?

English	1
English, Other (please specify): [Romanian]	1

How long have you lived in this neighborhood?

1-2 years	1
3-5 years	1

SITE PHOTOS



REFERENCE AERIAL FOR SITE PHOTOGRAPHS



P1 ~ PERSPECTIVE LOOKING NORTHWEST



P2 ~ PERSPECTIVE LOOKING SOUTHWEST



3 ~ AERIAL LOOKING NORTHWEST



2 ~ AERIAL LOOKING WEST



1 ~ AERIAL LOOKING SOUTHWEST



A3 ~ AERIAL LOOKING SOUTHEAST



A2 ~ AERIAL LOOKING EAST



A1 ~ AERIAL LOOKING NORTHEAST



P5 ~ PERSPECTIVE LOOKING SOUTHEAST



P4 ~ PERSPECTIVE LOOKING EAST



P3 ~ PERSPECTIVE LOOKING NORTHEAST

STREET COLLAGES



CONTEXT SECTION



SITE

NORTH/SOUTH SITE SECTION LOOKING WEST



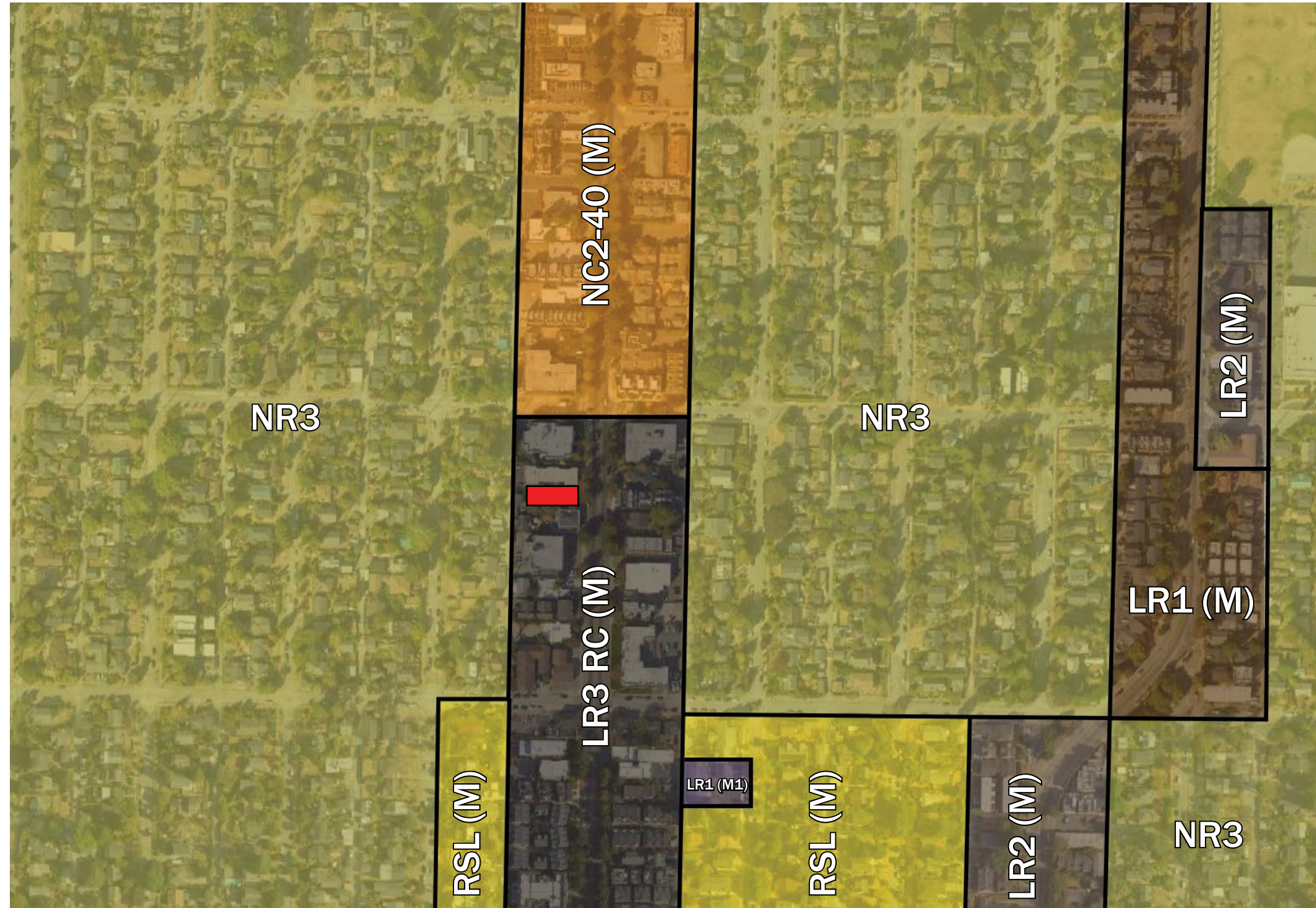
SITE

EAST/WEST SITE SECTION LOOKING NORTH

NEIGHBORHOOD AXONOMETRIC VIEW

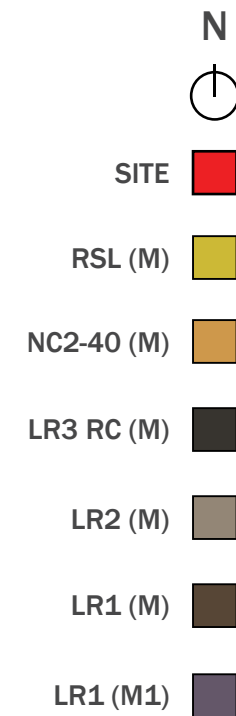


ZONING

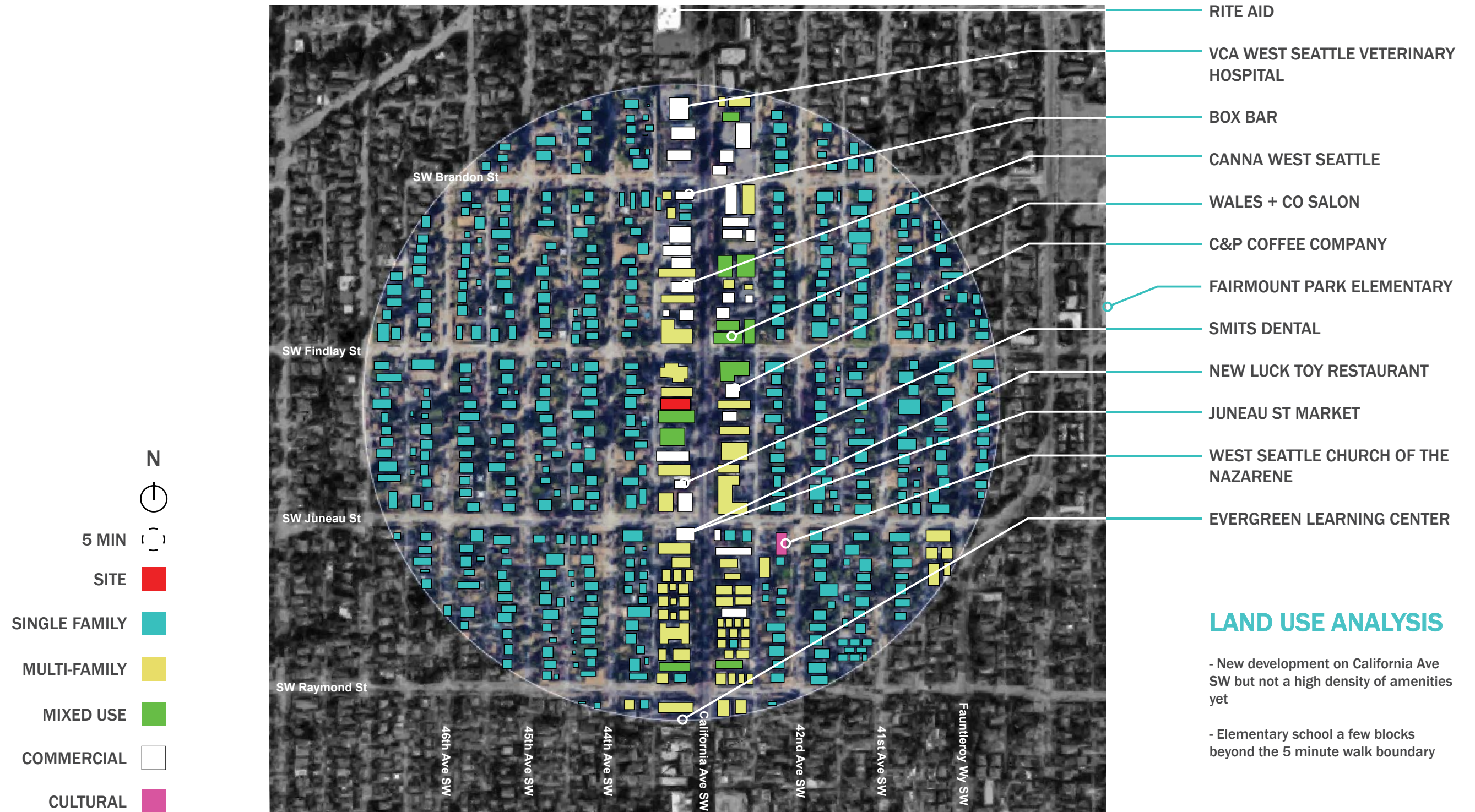


ZONING ANALYSIS:

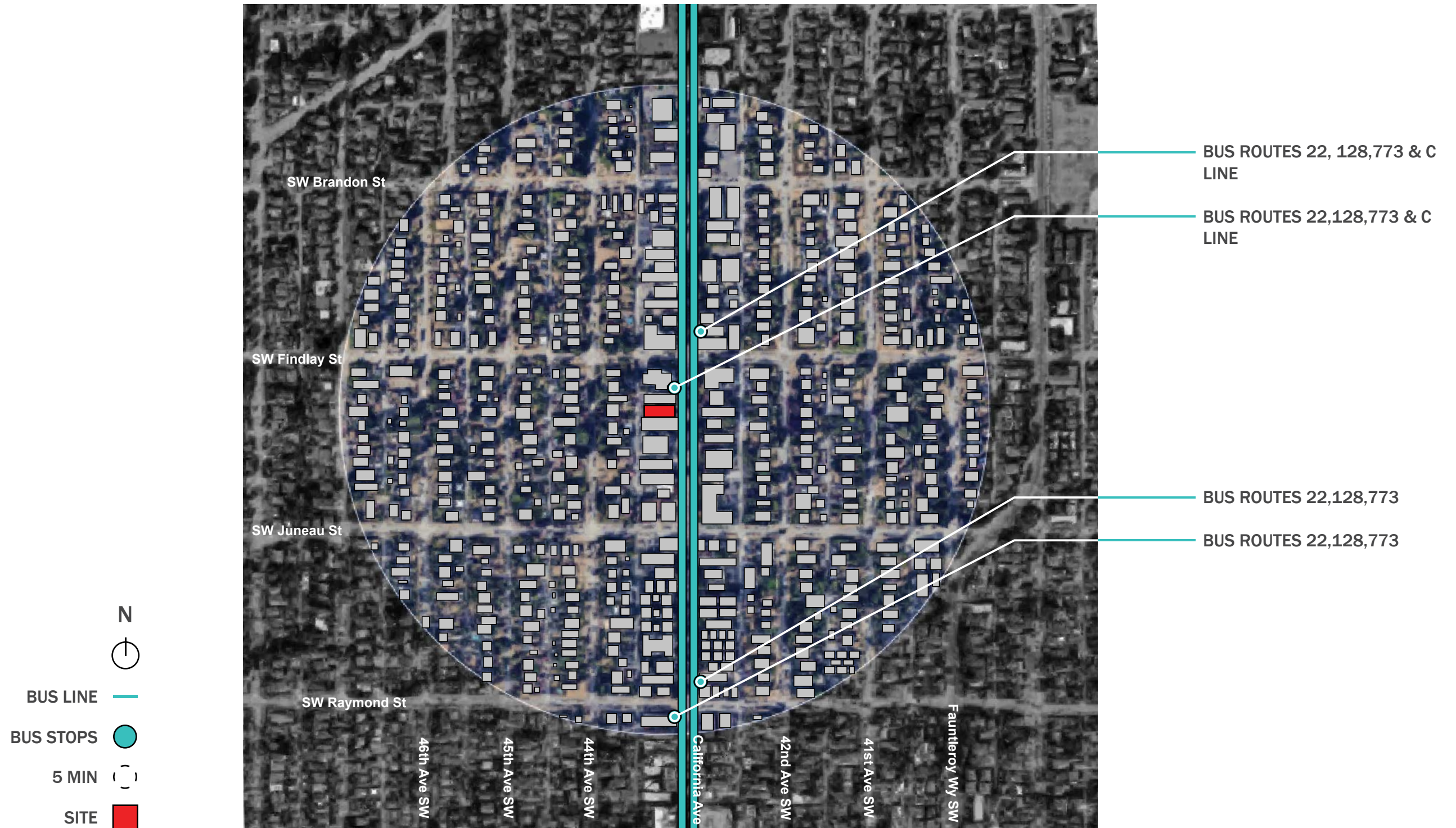
- The project site, highlighted in red is located within LR3 RC (M) currently going through development.
- The immediately adjacent zones are NC2-40 (M), NR3, LR1 (M1) and RSL (M). The surrounding area consists of a mix of single family homes, multifamily buildings, and small commercial buildings.



CONTEXT + ZONING + LAND USE



TRANSIT ANALYSIS



CONTEXT AXO



1. West Seattle Nursery

A nearby nursery supporting local gardening. This business hosts monthly classes surrounding gardens and cultivation education.



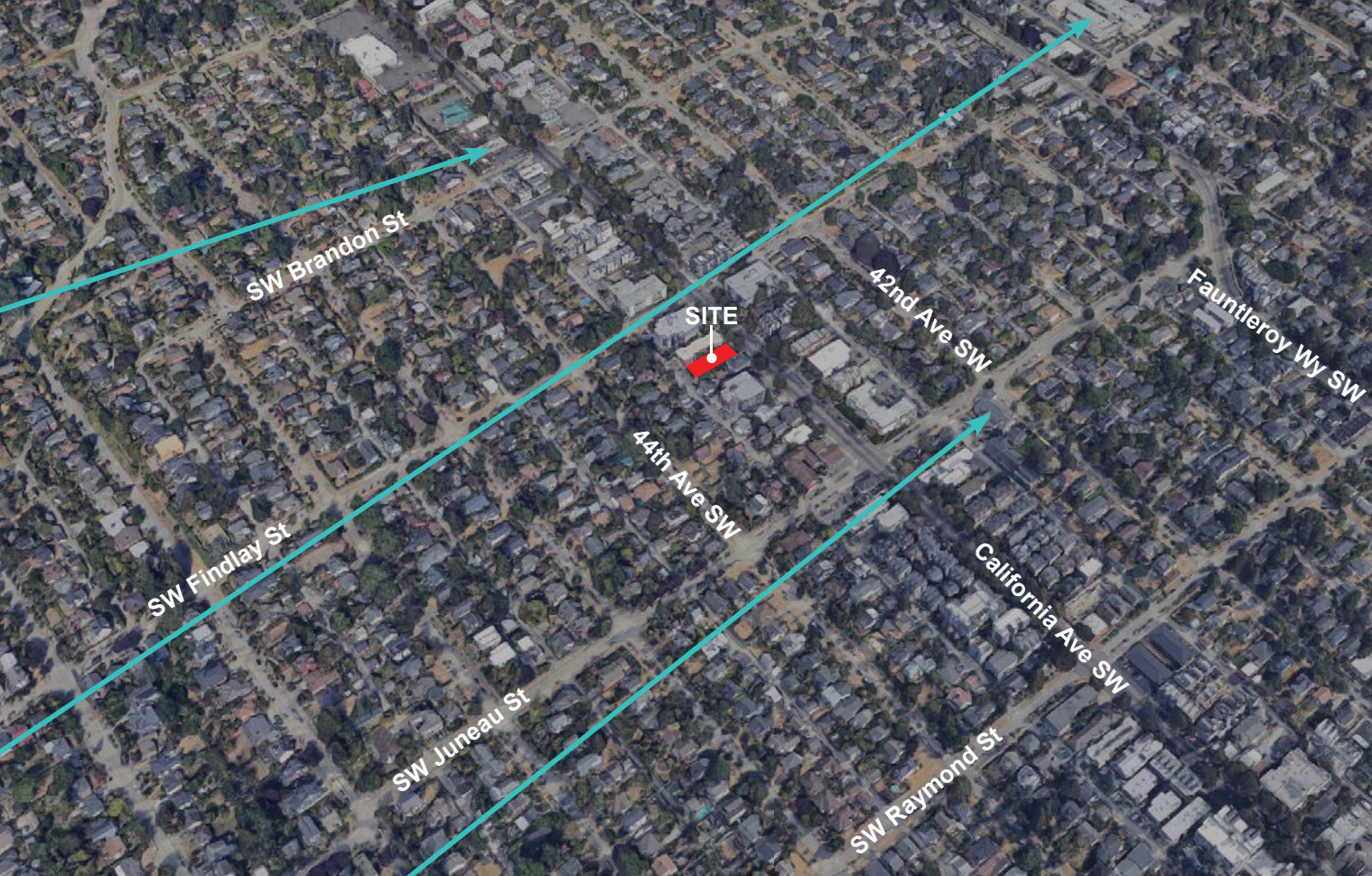
2. Fairmount Park and Elementary School

A local elementary school and adjacent playground occupy over a block of space and engage the surrounding residential community.



