



1800 Terry

SEATTLE, WA 98101

DPD# 3022347

DOWNTOWN DESIGN REVIEW BOARD:

Design Recommendation Meeting 2

September 5, 2017

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DESIGN PROPOSAL

Project Information

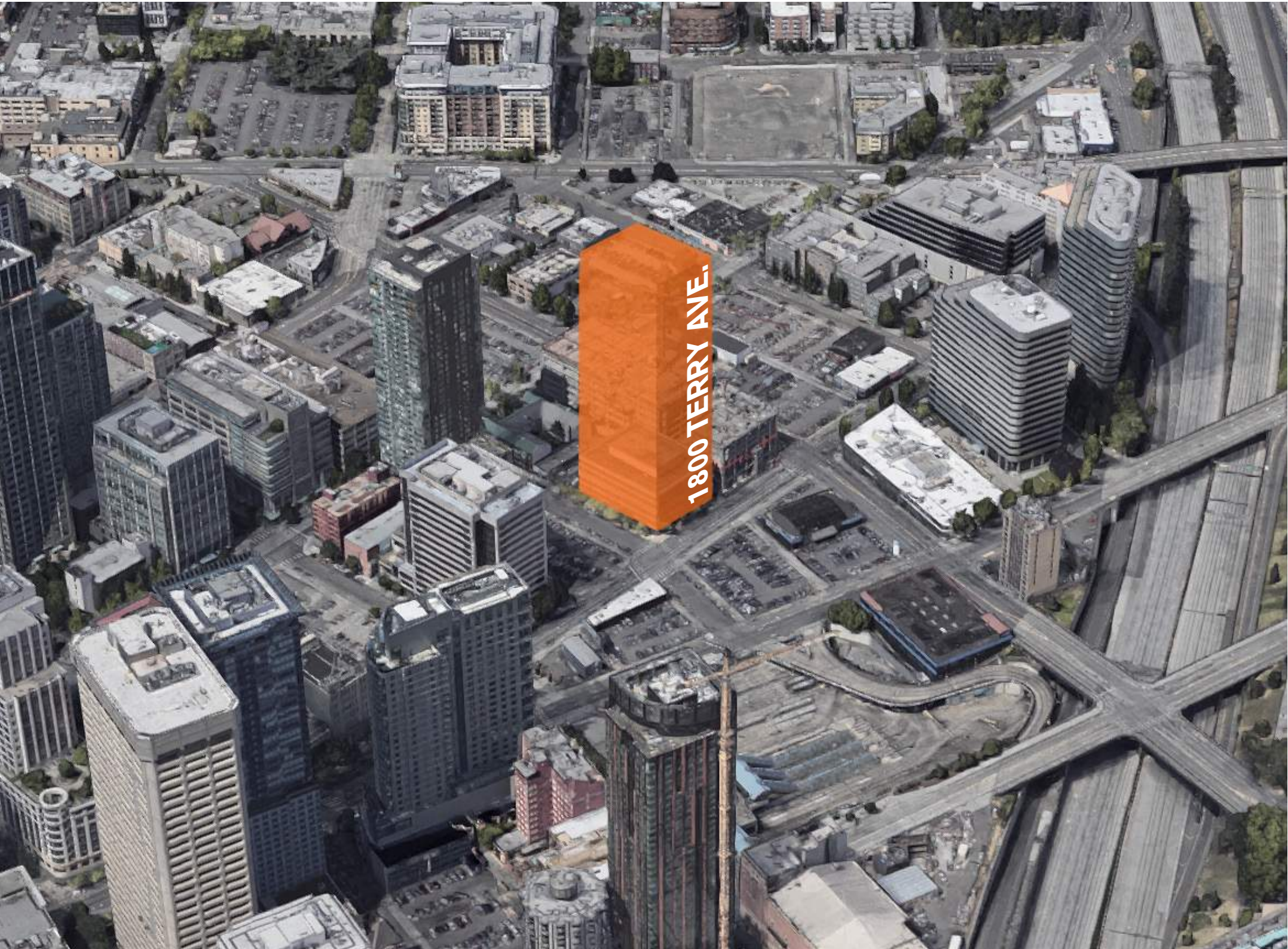
ADDRESS	1800 Terry Avenue Seattle, WA 98101
PARCELS	066000-1580
PROJECT #	3022347
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Reviewed by:

PROJECT SITE



DEVELOPMENT OBJECTIVES

- The 1800 Terry project will anchor the corner of green street Terry Avenue and Howell Street with a new neighborhood residential apartment tower. The project will consist of 5 levels of below grade parking, 424 dwelling units, ~6,000 SF of ground floor commercial space, & corresponding private amenity & roof top area.
- This project is designed to provide a safe, urban and enhanced pedestrian experience within the evolving downtown neighborhood of Denny Triangle.
- Denny Triangle is transitioning from predominantly downtown office use to include hospitality and residential venues. Accompanying residential, retail, restaurant and other neighborhood amenities will contribute to this new Seattle Urban Center Village.
- Fronting the inviting Terry Avenue Green Street, engaging architecture and lifestyle offerings, this project is designed as both an urban destination and upscale residences.
- Residential units will be delivered with a variety of up-market indoor and outdoor amenities. Unique residential tower design will provide each residence with fashionable interiors and stunning city views.
- In addition, view opportunities, natural light and air for neighboring buildings are maximized by the 1800 Terry tower orientation.
- Its technology centric infrastructure is green-focused, utilizing solar-powered unit heating and domestic hot water; a grey water treatment system; and LED/low voltage lighting throughout the building.
- The same technologies found 1800 Terry are the basis of design for the 47th + 7th University District apartment building. That project was recently honored in the DPD-sponsored inaugural People’s Choice Urban Design Awards for a technology/mid-rise building, which placed first in category.
- Lastly, an important regional goal is for 1800 Terry to become the first Seattle DPD Priority Green urban high rise project; and a model for that program.

Context Summary



CONTEXT ANALYSIS

Zoning + Overlay Designations

MAP KEY

- DOC2 500/300-500**
Downtown Office Core
- SM 240/125-400**
Seattle Mixed
- DMC 340/290-400**
Downtown Mixed
- NC3P-65**
Neighborhood Commercial - 3
- MR**
Mid-Rise
- District Boundary**
- Urban Center Village Boundary**

OBSERVATIONS

The 1800 Terry site is within the DMC340/290-400 Downtown Mixed Commercial DPD land use zone. Flanked by Denny Way and I-5, it is also within the Denny Triangle Urban Center Village.

To the southwest is the taller, denser development of the DOC2 500/300-500 Downtown Office Core zone.

North of Denny Way is the similar South Lake Union SM 240/125-400 zone.

East of I-5 are lower height zones of NC3P-65 and MR.