3. West Seattle Church of the Nazarene

The West Seattle Church of the Nazarene is a small community church hosting weekly events and services.



4. Morgan Junction Park

Morgan Junction Park is a small public space with portions of both vegetative and hardscape features. In the past it has hosted small community events.

NEIGHBORHOOD ARCHITECTURE



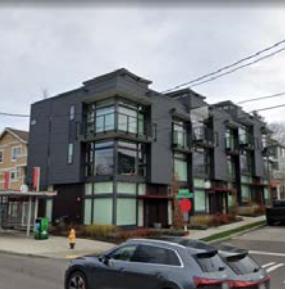
1 | 5431 California Ave SW | Multifamily Residential (Facade and Material)



2 | 5600 California Ave SW | Multi Family (Material)



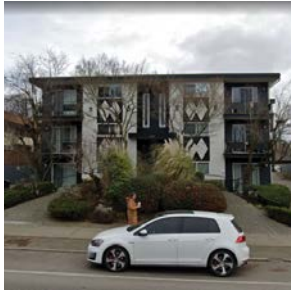
3 | 4322 SW Juneau St | Single Family Residential (Traditional + Modern)



4 | 4230 SW Findlay St | Mixed Use Residential (Modulation and Slope)



5 | 5913 California Ave SW | Multi Family Residential (Material and Vernacular Form)



6 | 5630 California Ave SW | Multi Family Residential (Color and Character)



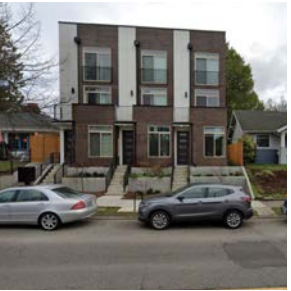
7 | 4327 SW Brandon St | Single Family Residential (Addressing the Street)



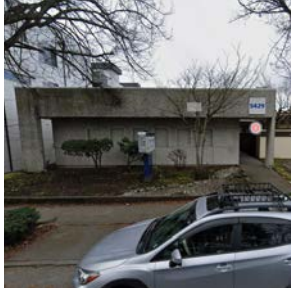
8 | 5920 California Ave SW | Multi Family Residential (Central Circulation)



9 | 5644 California Ave SW | Multi Family Residential (Color and Character)



10 | 5620 California Ave SW | Multi Family Residential (Material and Stoops)



11 | 5429 California Ave SW | Commercial (Form and Material)



12 | 5435 California Ave SW | Commercial (Form and Material)



13 | 5612 California Ave SW | Commercial (Form and Color)



14 | 5619 California Ave SW | Commercial (Material)



15 | 4201 SW Juneau St | Cultural (Modulation and Material)

DESIGN GUIDELINES

<p>CS2 Urban Pattern and Form SEATTLE DESIGN GUIDELINES</p>	<p>A. 2 _ Architectural Presence</p>	<p>This project is sited on a developing and busy street in West Seattle. While the existing structure is low density in scale, the area is quickly adding larger buildings and new commercial spaces. Additionally, the two adjacent sites to the North and South of the site have structures with minimal setbacks from the R.O.W. The proposed building mass matches the adjacent building profiles and adds to a strong and engaging street edge that will contribute to social interaction and economic activity.</p>
<p>CS2 Urban Pattern and Form SEATTLE DESIGN GUIDELINES</p>	<p>B. 2,3 _ Connection to the Street and Character of Open Space</p>	<p>Being sited on a busy street in a LR3 RC (M) zone, this project will address a variety of different users and engage with the public. To make a strong connection to the street and public realm, the proposed development is set close to the East property line and work spaces on the ground floor are designed to have a high degree of transparency from the street. Large trees in the R.O.W. and overhangs create potential outdoor uses for future commercial/work spaces at the ground floor of each live/work unit.</p>
<p>CS2 Urban Pattern and Form SEATTLE DESIGN GUIDELINES</p>	<p>D. 1,3,4 _ Existing Development and Zoning, Zone Transitions, and Massing Choices</p>	<p>The design of this project is intended to relate to contextual structures on all adjacent sites. To the North and South, the project matches setbacks of buildings and retains a similar visual weight. The street facing units also reach a similar height to those across the street. In the preferred scheme with departures, the project breaks into 3 masses helping to bridge the LR3 RC (M) zone it is situated within to the NR3 zone directly behind it.</p>
<p>PL1 Connectivity SEATTLE DESIGN GUIDELINES</p>	<p>B. 1,2 _ Pedestrian Infrastructure, Pedestrian Amenities</p>	<p>Being sited on a busy street, this project naturally affords opportunities to connect with the pedestrian experience and provide amenities. Locating work spaces on the ground floor allows an opportunity for economic and social engagement with the public. Many uses of these spaces may provide additional outdoor seating, awnings, or signage that could further activate the building and site.</p>
<p>PL2 Walkability SEATTLE DESIGN GUIDELINES</p>	<p>D.1 _ Wayfinding</p>	<p>Breaking scheme 3 into 3 distinct masses creates two view and light corridors on the site. These openings provide an important opportunity for wayfinding. By folding the corners of the 3 structures, this scheme seeks to create a more open experience of these passages while at the same time highlighting entries and paths to the common space to the south. Such folds on the building will incorporate similarly enhanced material to the street fronting facade and enhance the pedestrian experience.</p>
<p>PL3 Street- Level Activation SEATTLE DESIGN GUIDELINES</p>	<p>A. 1 _ Entry Design Objectives</p>	<p>With different materiality, Large transparent entries, and open concepts, the lower “work” spaces visually read much different than the upper residential spaces. Entries for other residences are set back to the interior of the block to provide a more intimate and private user experience.</p>
<p>DC2 Architectural Concept SEATTLE DESIGN GUIDELINES</p>	<p>A. 1,2 _ Site Characteristics and Uses, Reducing Perceived Mass</p>	<p>The building massing seeks to minimize the visual impact of this proposal by breaking the units into 3 distinct blocks (preferred scheme). In this scenario, the project will read more similarly to the contextual structures in this area. In all schemes roof decks are generally projected backward from the street edge to minimize perceived height as well. Modulation of facades also help to break up the perceived mass from the street.</p>
<p>DC3 Open Space Concept SEATTLE DESIGN GUIDELINES</p>	<p>B. 4 _ Multifamily Open Space</p>	<p>In all schemes a large multifamily open space is pursued. This space is designed to be at the rear of units and will promote social interaction and communal activities. We prioritized southern placement for these as it will benefit the solar access for the structures and the open spaces themselves.</p>
<p>DC4 Exterior Elements & Finishes SEATTLE DESIGN GUIDELINES</p>	<p>A. 1 _ Exterior Finish Materials</p>	<p>Building material and color variation will be employed to break down the perceived building mass. Durable, high quality concrete/and or brick projected to be used at the ground level to relate to adjacent neighboring structures.</p>
<p>DC4 Exterior Elements & Finishes SEATTLE DESIGN GUIDELINES</p>	<p>A. 2 _ Climate Appropriateness</p>	<p>The materials for this project will be selected with particular consideration to not only programmatic elements but climate appropriateness. For ground floors it will be especially pertinent to include high quality and durable materials such as brick or concrete. These will provide greater quality to work spaces and function as protective elements from weather and more frequent use.</p>

SCHEME 1

DESIGN NARRATIVE: Scheme 1 prioritizes live+work units stretching across the entire site. These units have entries that generally face north and retain open space to the south near existing trees on site. The front units have balcony on the top level that reduces perceived mass of the structure, but the remaining units maintain regular and simple masses.

UNITS: (1) 4-STORY BUILDING WITH (10) LIVE+WORK UNITS, (0) PARKING STALLS

ADVANTAGES:

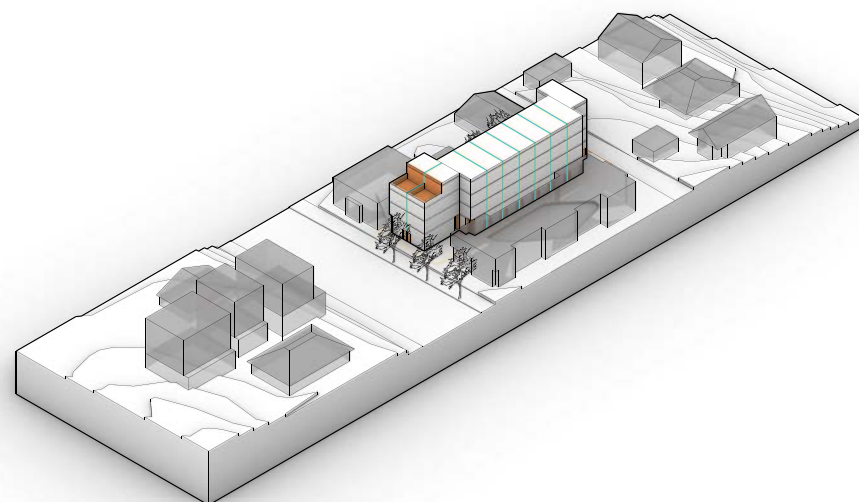
- Common Amenity Area to the south
- Simple and identifiable pedestrian circulation paths
- Maximizes number of live+work units, highest density

DISADVANTAGES:

- Very few breaks from the geometry increase perceived mass
- Few roof decks or private outdoor space available to users
- Not much differentiation or individualization between units
- No parking available
- Majority of units are “tunnel units”
- The majority of live+work units don’t face the street
- Out of scale mass with neighboring NR3 buildings to the west

DEPARTURES:

- None Required



SCHEME 2

DESIGN NARRATIVE: Scheme 2 balances the project with townhouse units as well as live+work units. The mass from scheme one is broken to help differentiate units, provide better solar exposure, and to afford more views to users. The south facing amenity area that protects existing trees is retained.

UNITS: (1) 4-STORY BUILDING WITH (6) TOWNHOUSE UNITS & (3) LIVE+WORK UNITS, (4) OPEN PARKING STALLS

ADVANTAGES:

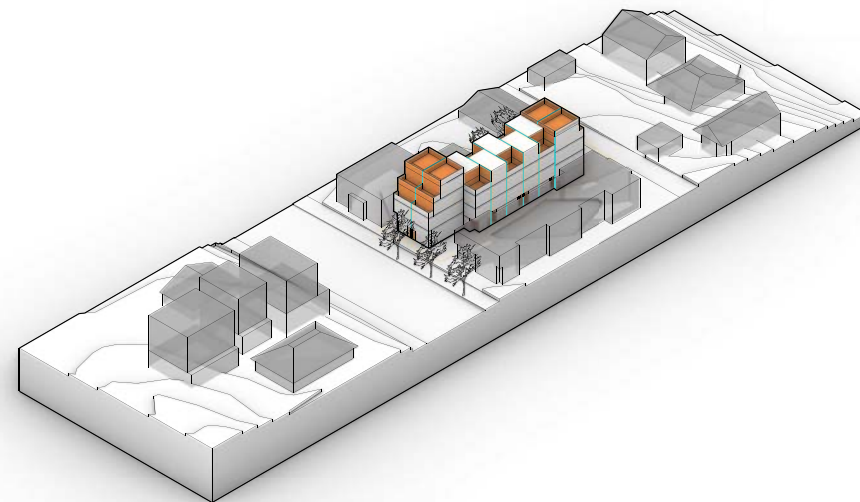
- Better parking to unit ratio
- 2 of 3 live+work units face the street
- Larger setback from NR3 zoning area to the west
- Modulation affords roof decks
- Modulation reduces perceived mass from California Ave as well as the alley
- Prioritizes views from the units

DISADVANTAGES:

- Several units are still “tunnel units”
- Building as one mass is still out of scale with surrounding structures

DEPARTURES:

- None Required



SCHEME 3 (PREFERRED)

DESIGN NARRATIVE: Scheme 3 takes the modulation strategies in scheme 2 and further reduces the perceived mass of the structure and daylighting possibilities. By breaking the project into three distinct structures, each is afforded its own identity and unique posture. The front block is consolidated live+work units, the middle block is shifted townhouses, and the rear is two more private townhouses.

UNITS: (3) 4-STORY BUILDINGS WITH A TOTAL OF (6) TOWNHOUSE UNITS & (3) LIVE+WORK UNITS, (4) OPEN PARKING STALLS

ADVANTAGES:

- Better parking to unit ratio
- All live+work units front California Ave
- Only 3 “tunnel units”
- Building mass fits with surrounding context
- Better distribution of open space and landscaped areas
- More units are oriented to the views
- More variety of unit types and sizes

DISADVANTAGES:

- Departures required for front setback and facade length along north property line

DEPARTURES:

SETBACKS: MINIMUM FRONT

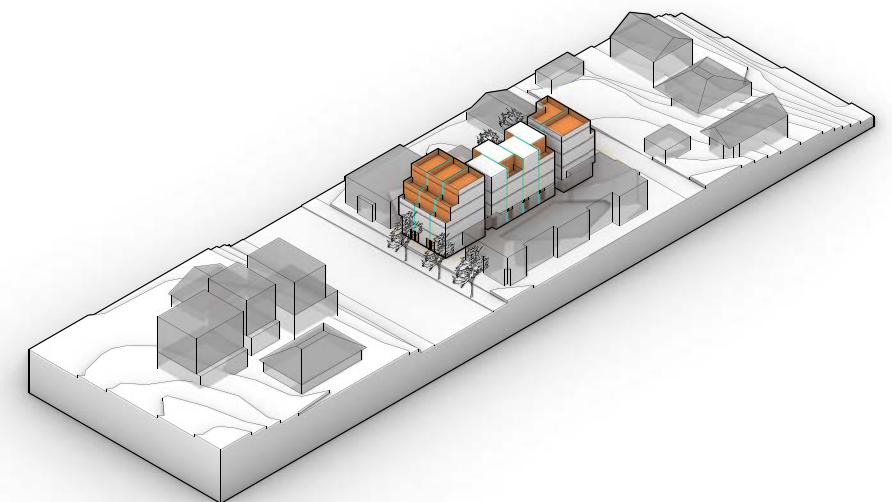
- FRONT: ALLOWED 5’ MIN, 7’ AVG
- FRONT: PROPOSED 2.5’ MIN, 7’ AVG

SEPARATIONS

- ALLOWED 10’
- PROPOSED 6’

FACADE LENGTH (NORTH SIDE ONLY)

- ALLOWED 97.5’
- PROPOSED 116.5’



SCHEME 1

DESIGN NARRATIVE: Scheme 1 prioritizes live+work units stretching across the entire site. These units have entries that generally face north and retain open space to the south near existing trees on site. The front units have balcony on the top level that reduces perceived mass of the structure, but the remaining units maintain regular and simple masses.

UNITS: (10) LIVE+WORK UNITS 4 STORY TALL, (0) PARKING STALLS

ADVANTAGES:

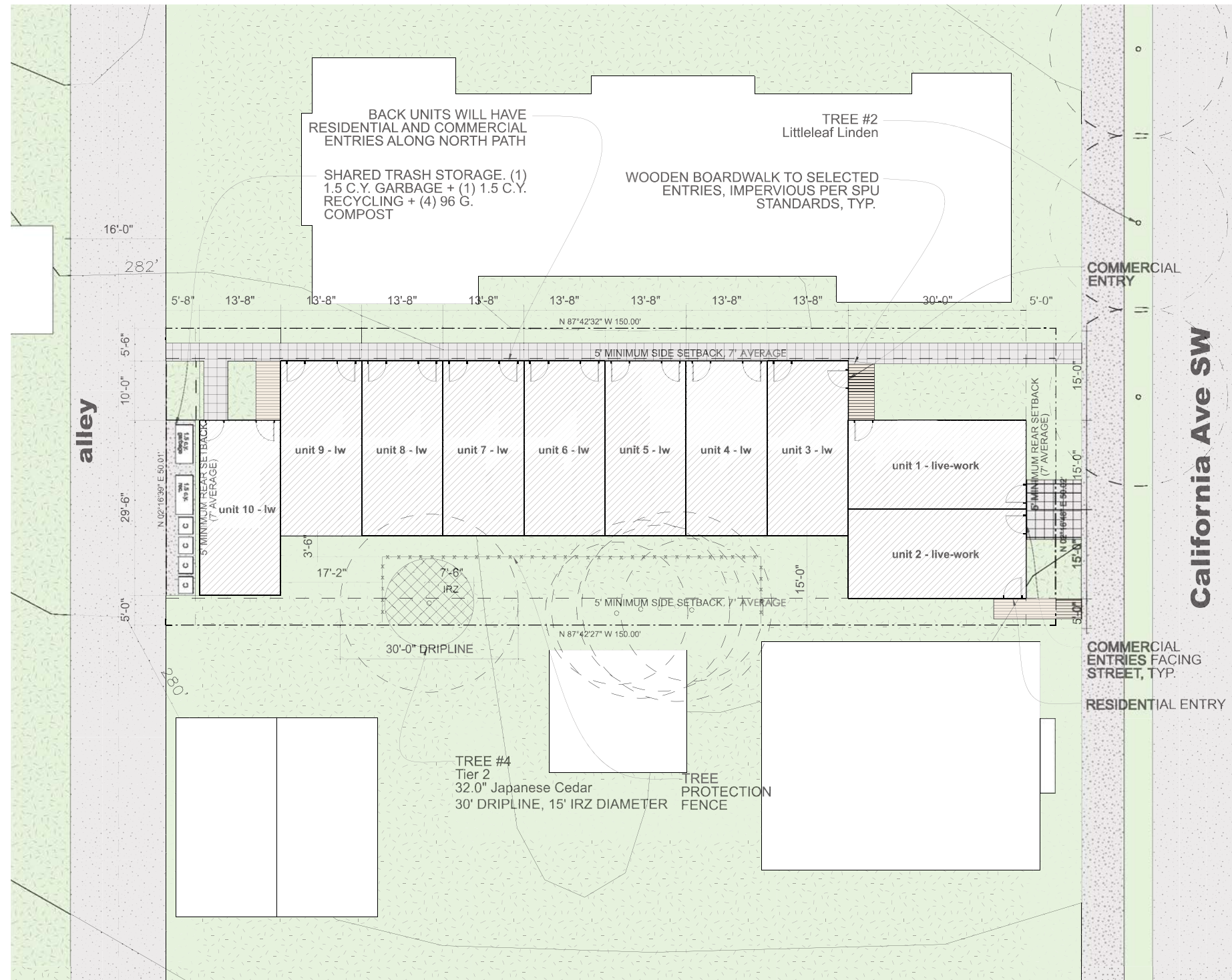
- Common Amenity Area to the south
- Simple and identifiable pedestrian circulation paths
- Maximizes number of live+work units, highest density

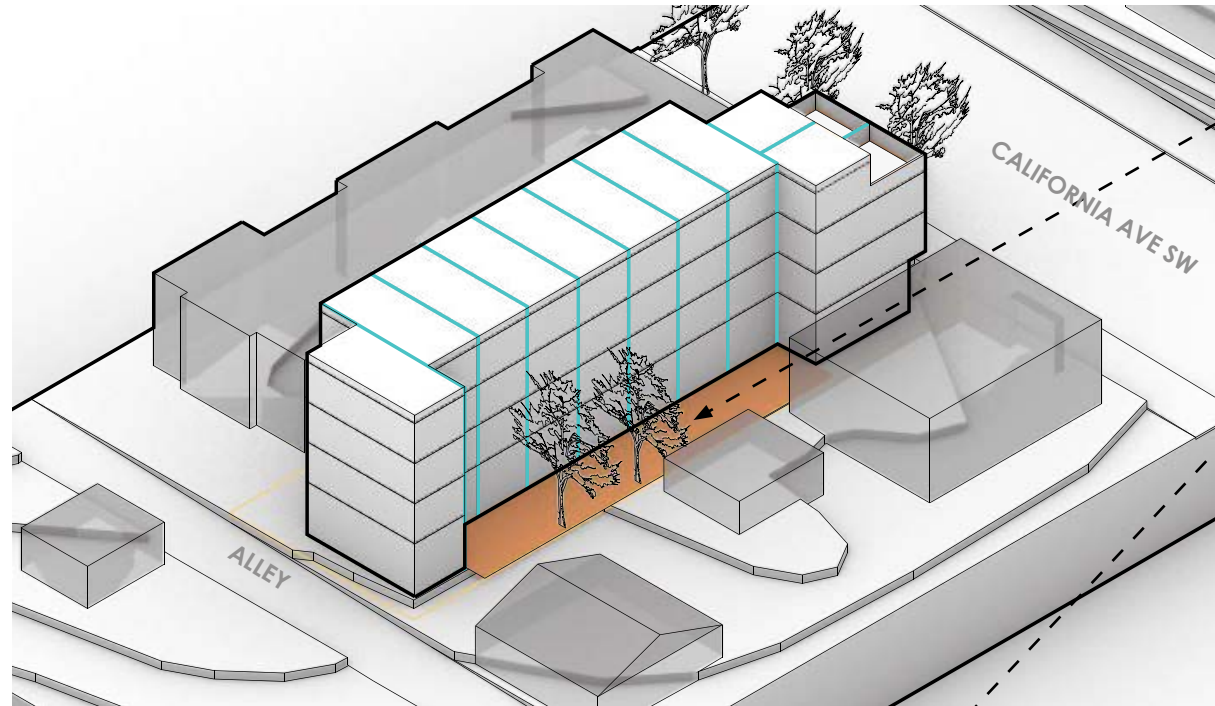
DISADVANTAGES:

- Very few breaks from the geometry create increase perceived mass
- Few roof decks or private outdoor space available to users
- Not much differentiation or individualization between units
- No parking available
- Majority of units are “tunnel units”
- The majority of live+work units don’t face the street
- Out of scale mass with neighboring NR3 buildings to the west

DEPARTURES:

- None Required





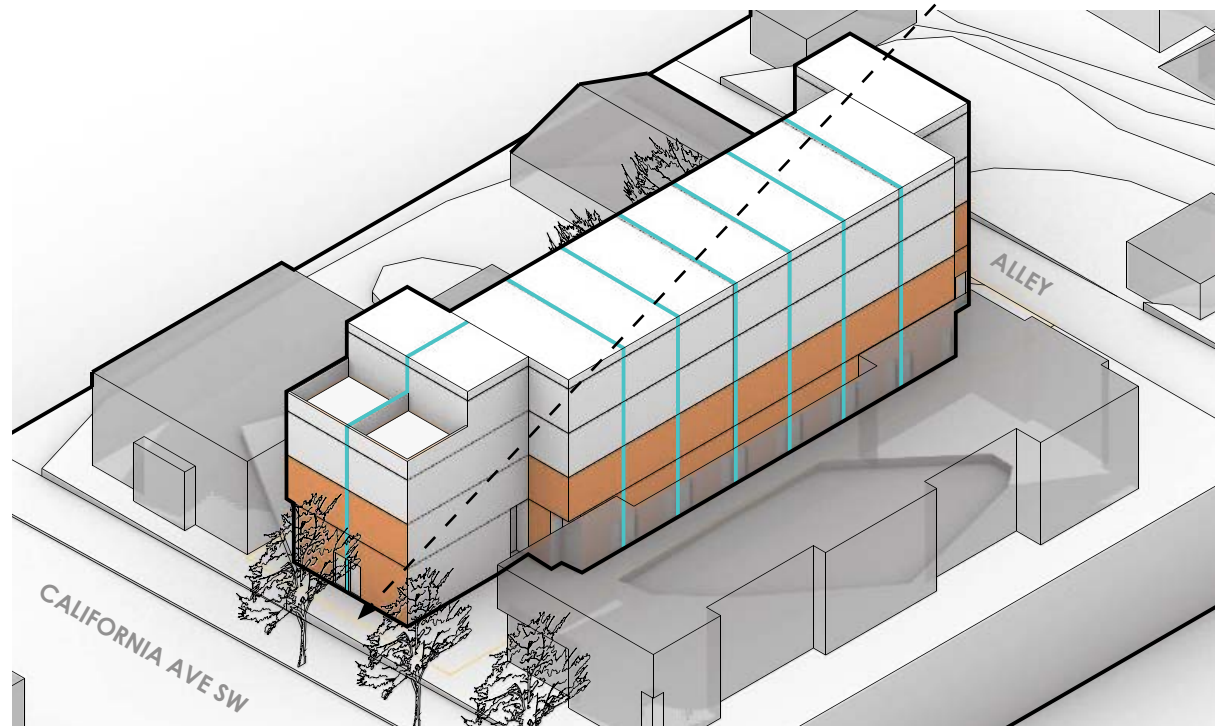
AXO LOOKING SE

DC3_B.4: Multifamily Open Space

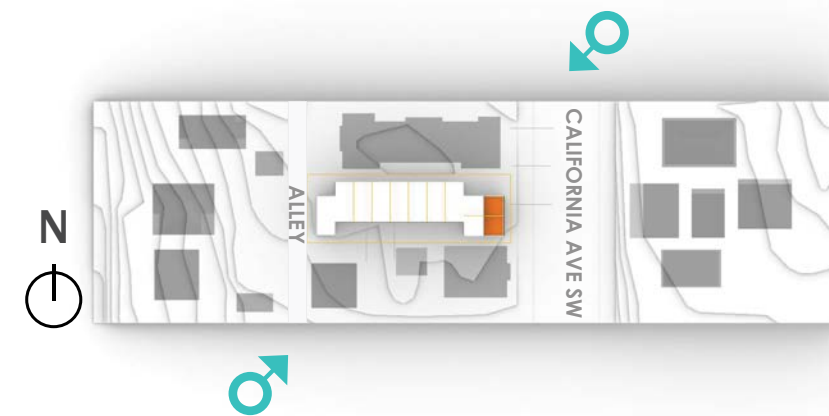
In all schemes a large multifamily open space is pursued. This space is designed to be at the rear of units and will promote social interaction and communal activities. We prioritized southern placement for these as it will benefit the solar access for the structures and the open spaces themselves.

PL1_B.1,2: Pedestrian Infrastructure and Amenities

Being sited on a busy street, this project naturally affords opportunities to connect with the pedestrian experience and provide amenities. Locating work spaces on the ground floor allows an opportunity for economic and social engagement with the public. Many uses of these spaces may provide additional outdoor seating, awnings, or signage that could further activate the building and site.



AXO LOOKING SW



SCHEME 1 - DESIGN STANDARDS DIAGRAMS

PL3_A.1: Entry Design Objectives

With different materiality, Large transparent entries, and open concepts, the lower “work” spaces visually read much different than the upper residential spaces. Entries for other residences are set back to the interior of the block to provide a more intimate and private user experience.

DC4_A.2: Climate Appropriateness

The materials for this project will be selected with particular consideration to not only programmatic elements but climate appropriateness. For ground floors it will be especially pertinent to include high quality and durable materials such as brick or concrete. These will provide greater quality to work spaces and function as protective elements from weather and more frequent use.

DC4_A.1: Exterior Finish Materials

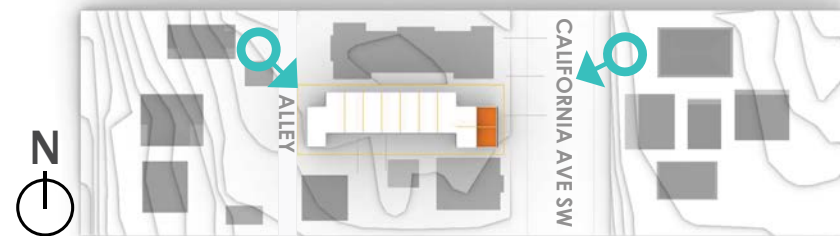
Building material and color variation will be employed to break down the perceived building mass. Durable, high quality concrete/and or brick projected to be used at the ground level to relate to adjacent neighboring structures.