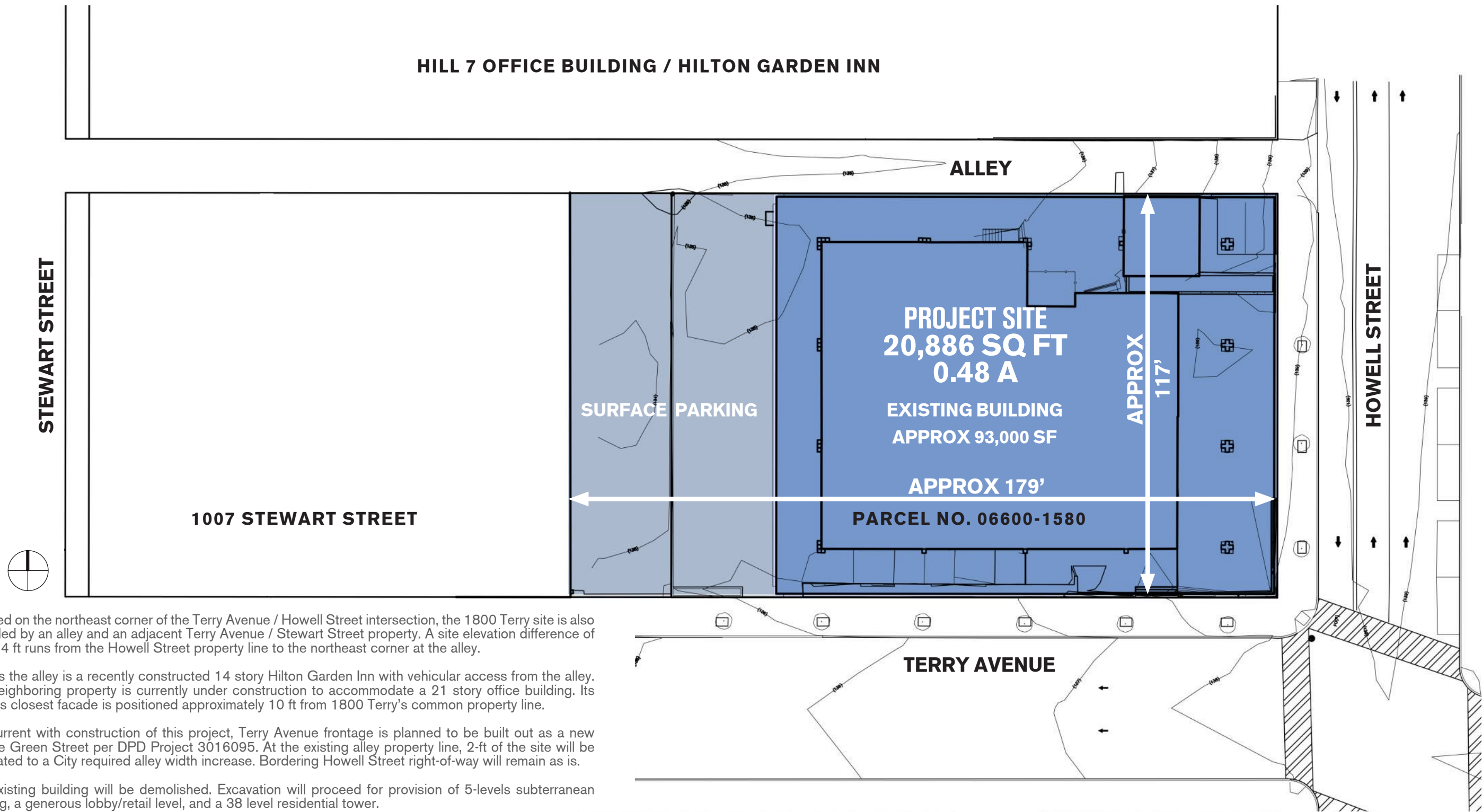
ZONING + OVERLAY DESIGNATIONS



Site Conditions



SITE SURVEY



Located on the northeast corner of the Terry Avenue / Howell Street intersection, the 1800 Terry site is also bounded by an alley and an adjacent Terry Avenue / Stewart Street property. A site elevation difference of about 4 ft runs from the Howell Street property line to the northeast corner at the alley.

Across the alley is a recently constructed 14 story Hilton Garden Inn with vehicular access from the alley. The neighboring property is currently under construction to accommodate a 21 story office building. Its tower's closest facade is positioned approximately 10 ft from 1800 Terry's common property line.

Concurrent with construction of this project, Terry Avenue frontage is planned to be built out as a new Seattle Green Street per DPD Project 3016095. At the existing alley property line, 2-ft of the site will be dedicated to a City required alley width increase. Bordering Howell Street right-of-way will remain as is.

The existing building will be demolished. Excavation will proceed for provision of 5-levels subterranean parking, a generous lobby/retail level, and a 38 level residential tower.

Zoning Summary



LAND USE CODE SUMMARY

1800 Terry Avenue: Parcel No. 066000-1580
Site Area: 20,866-sf / 0.48 A
Zone: DMC 340/290-400
Overlay District: Denny Triangle Urban Center Village

23.49.008 - Structure Height
340-ft: Max non-residential height.
290-ft: Base residential height.
400-ft: Max residential height w/ performance or pay-ment options.

23.49.008 - Rooftop Features
Rooftop features permitted with unlimited rooftop coverage and not exceeding the height limits as indicated:

Open railings, planters, clerestories, skylights, play equipment, parapets, firewalls up to 4-ft above applicable height limit.

Solar collectors up to 7-ft above applicable height limit.

Features permitted to extend up to 15-ft above the limit:

- Solar collectors; stair penthouses; play equipment and open-mesh fencing, as long as the fencing is at least 15-ft from the roof edge; covered or enclosed common recre-ation area; mechanical equipment; and wind turbines.

Elevator Machine Room: Up to 15-ft above height limit; if el-evator provides access to a rooftop designed to provide usable open space, an additional 10-ft above is permitted.

Mechanical Penthouse / Equipt: 10-ft min rooftop setback.

23.49.011 - Floor Area Ratio (FAR)
Site is located within Local Infrastructure Project Area.

23.49.018 - Overhead Weather Protection
Required along entire street frontage except those portions of façade that: are located >5-ft from the property line or widened sidewalk on private property; or abut a bonus open space amenity feature; or are separated from street property line or widened sidewalk on private property by landscaped area at least 2-ft wide; or driveways into structures or loading docks.

Weather protection min 8-ft measured horizontally from build-ing wall or must extend to 2-ft from the curb line, whichever is less. No sidewalk obstructions from weather protection. Weather protection lower edge must be a min 10-ft and a max 15-ft above sidewalk. Pedestrian lighting may be located on building facade or over-head weather protection.