PERSPECTIVE FROM ALLEY

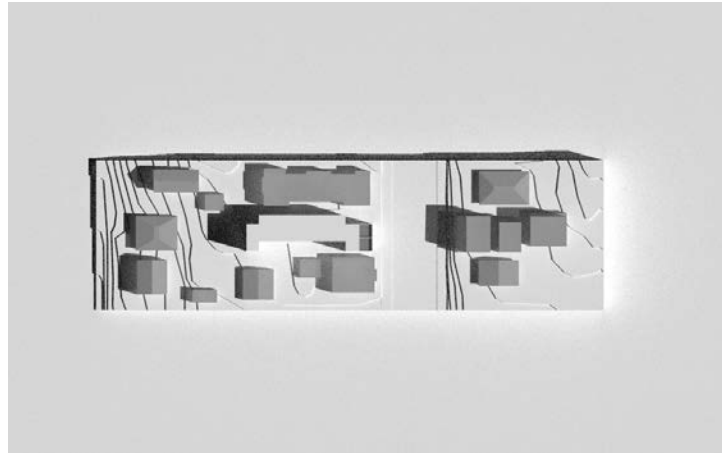


PERSPECTIVE FROM CALIFORNIA AVE SW

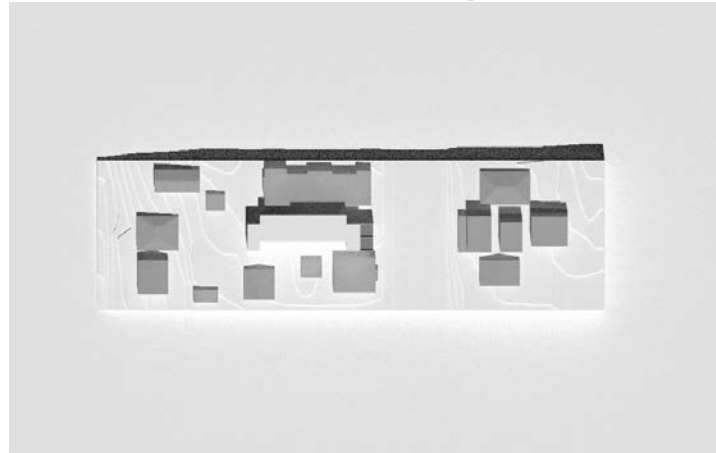


SCHEME 1 - SUN STUDY

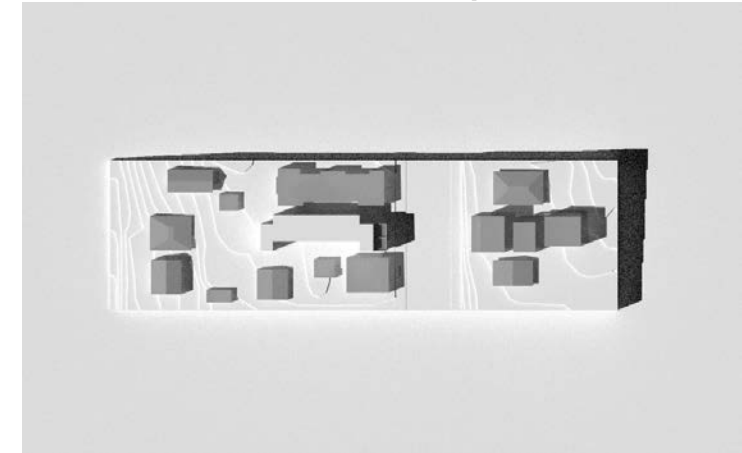
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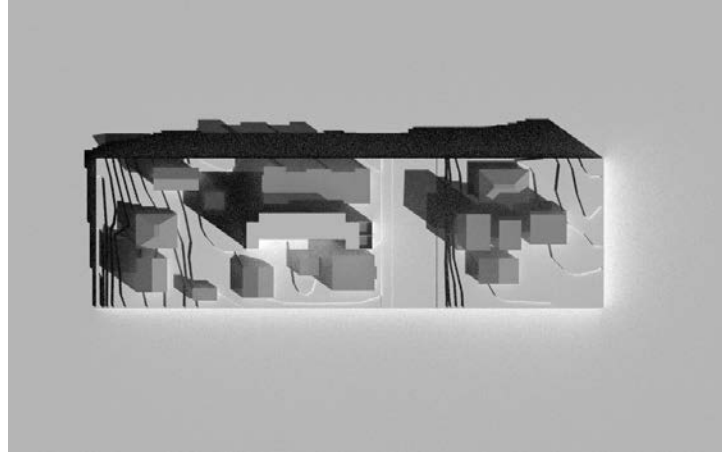
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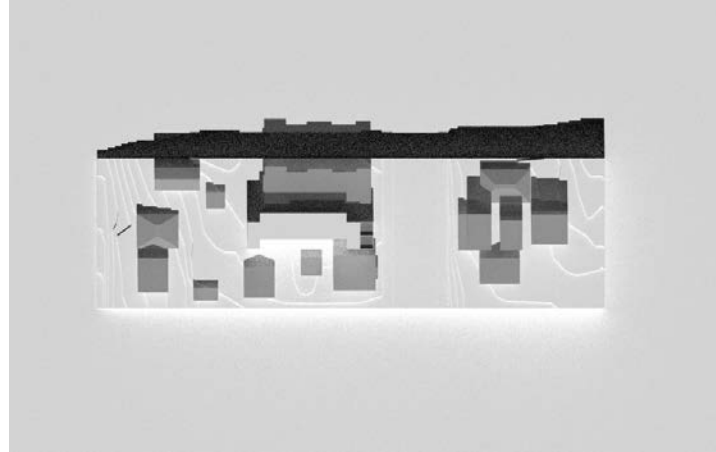
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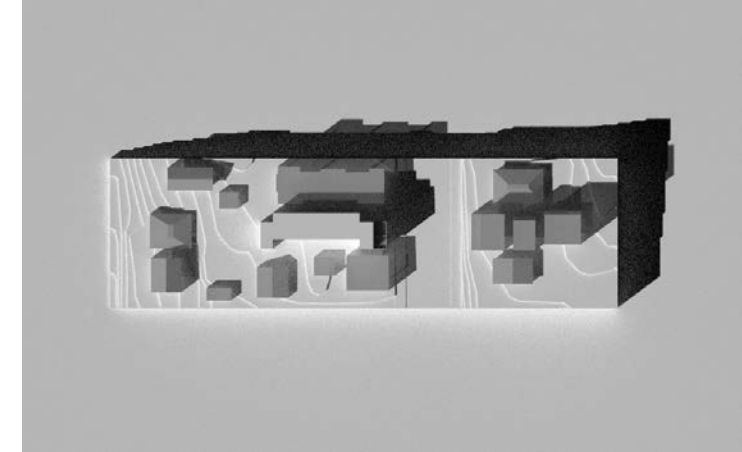
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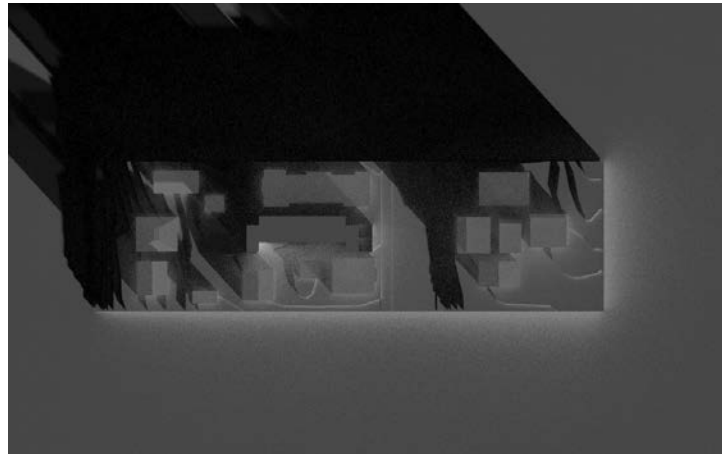
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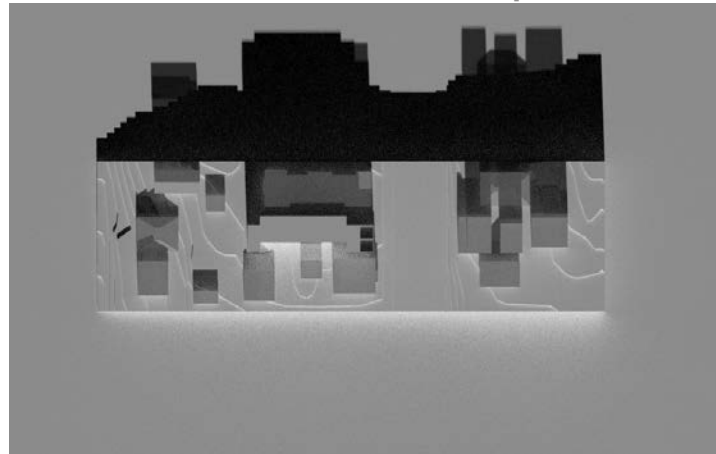
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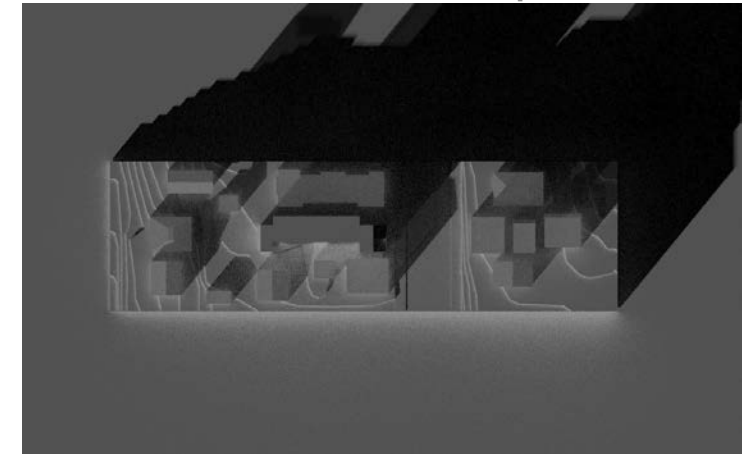
DECEMBER 21st 9:00am



DECEMBER 21st 12:00pm



DECEMBER 21st 3:00pm



SCHEME 2

DESIGN NARRATIVE: Scheme 2 balances the project with townhouse units as well as live+work units. The mass from scheme one is broken to help differentiate units, provide better solar exposure, and to afford more views to users. The south facing amenity area that protects existing trees is retained.

UNITS: (6) TOWNHOUSE UNITS 4 STORY TALL (3) LIVE+WORK UNITS 4 STORY TALL, (4) OPEN PARKING STALLS

ADVANTAGES:

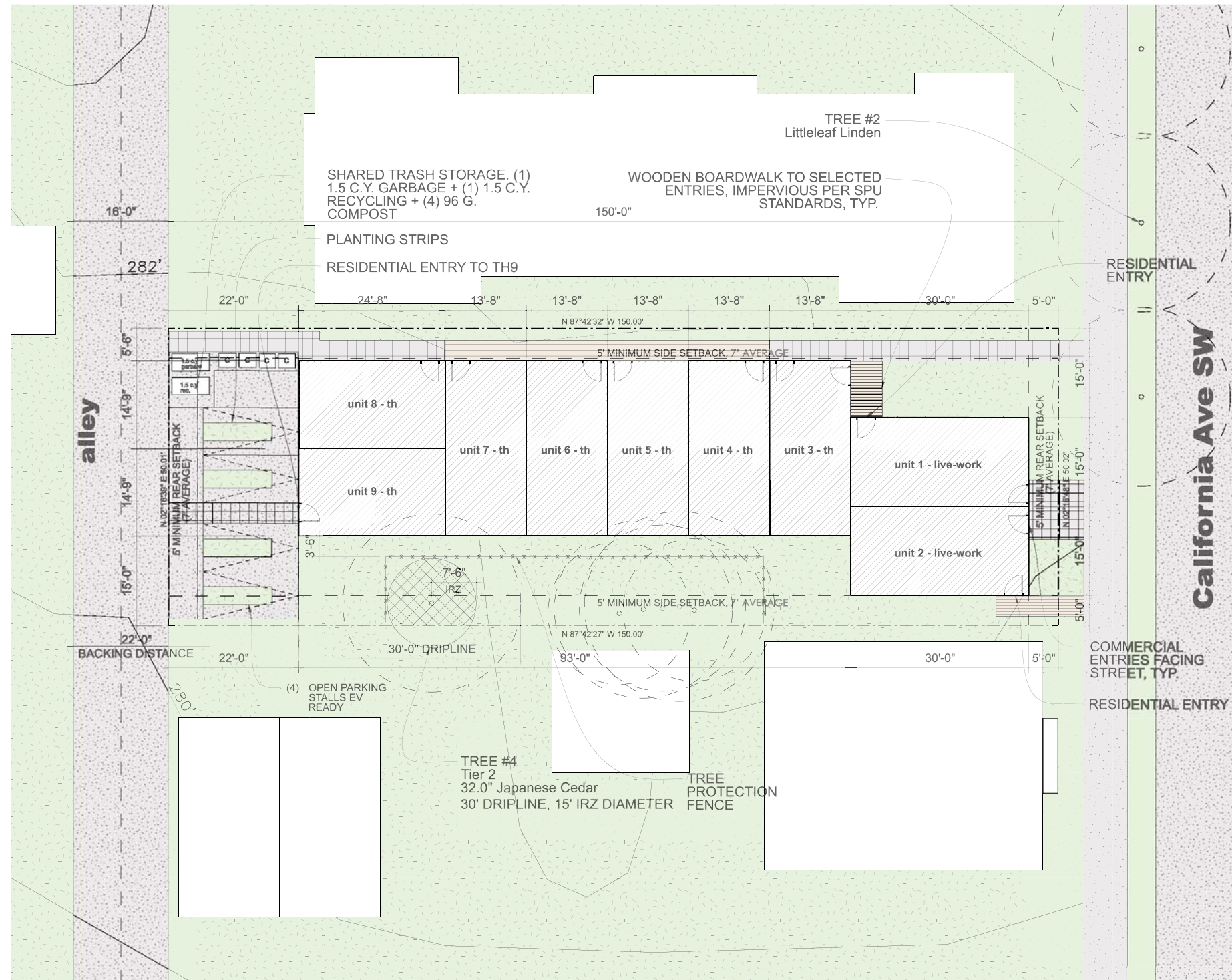
- Better parking to unit ratio
- All live+work units face the street
- Larger setback from NR3 zoning area to the west
- Modulation affords roof decks
- Separating the structure reduces perceived mass from California Ave as well as the alley
- Prioritizes views from the units

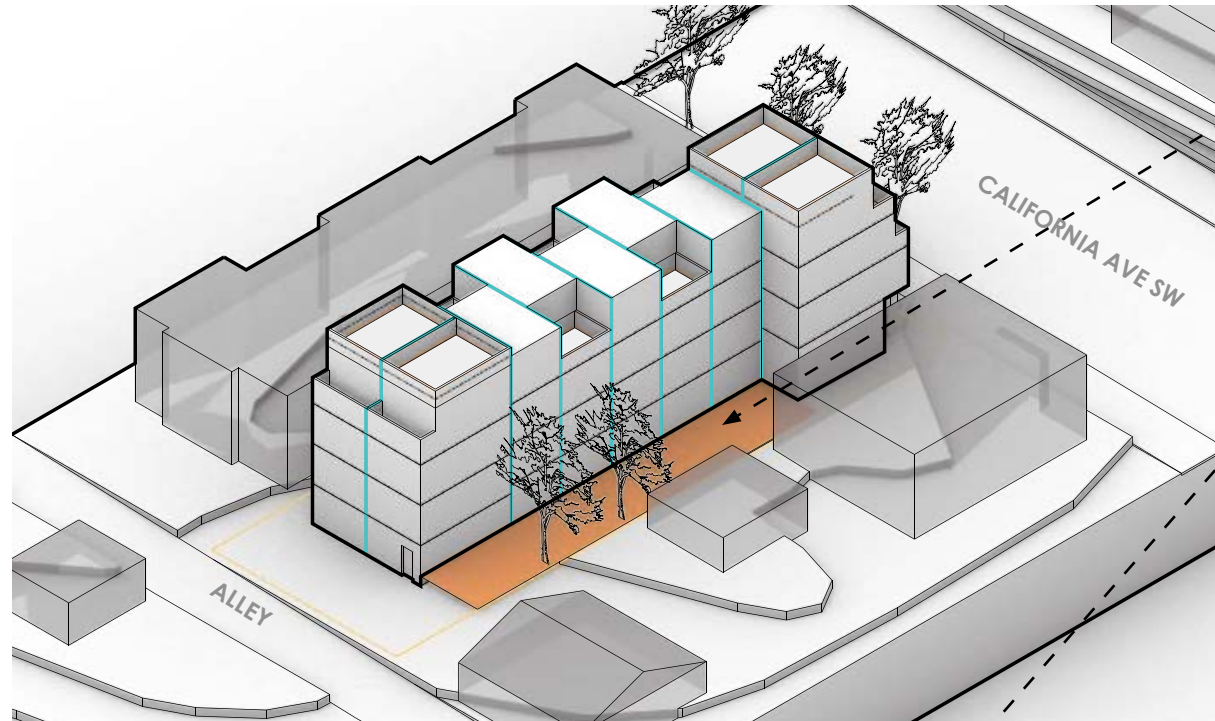
DISADVANTAGES:

- Several units are still “tunnel units”
- Building as one mass is still out of scale with surrounding structures

DEPARTURES:

Not Required





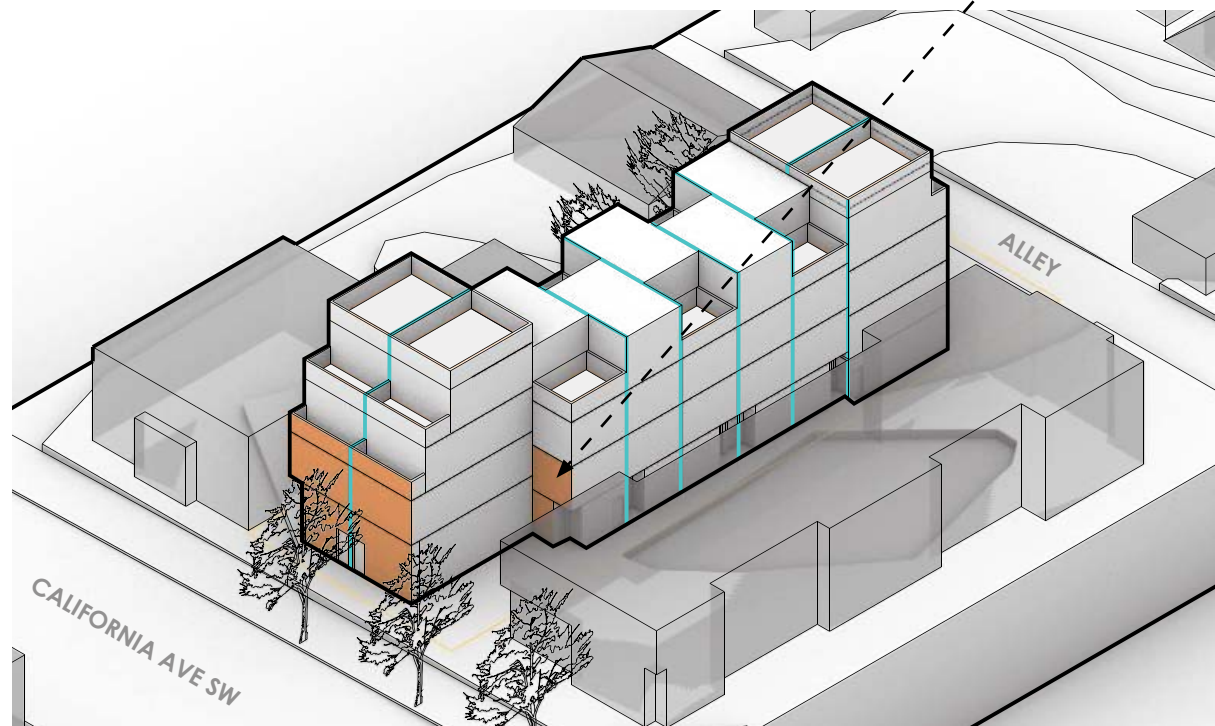
DC3_B.4: Multifamily Open Space

In all schemes a large multifamily open space is pursued. This space is designed to be at the rear of units and will promote social interaction and communal activities. We prioritized southern placement for these as it will benefit the solar access for the structures and the open spaces themselves.

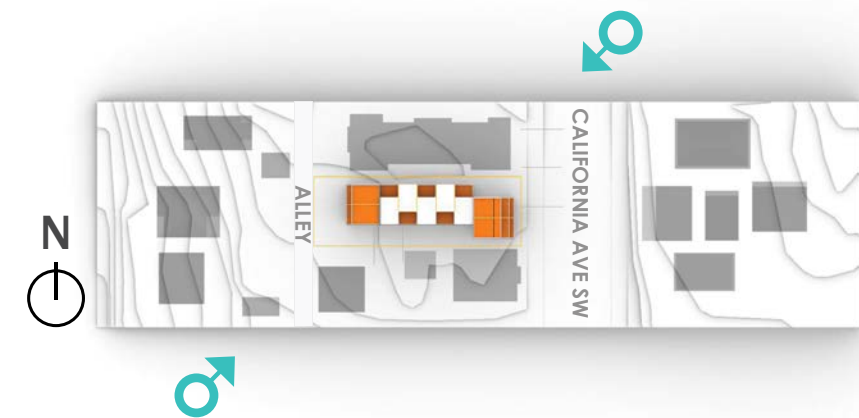
PL3_A.1: Entry Design Objectives

With different materiality, Large transparent entries, and open concepts, the lower "work" spaces visually read much different than the upper residential spaces. Entries for other residences are set back to the interior of the block to provide a more intimate and private user experience.