23.49.019 - Parking, Screening
No parking, either long-term or short-term, is required for this site in a DMC zone. (C.1: 1 Retail Space per 1,000-gsf max)
No reduction of bicycle parking allowed.

No parking allowed but drop-off provided at street level on Terry (Green Street DPD Project No. 3016095).

One level of parking is permitted above street-level story of the structure for each level of parking provided below grade that is of at least equivalent capacity, up to a max of four levels. Screening per subsection 23.49.019.B.4 must be met. Director may permit additional levels above street due to site constraints.

Other uses than parking is not required along street facades for the first 2-parking levels above the ground floor.

Each parking level above street-level shall have an opaque screen at least 3.5-ft high where parking is not separated from the street by another use.

Owner required to maintain or contract a transportation coordi-nator position acceptable to Seattle DOT; DOT inspection and review of operation of ridesharing program required; provision and maintenance of information center required.

23.49.019 - Bicycle Parking
1 Space per 5,000-gsf Retail (Estimate 1-2 bicycle parks).
1 Space for every 2-Dwelling Units (Estimate 212-bicycle parks for 424 units). Covered bicycle parking req'd.

23.49.019 - Parking Access
If a lot abuts an alley, alley access is required, except with Di-rector of Transportation approval. Generally Green Street ac-cess (Terry) not allowed if access from any other right-of-way is possible; nor from Principal Transit Street (Howell). Note: Terry is designated Access and Green Street with an existing park-ing access curb cut; Howell is a Principal Arterial.

23.49.025 - Venting
Shall be at least 10-ft above sidewalk grade and directed away from residential uses w/in 50-ft of vent.

23.49.056 - Minimum Facade Height
Terry: 35-ft. / Howell: 35-ft.

23.49.056 - Setback Limits
No setback on Howell allowed up to 15-ft above sidewalk. 2-ft setback from property line required on Terry.

23.49.056 - Facade Transparency and Blank Limits
Applies to non-residential facade 2-ft to 8-ft above sidewalk: Only clear or lightly tinted glass in windows, doors, and display windows is considered to be transparent.

23.49.056 - Street Trees
Street Trees on Terry per DPD Project 3016095 and on How-ell per Seattle DOT ROW Improvements Manual.

23.49.056 - Setbacks and Landscaping
Setbacks and landscape on Terry per DPD Project 3016095 and on Howell per Seattle DOT ROW Improvements Manual. Area shall be at least 1.5 times lf-length of the street lot line.

Landscaping in setbacks in the Denny Triangle Urban Center Village: at least 20% of the total area of all areas abutting the street lot line that are not covered by a structure, have a depth of 10-ft or more from the street lot line and are larger than 300-sf, shall be landscaped. Area under canopies or marquees is considered uncovered. Setback provided to meet min req'd sidewalk width is exempt from landscaping.

Terry green street setback: a 2-ft wide setback from street lot line is required; Director may allow averaging of setback to provide greater conformity with an approved green street plan. 50% of setback area shall be landscaped.

23.49.058 - Max Unmodulated Facade
0 to 85-ft: No limit
86 to 160-ft: 155-ft
161-ft to 240-ft: 125-ft
241-ft to 500-ft: 100-ft

23.49.058 - Upper-Level Development
Max Tower Average Floor Area: 10,700-sf / floor.
Max Tower Floor Area of Any Floor: 11,500-sf / floor.

Max Tower Width: Above 85-ft along north/south axis of a site (parallel to the Avenues) shall be 120-ft or 80% (179-ft x 80% =144-ft at Terry) width of lot, whichever is less. Unenclosed decks and architectural features (such as cornices) may be dis-regarded in width calcs.

23.49.058 - High Rise Setbacks and Separations
All portions of the tower above 125-ft height must be separat-ed from any other existing tower that is above 160-ft height, by min 60-ft between towers. Director may grant exception.

23.53.035 - Architectural Encroachments
Minor encroachments are purely decorative and do not increase floor area or enclosed space volume. Regarding “structural overhangs”:

Structural overhangs include bay windows, balconies, and other projections into and over public places as defined under Title 15 that exceed the limits of minor architectural encroachments and that increase either the floor area of the building or the volume of space enclosed by the building above grade.

An annual permit from the Seattle Department of Transportation is required for structural building overhangs.

Structural building overhangs shall be removable per Title 15.

They shall not be part of the essential building structure and shall not contain building systems, such as plumbing.

Vertical clearance: Clearance to any structural building overhang shall be a minimum of 8-ft above all sidewalk elevations, or 26-ft above all elevations of an alley, or greater if required by other regulations.

Depth: The maximum horizontal projection for a structural building overhang, measured to the furthest exterior element, shall be 3-ft, and the projection shall in no case be closer than 8-ft to the centerline of any alley.

23.54.035 - Loading Berths
2-Berths min Req'd: 10'-width x 25'-length x 14' height.

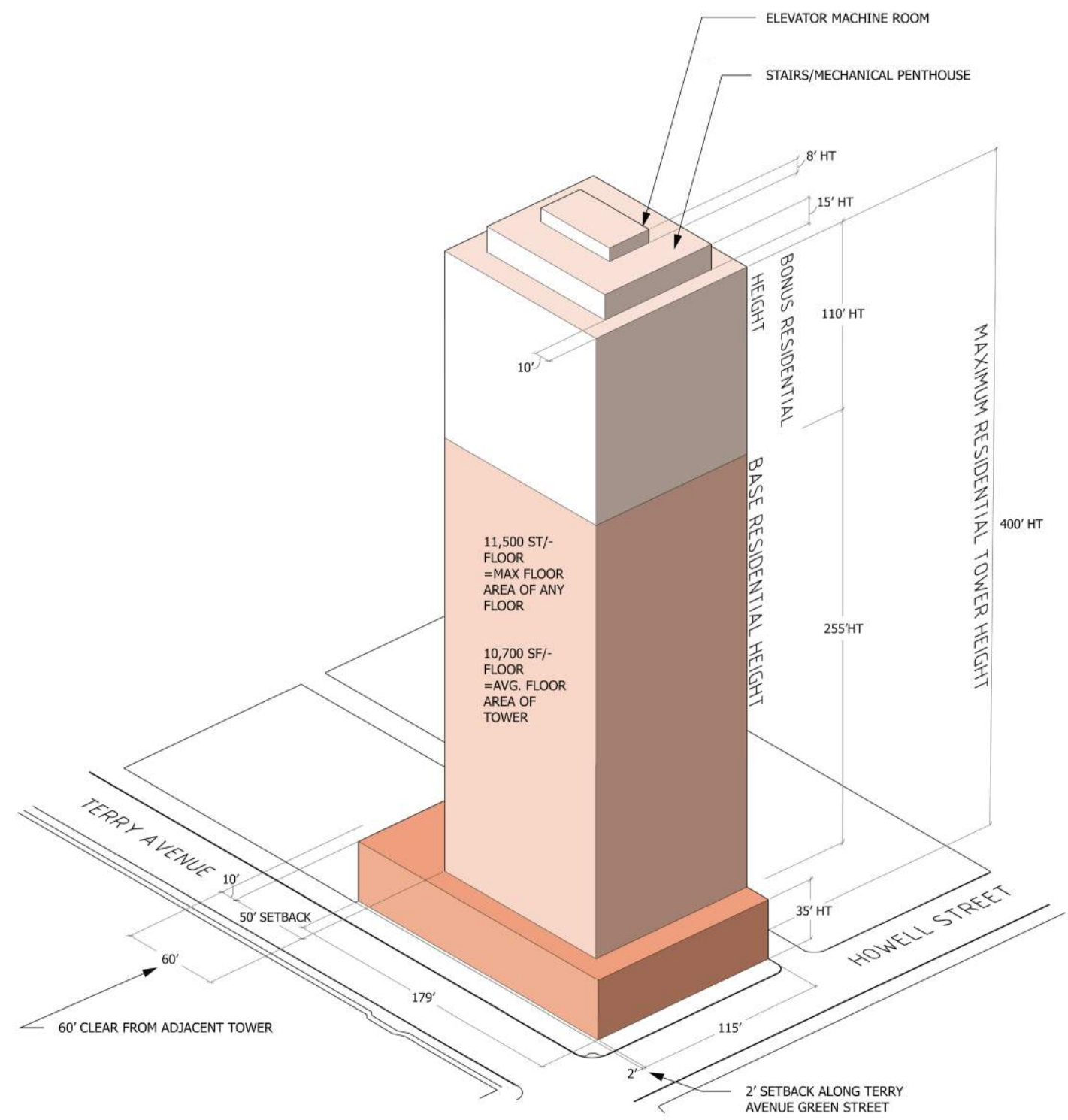
For uses with less than 16,000-gsf that provide a loading space on a street or alley, the loading berth requirements may be waived by the Director if, after review, the Director of Trans- portation finds that the street or alley berth is adequate.

Low-Med Demand: 10'-width x 35'-length x 14' height (25'-length with exception).