AXO LOOKING SE



AXO LOOKING SW



SCHEME 2 - DESIGN STANDARDS DIAGRAMS

CS2_D.1,3,4: Existing Development and Zoning

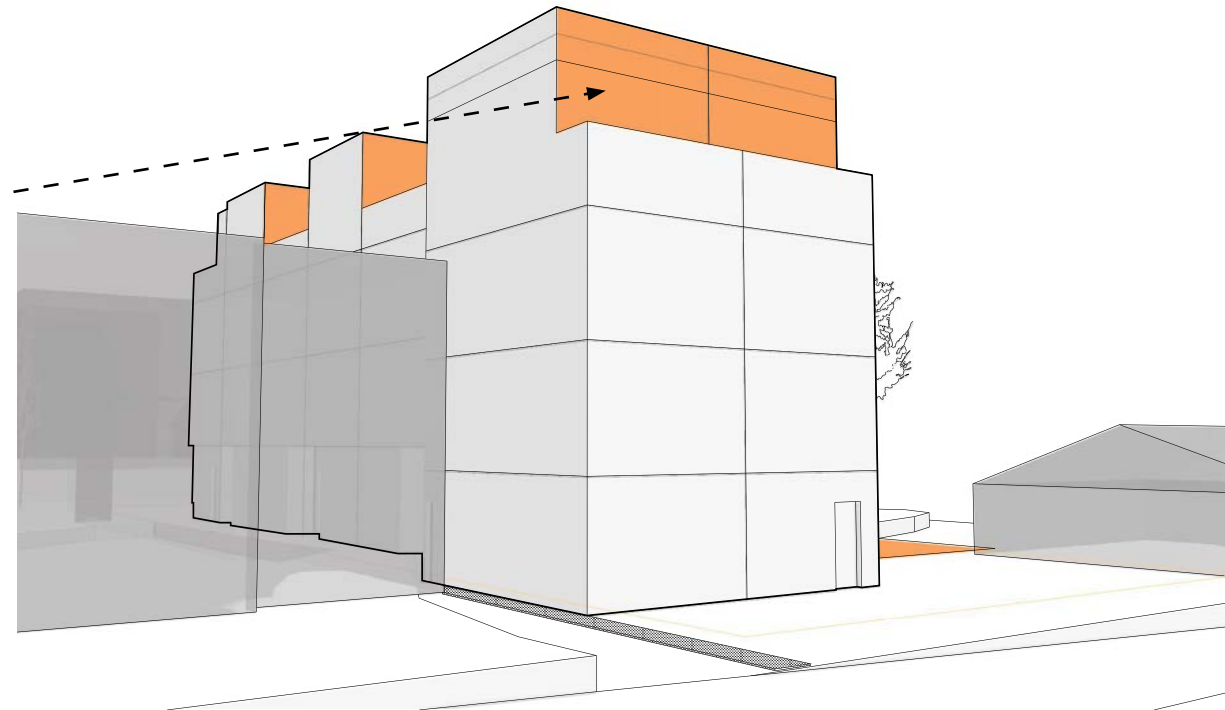
The design of this project is intended to relate to contextual structures on all adjacent sites. To the North and South, the project matches setbacks of buildings and retains a similar visual weight. The street facing units also reach a similar height to those across the street. Upper levels are set back further to help ease the transition between zones.

CS2_B.2,3: Connection to the Street and Character of Open Space

Being sited on a busy street in a LR3 RC (M) zone, this project will address a variety of different users and engage with the public. To make a strong connection to the street and public realm, the proposed development is set close to the East property line and work spaces on the ground floor are designed to have a high degree of transparency from the street. Large trees in the R.O.W. and overhangs create potential outdoor uses for future commercial/work spaces at the ground floor of each live/work unit.

DC4_A.1: Exterior Finish Materials

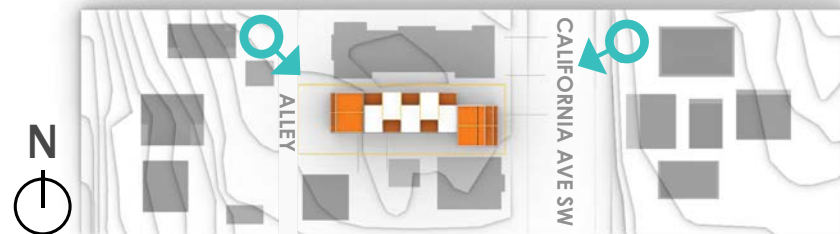
Building material and color variation will be employed to break down the perceived building mass. Durable, high quality concrete/and or brick projected to be used at the ground level to relate to adjacent neighboring structures.



PERSPECTIVE FROM ALLEY

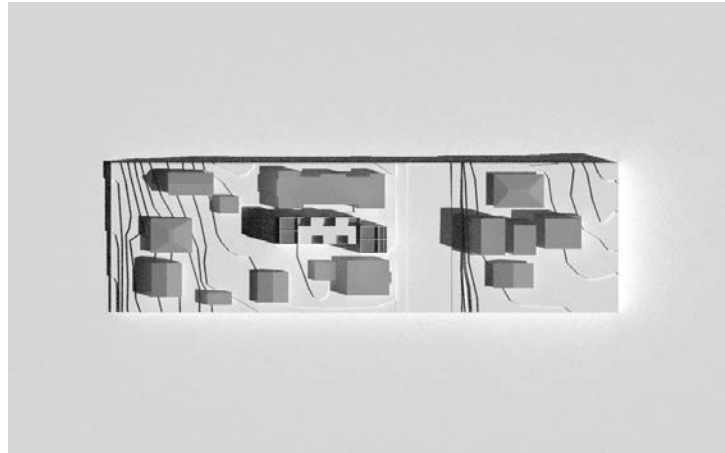


PERSPECTIVE FROM CALIFORNIA AVE SW

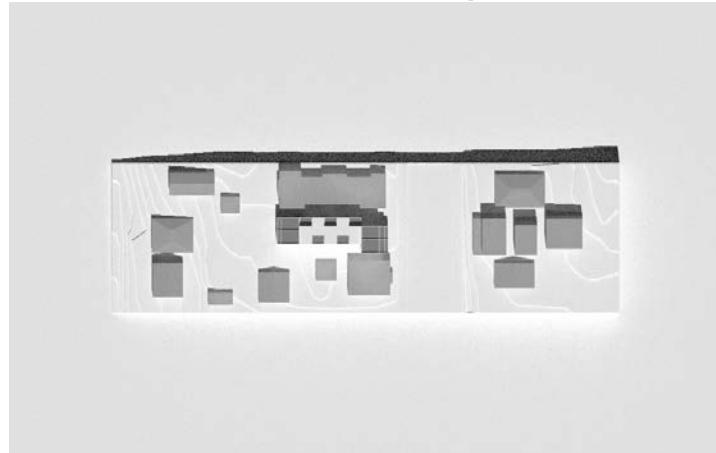


SCHEME 2 - SUN STUDY

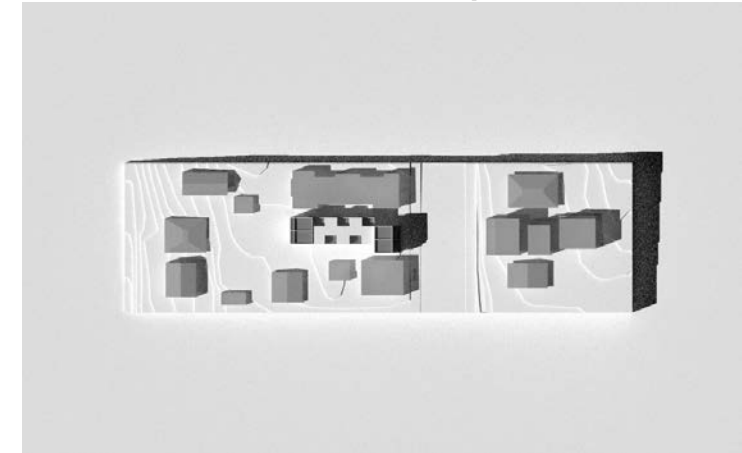
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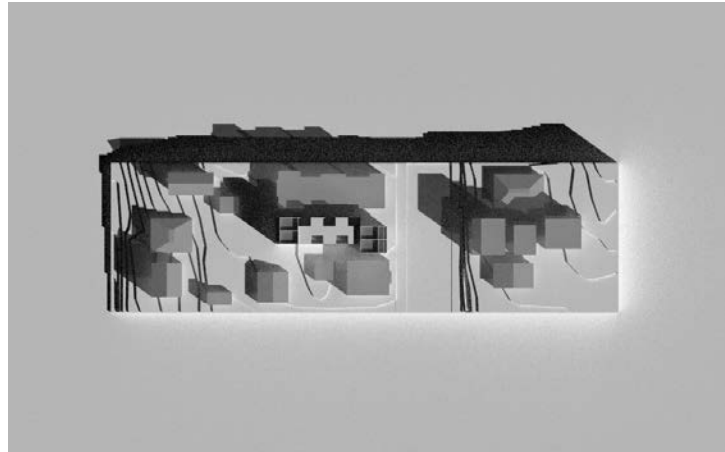
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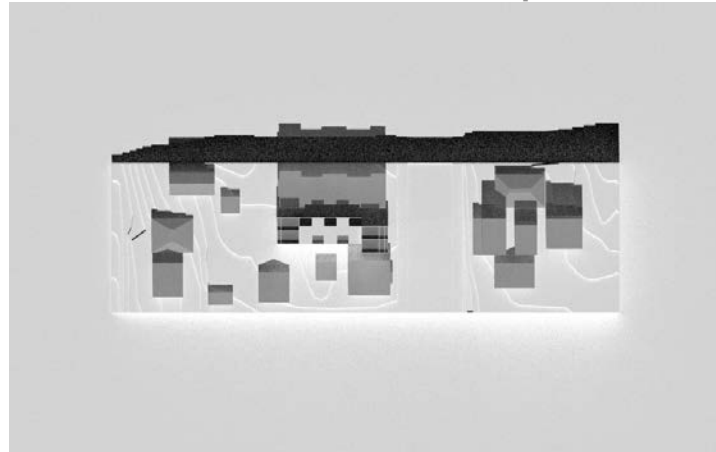
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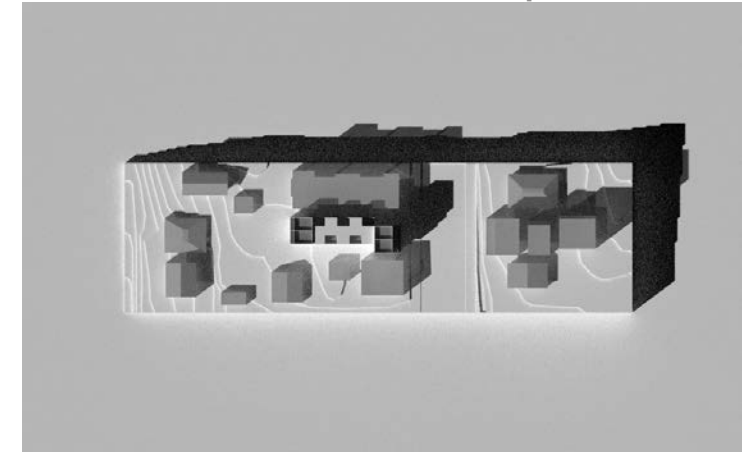
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SEPTEMBER 22nd 12:00pm



SEPTEMBER 22nd 3:00pm



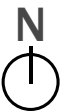
DECEMBER 21st 9:00am



DECEMBER 21st 12:00pm



DECEMBER 21st 3:00pm



SCHEME 3 (PREFERRED)

DESIGN NARRATIVE: Scheme 3 takes the modulation strategies in scheme 2 and further reduces the perceived mass of the structure and daylighting possibilities. By breaking the project into three distinct structures, each is afforded it's own identity and unique posture. The front block is consolidated live+work units, the middle block is shifted townhouses, and the rear is two more private townhouses.

UNITS: (6) TOWNHOUSE UNITS 4 STORY TALL
(3) LIVE+WORK UNITS 4 STORY TALL,
(4) OPEN PARKING STALLS

ADVANTAGES:

- Better parking to unit ratio
- All live+work units front California Ave
- Only 3 “tunnel units”
- Building mass fits with surrounding context
- Better distribution of open space and landscaped areas
- More units are oriented to the views
- More variety of unit types and sizes

DISADVANTAGES:

- Departures required for front setback and facade length

DEPARTURES:

SETBACKS: MINIMUM FRONT

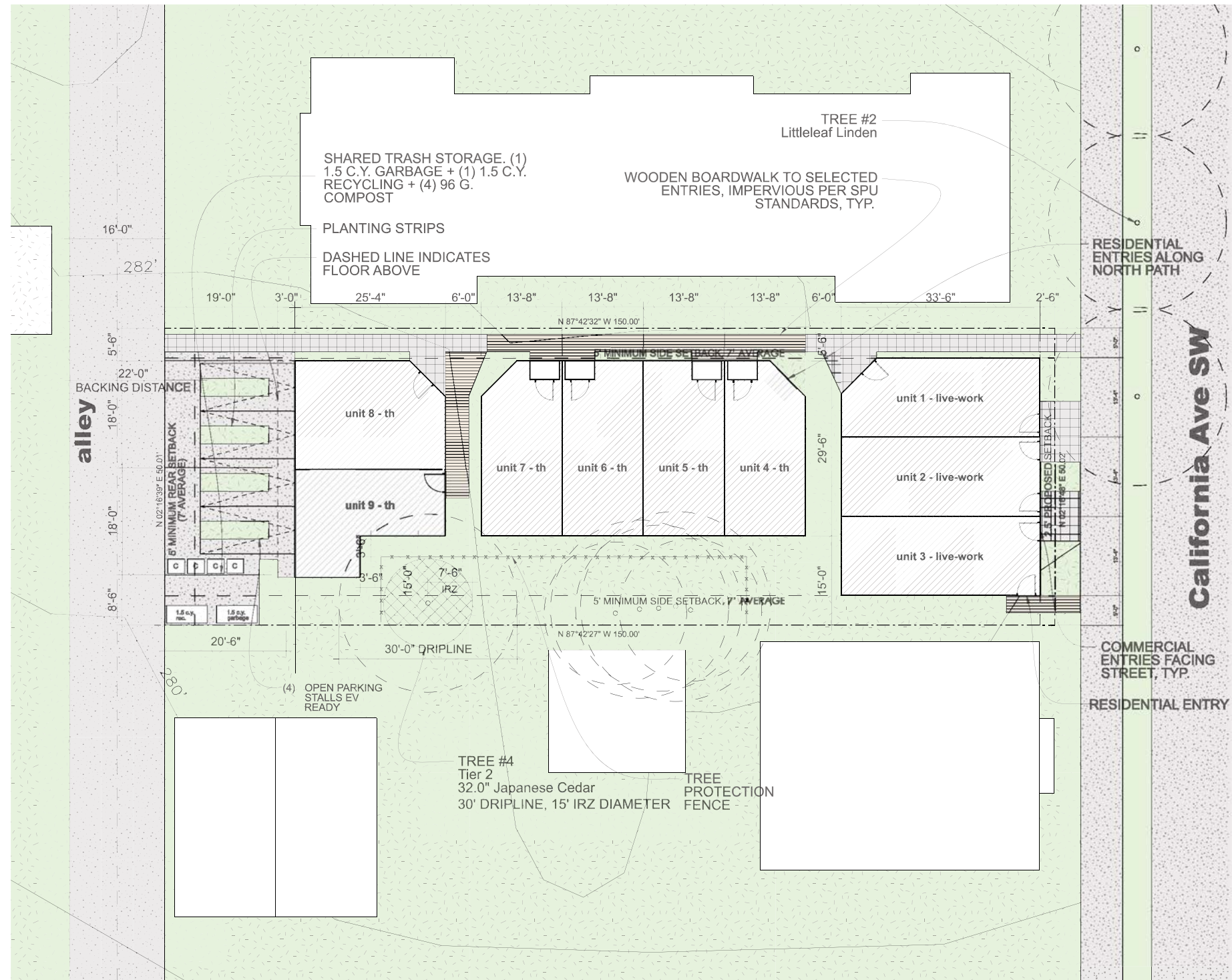
- FRONT: ALLOWED 5' MIN, 7' AVG
- FRONT: PROPOSED 2.5' MIN, 7' AVG

FACADE LENGTH (NORTH SIDE ONLY)

- ALLOWED 97.5'
- PROPOSED 116.5'

BUILDING SEPARATIONS

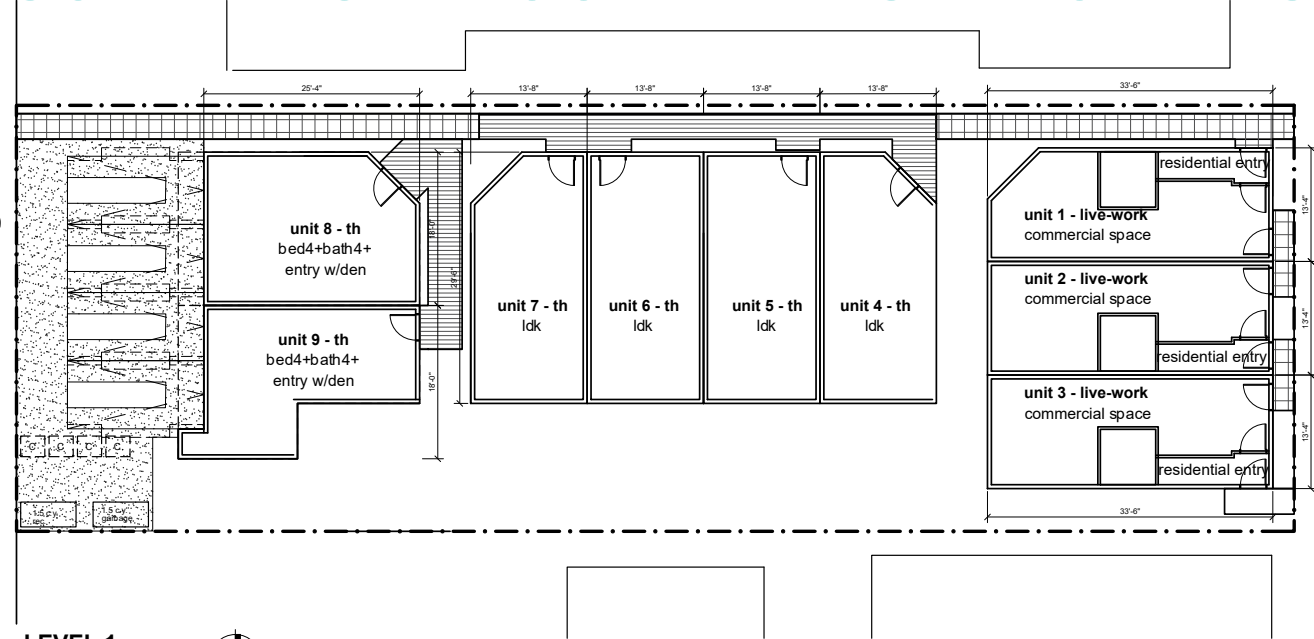
- ALLOWED 10'



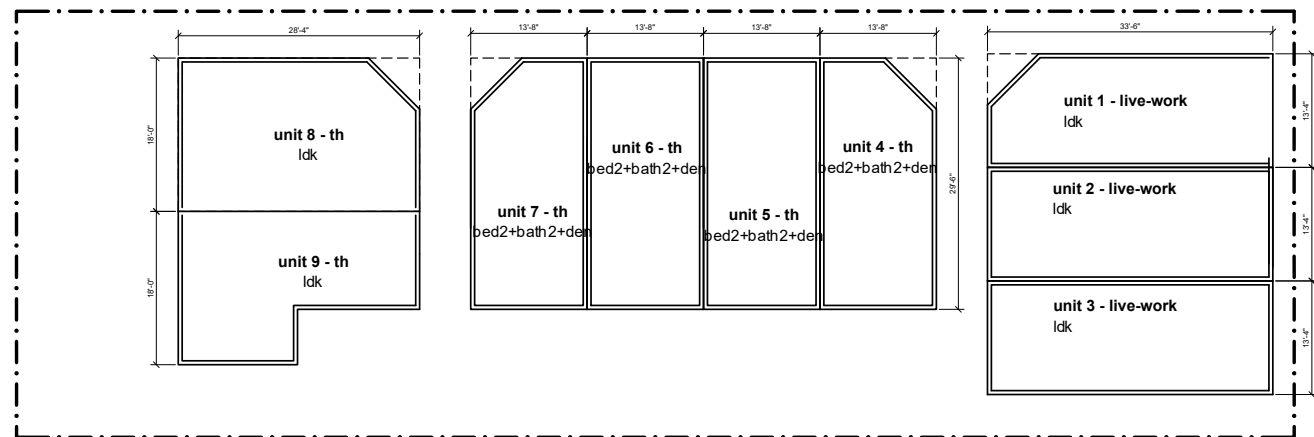
SCHEME 3 - FLOOR PLANS DIAGRAMS

California Ave SW

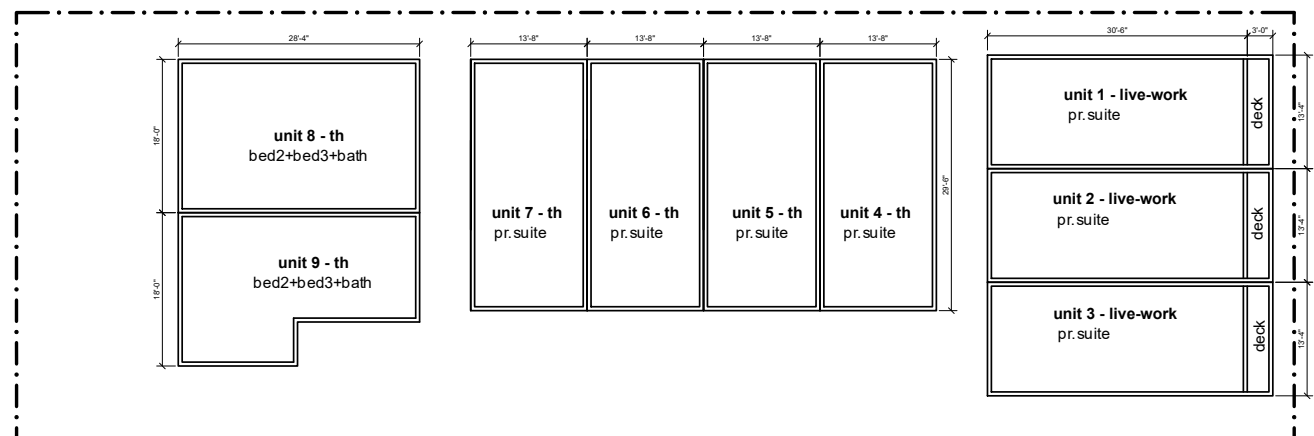
alley



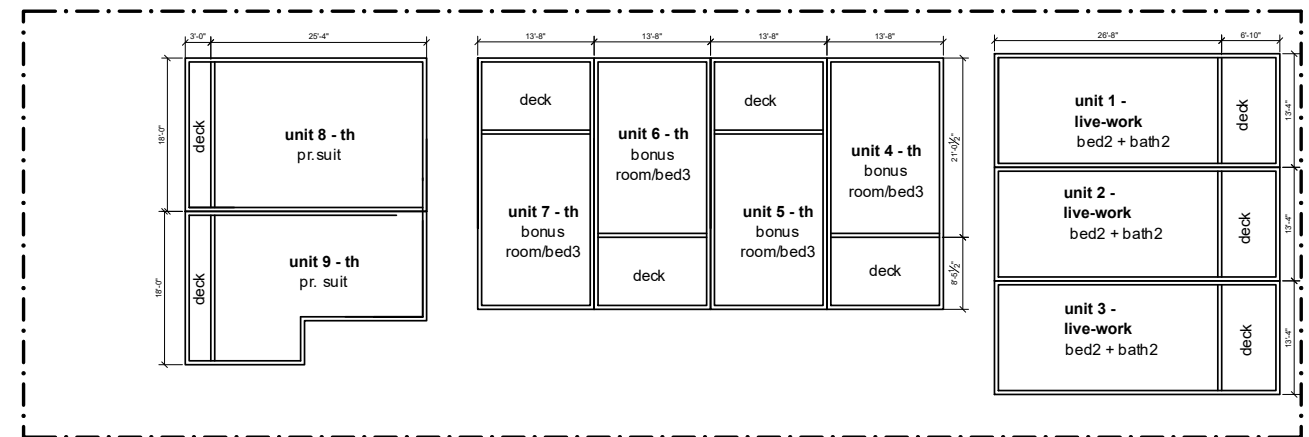
LEVEL 1 -



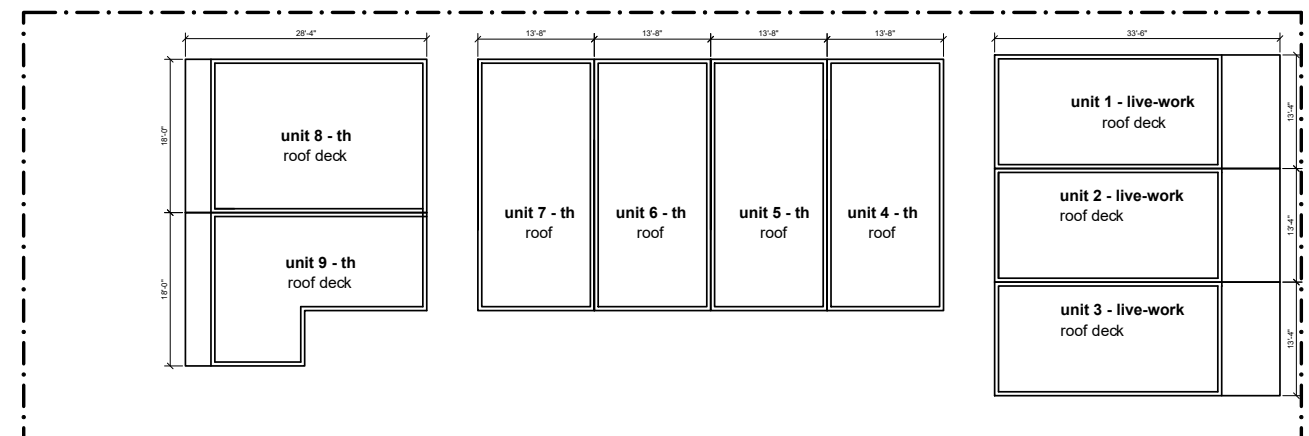
LEVEL 2 -

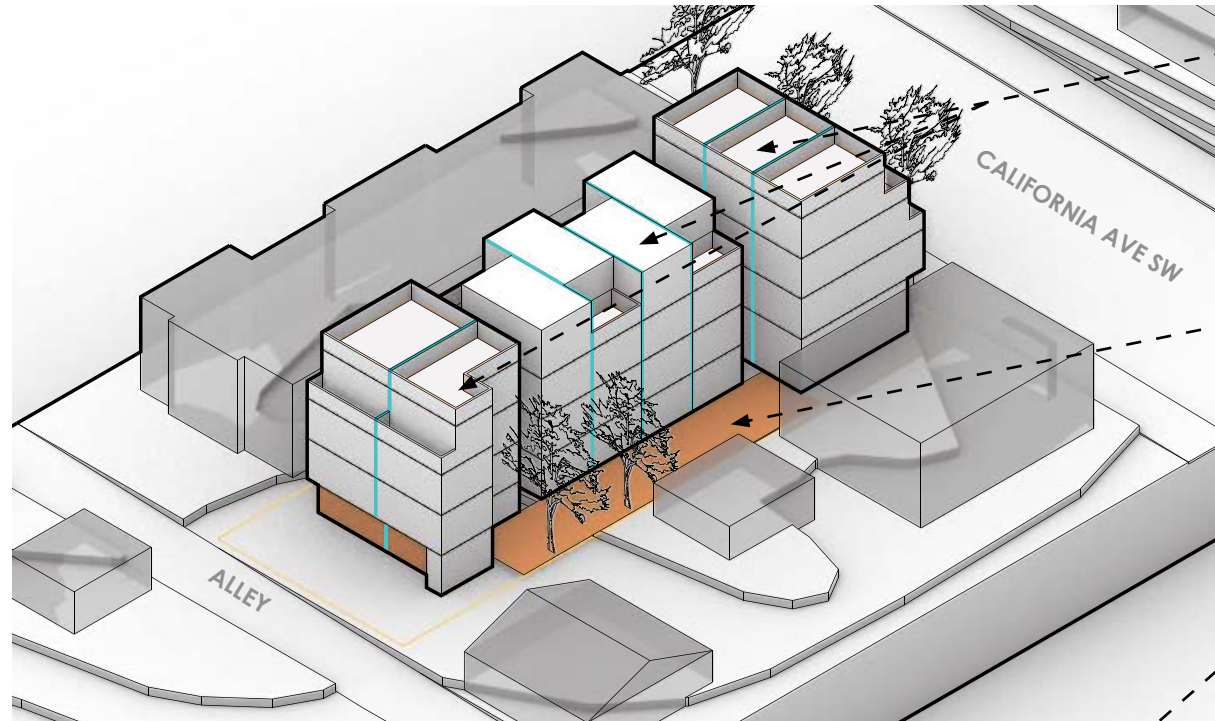


LEVEL 3 -



LEVEL 4 -





DC2_A.1.2: Site Characteristics, Reducing Perceived Mass

The building massing seeks to minimize the visual impact of this proposal by breaking the units into 3 distinct blocks (preferred scheme). In this scenario, the project will read more similarly to the contextual structures in this area. In all schemes roof deck penthouses are generally projected backward from the street edge to minimize perceived height as well. Modulation of facades also help to break up the perceived mass from the street.

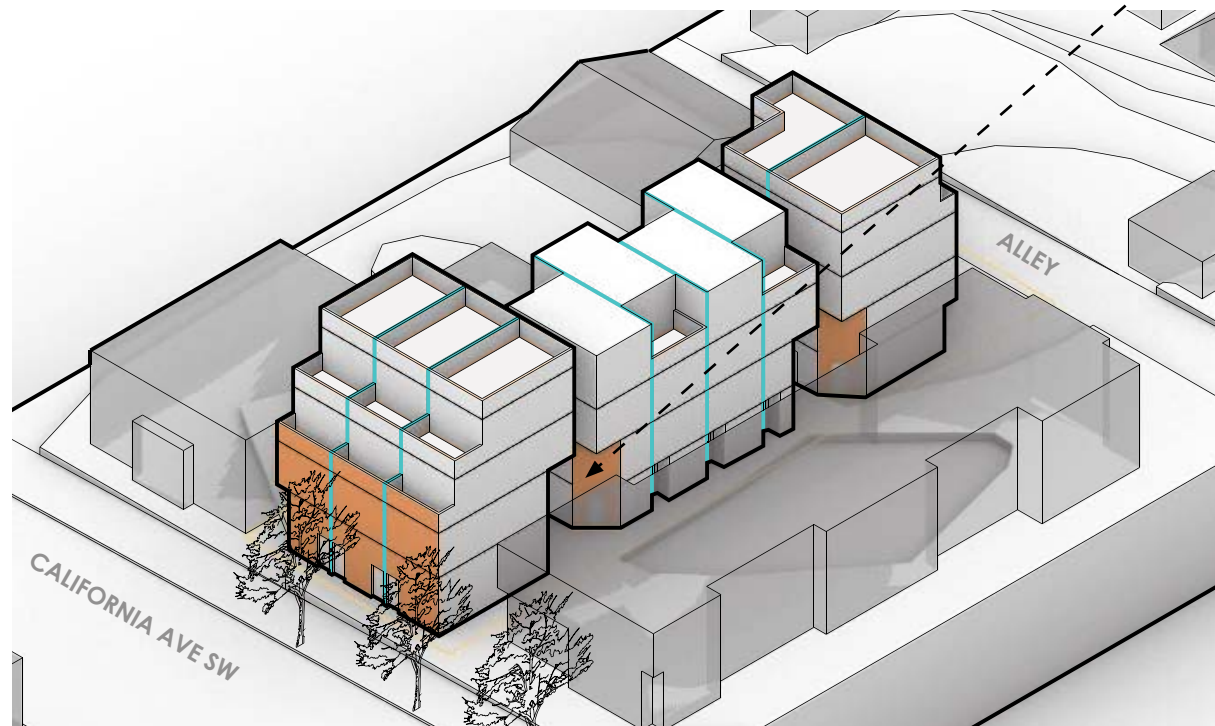
DC3_B.4: Multifamily Open Space

In all schemes a large multifamily open space is pursued. This space is designed to be at the rear of units and will promote social interaction and communal activities. We prioritized southern placement for these as it will benefit the solar access for the structures and the open spaces themselves.