23.54.040 - Solid Waste / Recycle
Residential: >100 dwelling units=575-sf+(4-sf x 424 units) = 575-sf+1696sf = 2,271-sf. (May be reduced by 15% w/ min 20-ft dim)
Commercial: 5,001 to 15,000-sf = 125-sf / 2 = 63-sf req'd.
Total = 2,271-sf+63-sf = 2,334-sf Req'd. to be provided for Shared Solid Waste.

ZONING SUMMARY

LAND USE BUILDING ENVELOPE



OBSERVATIONS

- The adjacent building envelope diagram indicates general limits of the DMC 340/290-400 site zone.
- Terry Avenue Facade: setback requirement is 2-ft.
- Howell Street Facade: required property line facade.
- Alley Facade: 2-ft required dedication to alley width.
- Facade Modulation: up to 15-ft. must meet specifics in SMU 23.49.056.B1.b and .c.
- Facade Minimum Height: 35-ft.
- Minimum 40% Street Podium between 15-ft and 35-ft Height.
- Tower Separation: 60-ft from adjacent tower at 1007 Stewart.
- Base Height: 290-ft. Max. Height: 400-ft.
Note: The 1800 Terry Project is committed to satisfy the City of Seattle Land Use Planning requirements for acquisition of Bonus Residential Floor Area to achieve the maximum allowable height of 400-ft per its Zone DMC 340/290-400 location.
- Mechanical Penthouse / Screened Equipment Height: 15-ft.
- See Zoning Code Summary for additional detail.

EDG Summary



CONCEPT ALTERNATIVES

DRB 1 Response Comments Matrix

BOARD COMMENTS		OUR RESPONSE TO BOARD COMMENTS	PAGES
1	<div><p>SITE PLANNING AND MASSING</p><p>At the Recommendation meeting the Board re-affirmed their support for the diagonal orientation of the building. They reaffirmed that all service uses need to be moved off the Howell Street frontage. The Board was reacting to the applicant proposal of three kitchen storage areas along the sidewalk. The Board directed the applicant to relocate the kitchen services and to make the Howell street façade more accommodating for the pedestrian. The Board cited alternative design choices which include bringing the open kitchen and restaurant use around the corner to face Howell, or other pedestrian friendly or accessible uses. The overall direction from the Board is to create a Howell Street experience that is more accommodating to the pedestrian. Likewise, the Board directed the applicant to focus more design attention to the alley façade at grade by providing more architectural detail and pedestrian scaled elements.</p><p>The Board directed the applicant to enlarge, “open up” the corner, (street level open space at Howell and Terry) to provide more area for public and private interaction. The Board cited the Tower Spacing Exception that the Director will be considering and noted that generous open space at grade would be a significant public benefit to offset the impact of the tower separation encroachment and that a large open space will be required and most effective at this location. The Board felt the open space concept images were headed in the right direction, but there must be more square footage of open space, the plaza is not big enough, and quality design commitments need to be communicated and specified. The Board liked the interesting seating images, water features, and sculptural elements. These features need to be presented as material proposals rather than inspiration images at the next meeting. The Recommendation packet drawings showed a change in grade at a restaurant plaza which the design team has omitted and which the Board supports. The Board agreed with an open space concept which does not have separating elements like a change in grade or large planters. Additionally, the Board noted that the building podium level would be another area to invite the public for a possible public benefit feature.</p></div>	<div><p>In consideration of the Board's Recommendation feedback, the three kitchen storage areas have been moved internal to the exterior facade to make the Howell street facade more accomodating for the pedestrian. (p. 37)</p><p>In addition to removing the kitchen storage areas from the exterior facade, the proposal now includes glass on the North facade of the kitchen to add more detail and transparancy to the alley facade. These windows are similar in length & height to the adjacent project to the North of 1800 Terry. In addition to the added transparency, focused pedestrian lighting at each building entry in the alley has been added. (p. 54, 78)</p><p>In response to the Board’s comments regarding the plaza, the proposal has decreased the footprint of the fixed planters within the plaza and reconfigured them in a more porous and permeable manner to allow the plaza to spill out into the ROW. The proposal now includes renderings of the plaza in place of inspiration images to provide the design commitment the Board is requesting. (p. 44, 63)</p><p>Due to the existing slope on the site, there is an 18” change of grade in the plaza. While the board did not immediatly support a change in grade at the plaza, the proposed design solution of a gradual low slope stair allows the plaza to mediate the Howell & Terry grade changes while also providing functional & active space. (p. 63)</p><p>For building security, the podium level is a private amenity for the building residents so it will not be accessible by the public.</p></div>	<div><p>p. (37,44, 54,63,78)</p></div>
2	<div><p>ARCHITECTURAL EXPRESSION</p><p>At the Recommendation Meeting the Board focused on several important architectural and site planning elements. They noted that bicyclists will use the alley for their building access and the alley should include architectural expression, detail, and interest. The Board sought to understand how the façade map concept would be expressed. They asked many questions on the materials to communicate the façade concept and gave the following direction to the applicant to study. The Board liked the strong structural “bones” of the building technology and directed the applicant to allow the structural elements to show through a more transparent scrim of the façade map concept. The Board directed the applicant to find a material to render the “water” of the map as transparent and the “land” of the map as very translucent, and to avoid any opaque material. The Board did not support the mint green color that the applicant was suggesting and asked the applicant to return with a different color suggestion. The Board explained that the “map” should float over the building and to reinforce that idea, the balconies must not wrap, but float at corners or ends.</p><p>At the ground plane the architectural expression may follow the Northwest beach and forest concept presented as idea images. The corner ground plane open space will need to be significantly larger to address the tower spacing encroachment requirement. The Board directed the additional corner space be designed as a public gathering plaza, for pausing, seating, lunch etc. The landscape expression should reinforce the design concept and a truly useable and welcoming urban plaza.</p></div>	<div><p>In response to the Board's Early Design Guidance feedback, the proposal at 1800 Terry has been redesigned to to express the facade map expression more clearly. The balcony’s rendering the “water” of the map are expressed in a more transparent & clear glass material. The balcony’s rendering the “land” are a translucent white material that stands out against the clear glass. No opaque materials are being used on the facade balcony as a part of the map expression. (p. 60, 61, 71, 72, 74, 75)</p><p>The mint green color has been “toned down” at the balcony and glass facades to be a less opaque and vivid color. The subtle green metal panel facade on the opaque “end walls” of the housing units remain, due to a development agreement from the neighboring property requesting a non-blank facade that includes pattern & color. The metal panel pattern directly relates to facade “map” expression at the balconies. As for the balconies, wrapping the balconies creates a more visually dynamic corner condition for the building as well as allowing building tenants to have a greater field of view for their balconies. (p. 60, 61, 71-75)</p><p>The proposed plaza has been redesigned to allow for more public gathering space by reducing the amount of fixed planters and increasing the plaza finish material to extend across the whole Terry street frontage within the proposed property. The space allows for public and/or private seating for the restaurant frontage on Terry. (p. 44, 63)</p></div>	<div><p>p. (44, 60, 61, 63, 71-75)</p></div>