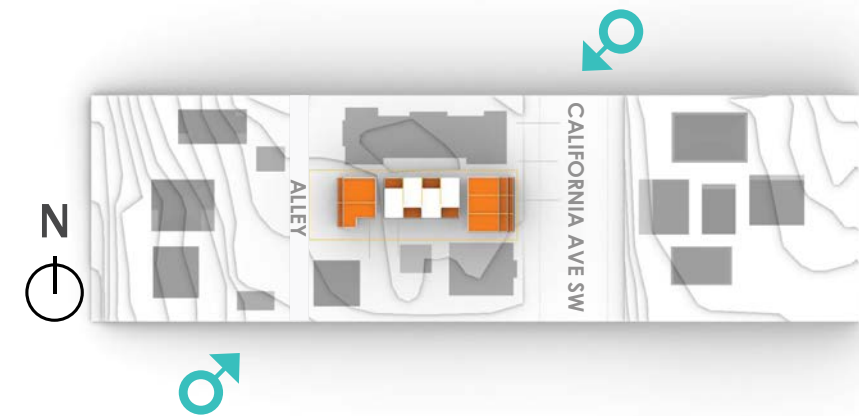
PL2_D.1: Wayfinding

Breaking this scheme into 3 distinct masses creates two view and light corridors on the site. These openings provide an important opportunity for wayfinding. By folding the corners of the 3 structures, this scheme seeks to create a more open experience of these passages while at the same time highlighting entries and paths to the common space to the south. Such folds on the building will incorporate similarly enhanced material to the street fronting facade and enhance the pedestrian experience.

AXO LOOKING SE



AXO LOOKING SW



SCHEME 3 - DESIGN STANDARDS DIAGRAMS

PL3_A.1: Entry Design Objectives

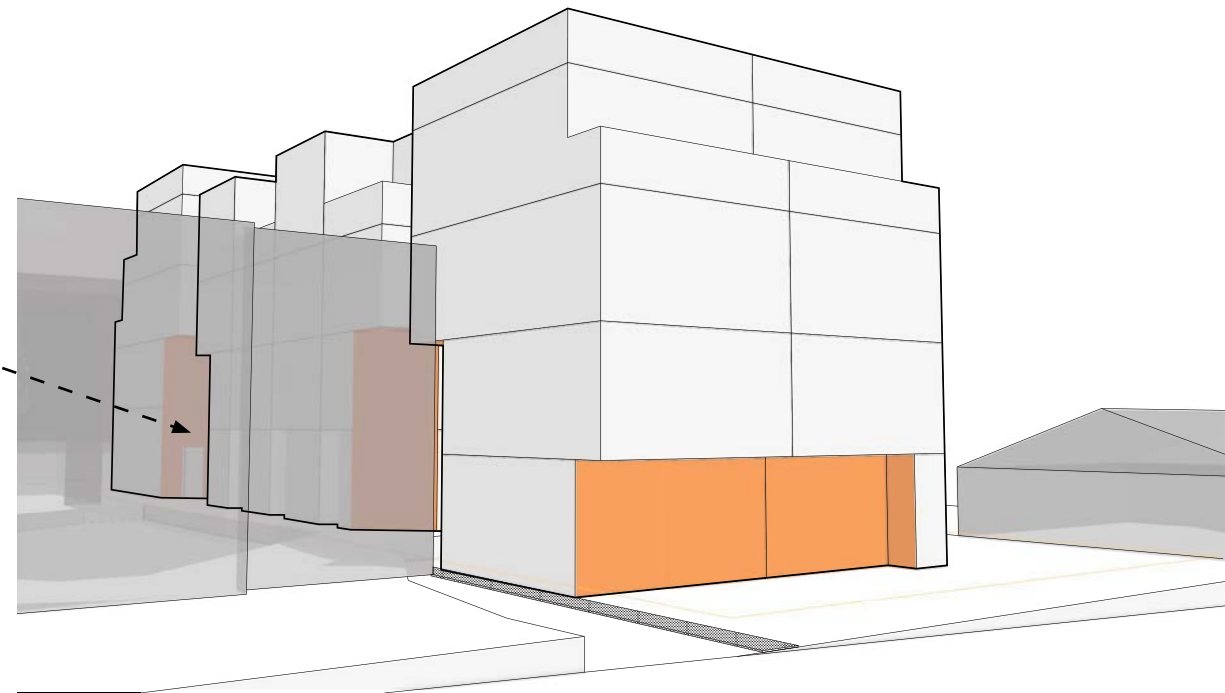
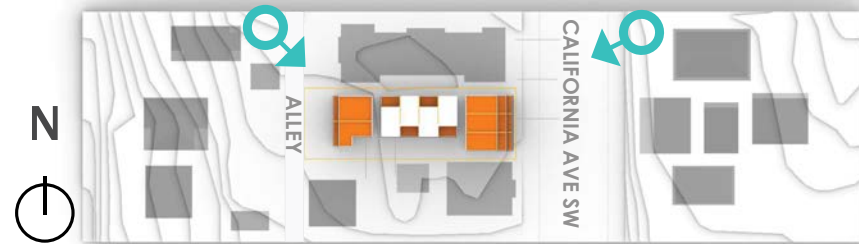
With different materiality, Large transparent entries, and open concepts, the lower "work" spaces visually read much different than the upper residential spaces. Entries for other residences are set back to the interior of the block to provide a more intimate and private user experience.

CS2_A.2: Architectural Presence

This project is sited on a developing and busy street in West Seattle. While the existing structure is low density in scale, the area is quickly adding larger buildings and new commercial spaces. Additionally, the two adjacent sites to the North and South of the site have structures with minimal setbacks from the R.O.W. The proposed building mass matches the adjacent building profiles and adds to a strong and engaging street edge that will contribute to social interaction and economic activity.

DC4_A.1: Exterior Finish Materials

Building material and color variation will be employed to break down the perceived building mass. Durable, high quality concrete/and or brick projected to be used at the ground level to relate to adjacent neighboring structures.



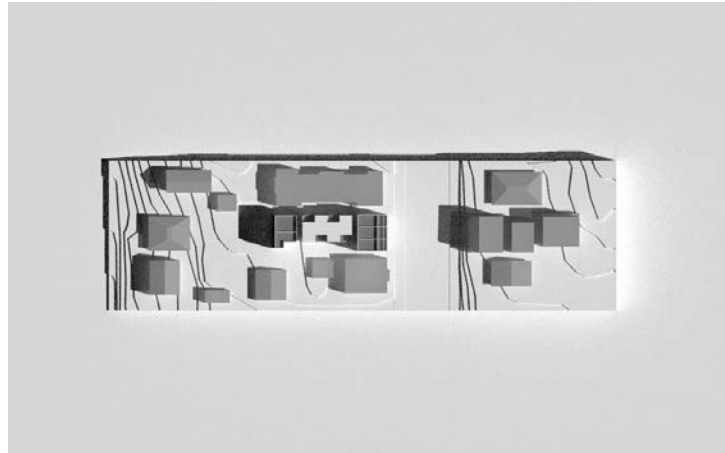
PERSPECTIVE FROM ALLEY



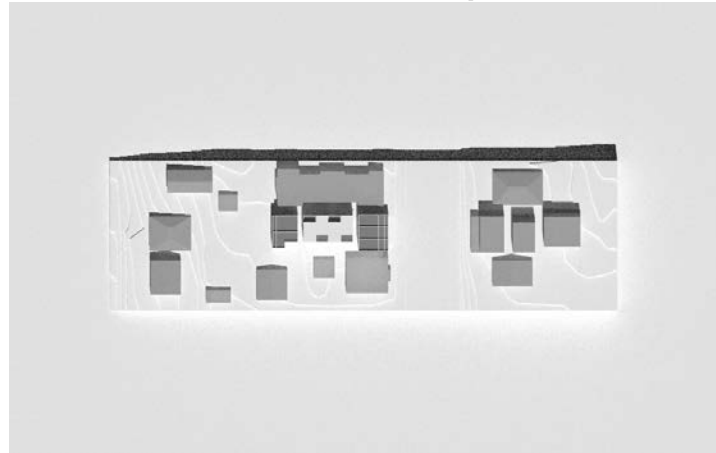
PERSPECTIVE FROM CALIFORNIA AVE SW

SCHEME 3 - SUN STUDY

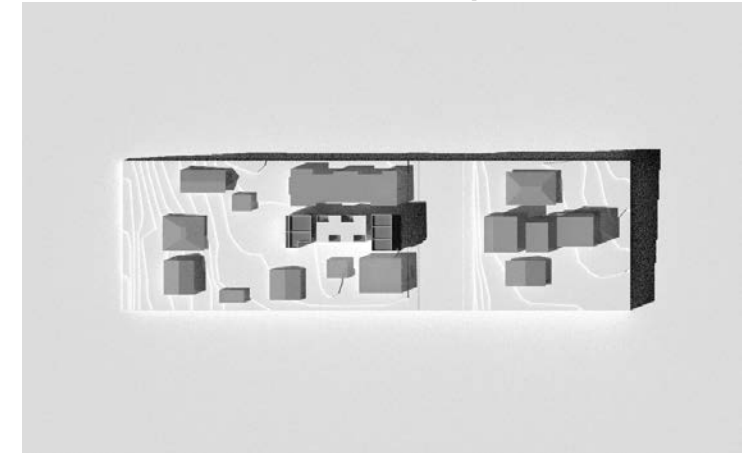
JUNE 21st 9:00am



JUNE 21st 12:00pm



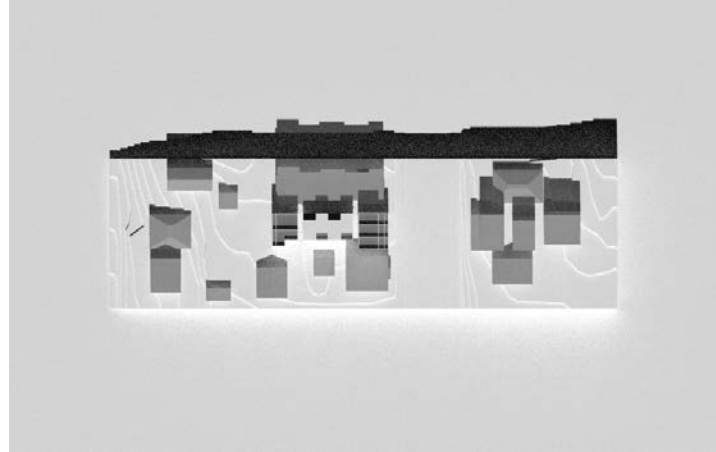
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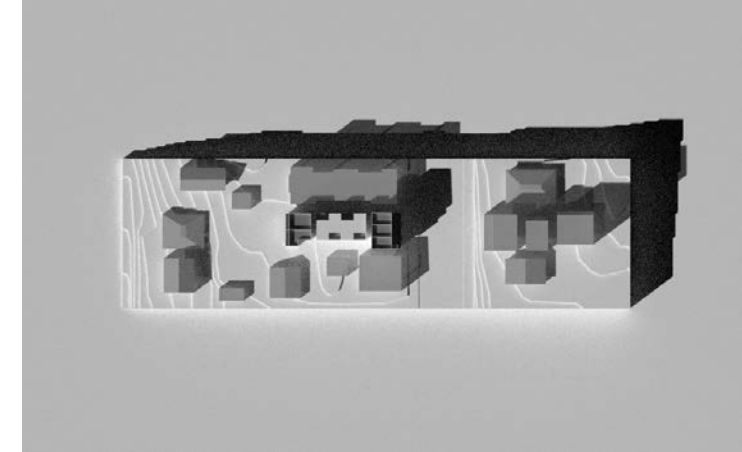
SEPTEMBER 22nd 9:00am



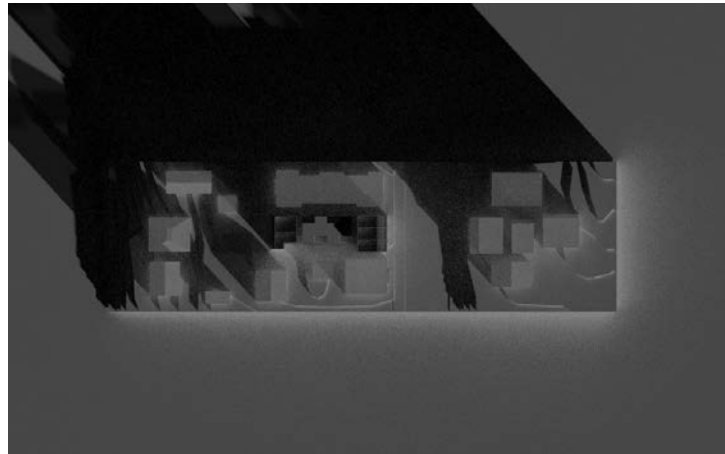
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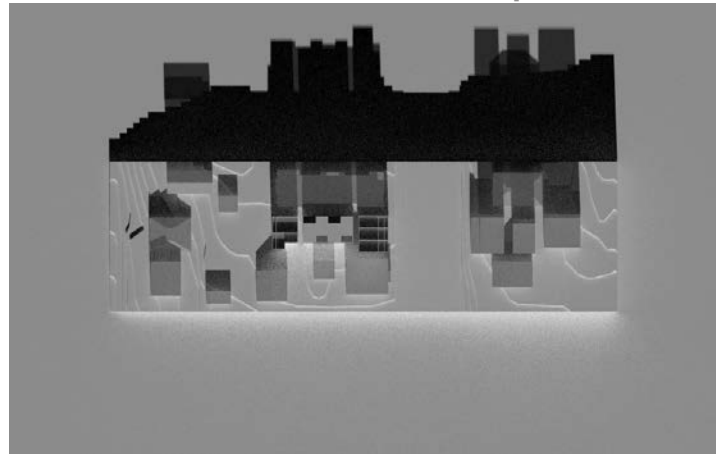
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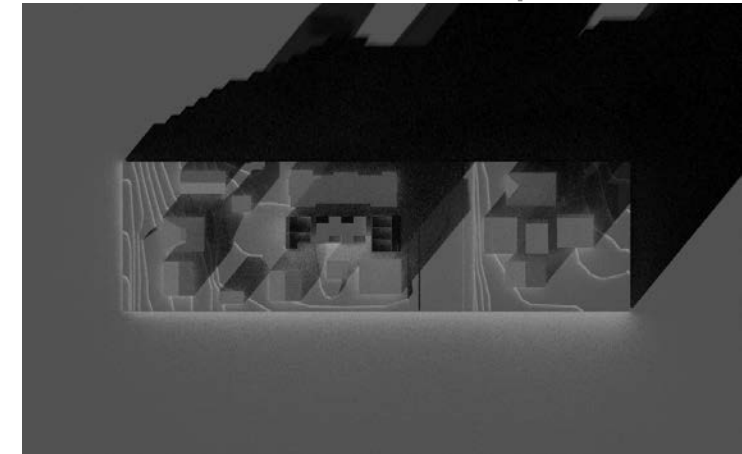
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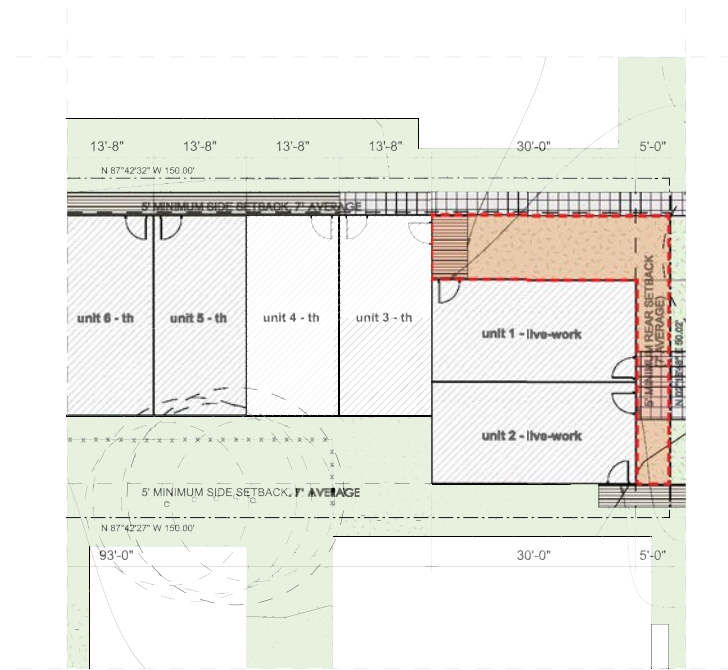
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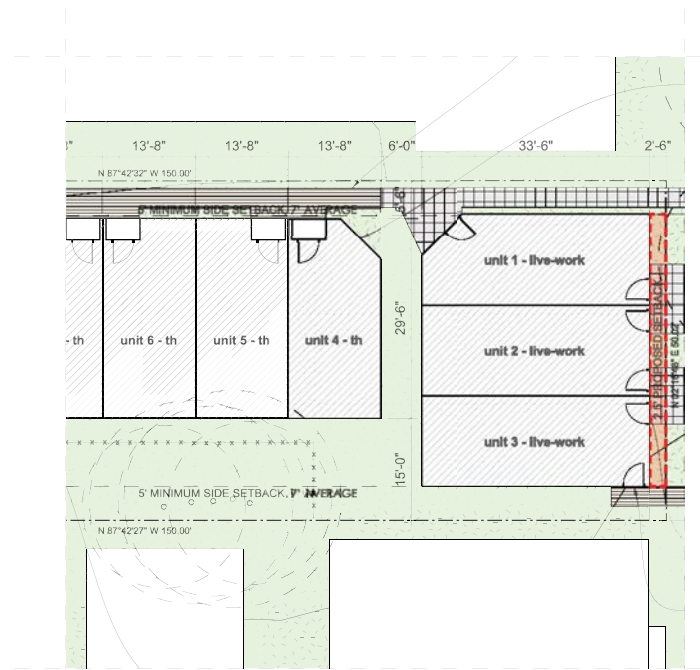
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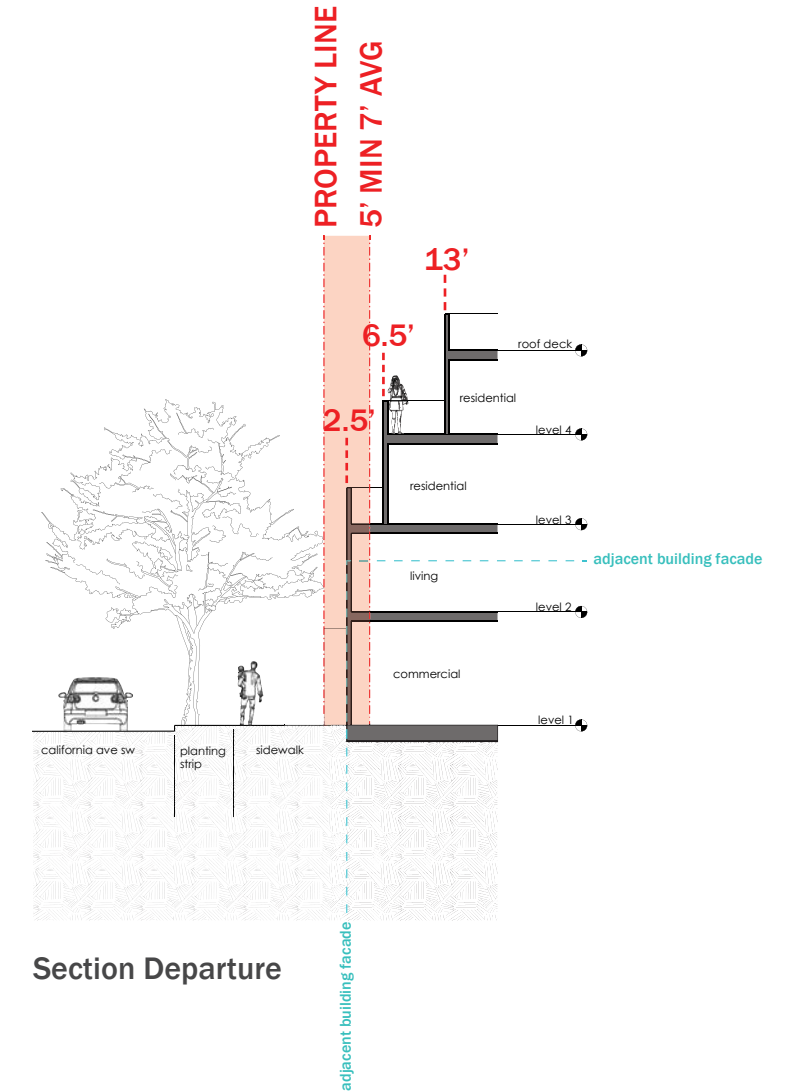
SETBACK DEPARTURE