BOARD COMMENTS		OUR RESPONSE TO BOARD COMMENTS	PAGES
3	THE STREETScape		
	At the Recommendation meeting the Board noted in several instances that the street level public open space needs to be larger and more accommodating to the public like a public plaza. The Board noted that street level uses need to be more fully defined with more design commitment. The Board cited Howell Street and the alley which needed more care in design development. The Terry Green Street concept is installed and should retained and enhanced by the project landscape design. The interaction of streetscape, urban plaza and building should be porous, comprehensible, comfortable, and enjoyable.	The public open space has increased by reducing the fixed planter sizes on the proposed site. Additional architectural elements have been added to the alley facade in the form of transparent glass into the open kitchen space as well as additional pedestrian oriented lighting. (p. 44, 54, 78)	(p. 44, 54, 78)
4	VEHICULAR ACCESS AND PARKING		
	At the Recommendation Meeting the Board directed the applicant to continue with the parking concept as presented at the meeting. They reiterated their direction to further detail the alley façade since it will be used by pedestrians and bicyclists.	The parking concept has not changed since the previous meeting. As part of the 1800 Terry proposal, the alley facade has now incorporated glass on the frontage closest to Howell St., as well as additional pedestrian oriented lighting in the alley for pedestrians and cyclists alike. (p. 54)	(p. 54)

Floor Plans



FLOOR PLAN - LEVEL P5-P1 (TYPICAL PARKING LEVEL)



LEGEND		
	LOADING / PARKING	19,435 GSF
	PLAZA	-
	LANDSCAPE	-
	COMMON	1,100 GSF
	RESTAURANT	-
	OFFICE	-
	VERTICAL CIRCULATION	750 GSF
	RETAIL	-
	MECHANICAL	-
	RESIDENTIAL	-
APPROX FLOOR AREA		21,285 GSF



FLOOR PLANS

FLOOR PLAN - LEVEL 1 (GROUND LEVEL)