Setback Compliant Diagram **5' MIN 7' AVG**



Setback Departure Diagram **2.5'**



Section Departure

Code Citation

SMC 23.45.518.A.1 - Setbacks and Separations

Required setbacks for the LR zones are shown in Table A for 23.45.518 and subsection 23.45.518.A.2.

Code Requirement

Table A for 23.45.518
Required setbacks in LR zones measured in feet

Setback	Category of residential use			
	Cottage housing developments and single-family dwelling units	Rowhouse developments	Townhouse developments	Apartments
Front	7 average: 5 minimum	5 minimum	7 average: 5 minimum	5 minimum

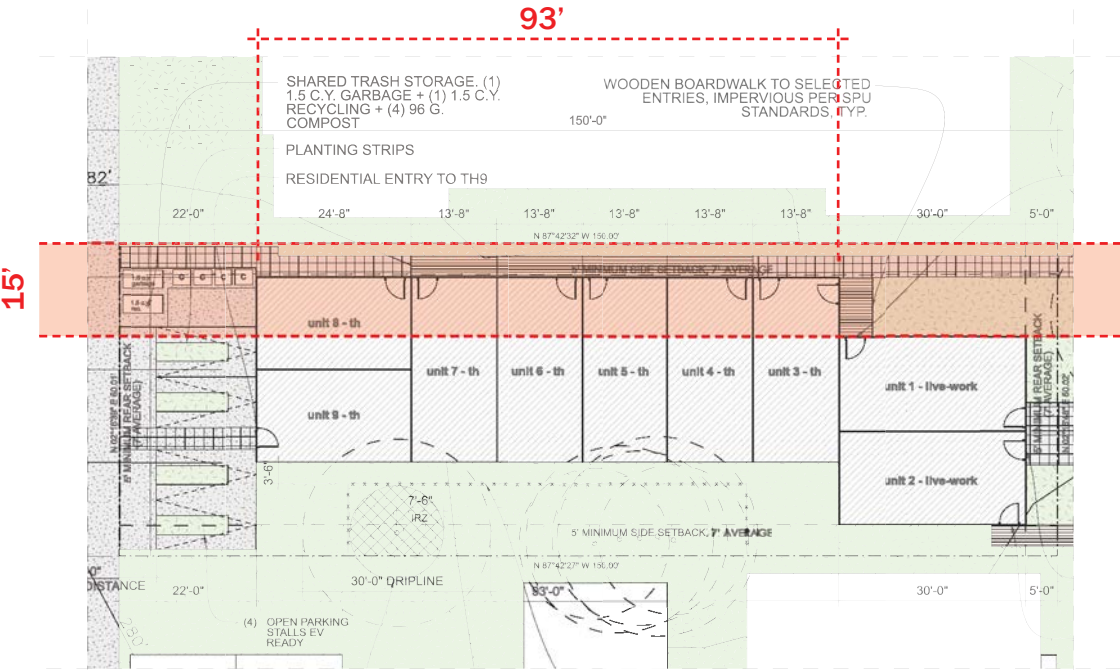
Proposed Design Departure

We propose a 2'-6" setback from units fronting California Ave SW in the first two stories, which is less than the minimum 5'-0" required setback per SMC 23.45.518.A.1. Level 3 and Level 4 will be set back 6.5' and 13' respectively.

Rationale

This departure will allow us to achieve several favorable conditions on the site. Using a 2'-6" setback allows the buildings fronting California Ave SW to match the setbacks of neighboring buildings to the north and to the south. This will produce a stronger street edge and will help to increase pedestrian engagement. This departure also gives space to break the overall building massing into three distinct volumes. This will provide increased daylight to the units and reduce the perceived mass of the project. This departure will only be utilized on the first two stories as well which allows us to more aptly respond and coordinate with existing street-fronting facades of adjacent buildings.

FACADE LENGTH DEPARTURE



Setback Compliant Diagram

Code Citation

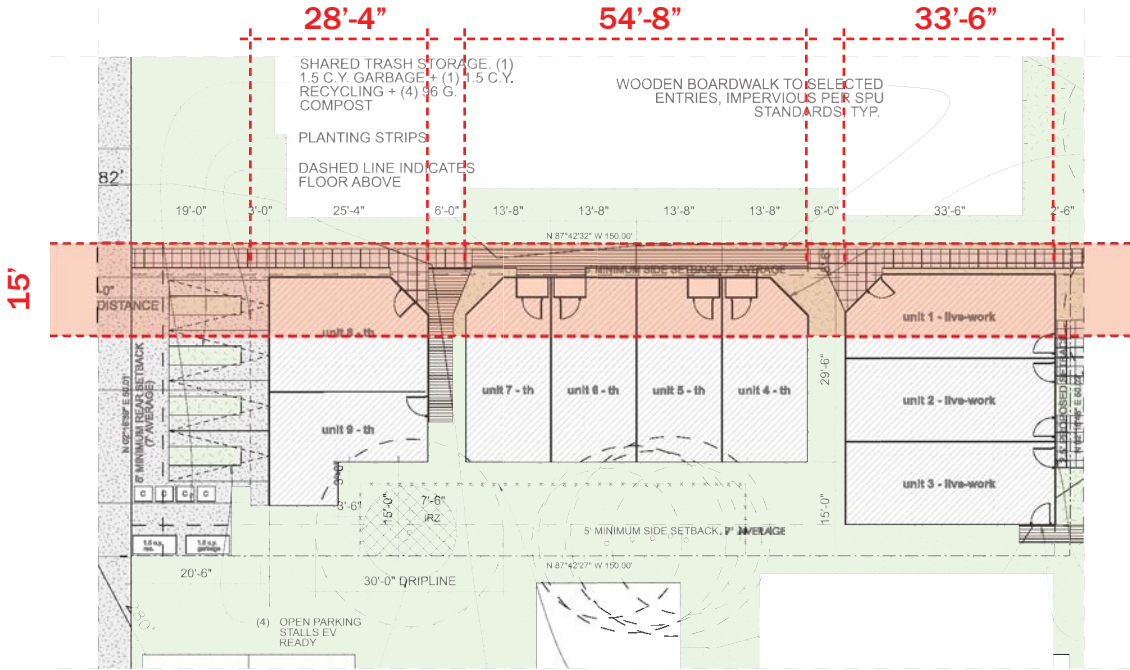
SMC 23.45.57.B.1 - Structure width and facade length limits in LR zones

B. Maximum facade length in Lowrise zones.

1.The maximum combined length of all portions of façades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.

Code Requirement

150' North Lot Line X 65% = 97.5' Maximum Facade Length



Setback Departure Diagram

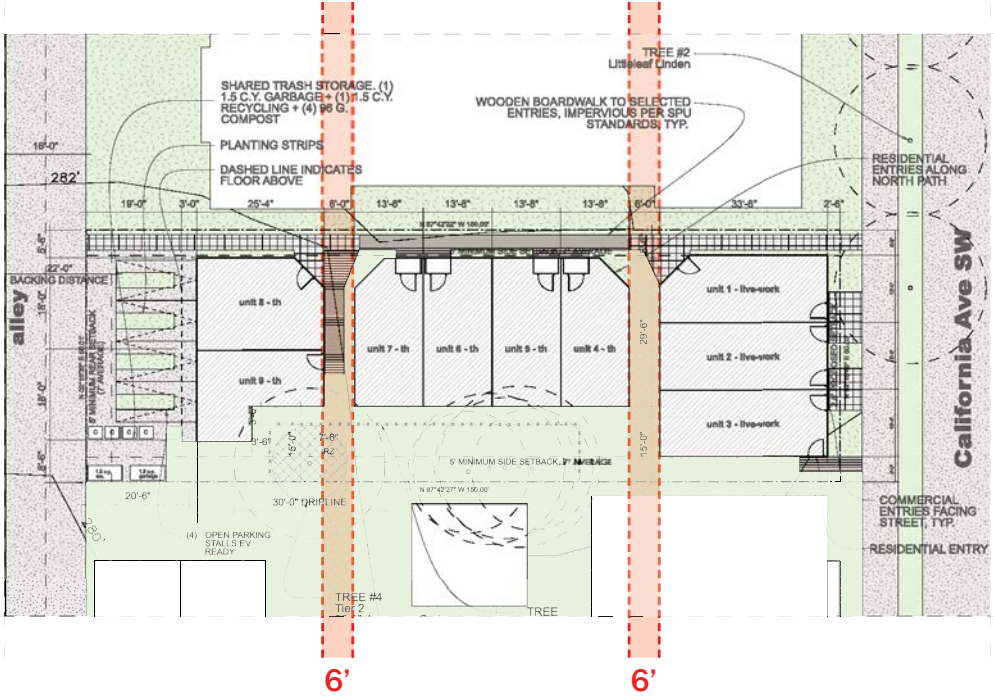
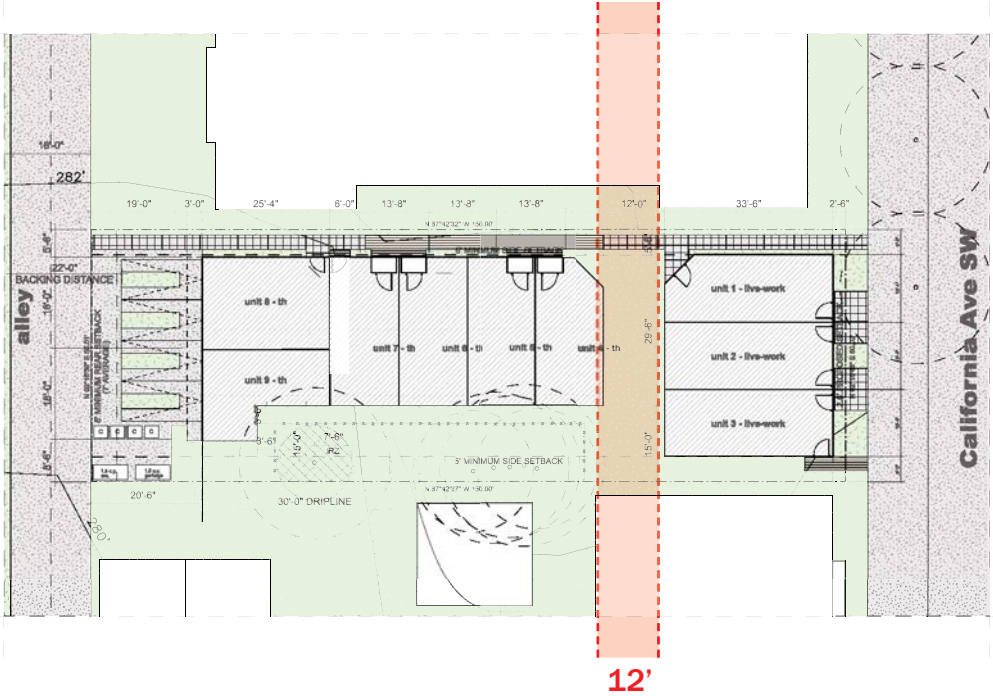
Proposed Design Departure

We propose a 116.5' facade length which is more than the maximum allowed facade length per SMC 23.45.57.B.1 (north side only)

Rationale

Primarily this departure will allow us to push all three live/work units to front California Ave SW. Without this departure one or more of these units will have to be set back within the block and will not contribute to a strong street edge. While this departure would require a longer facade length, it allows us to break up the mass into three blocks and add passages that allow light and views through the site which will create a more positive condition for the neighbor to the north.

BUILDING SEPARATION DEPARTURE



Setback Compliant Diagram

Setback Departure Diagram

Code Citation

Proposed Design Departure

SMC 23.45.518.F.1. - Setbacks and separations

We propose a 6' separation which is less than the minimum 10' per SMC 23.45.518.F.1

- F. Separations between multiple structures
 - 1. In LR and MR zones, the minimum required separation between principal structures at any two points on different interior facades is 10 feet, except for cottage housing developments, and principal structures separated by a driveway or parking aisle.

Rationale

This departure allows us to break the building into 3 masses rather than 2. This formal objective is important considering the neighboring NR3 zones. In breaking the mass down, we can contribute to the evolving pedestrian experience on California Ave SW while at the same time bridging the scale of structures between the adjacent land use zones. The two created passages on site also allow clear circulation to the common amenity space to the south and provide opportunities for private entries as well as wayfinding elements.

Code Requirement

Principal structures must have 10' between them.

STREET VIEW PERSPECTIVE