LEGEND		
	LOADING / PARKING	4,292 GSF
	PLAZA	700 GSF
	LANDSCAPE	-
	COMMON	5,500 GSF
	RESTAURANT	3,622 GSF
	OFFICE	1,246 GSF
	VERTICAL CIRCULATION	750 GSF
	RETAIL	856 GSF
	MECHANICAL	2,603 GSF
	RESIDENTIAL	-
APPROX FLOOR AREA		19,160 GSF



FLOOR PLAN - LEVEL 2

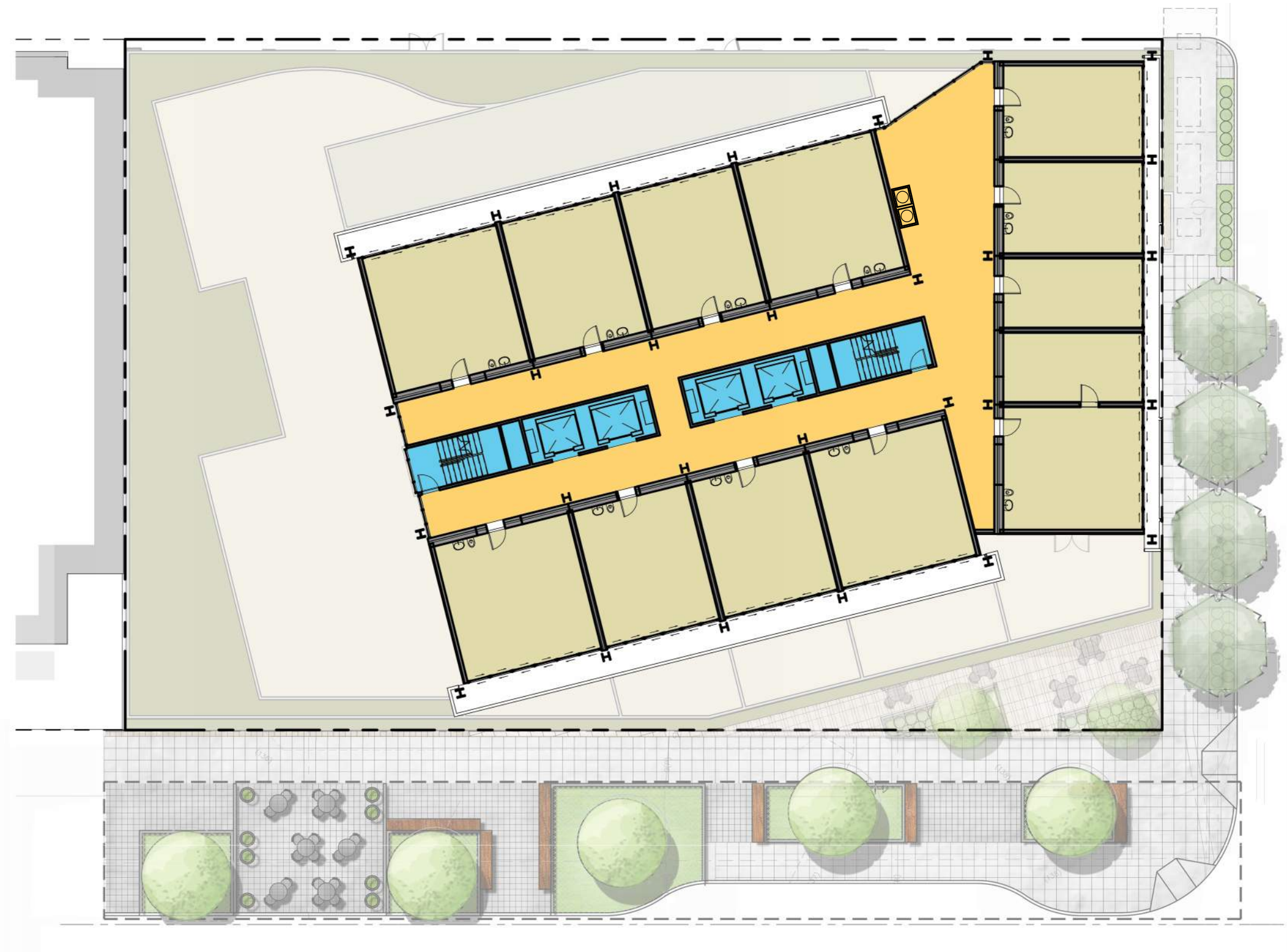


LEGEND		
	LOADING / PARKING	-
	PLAZA	5,695 GSF
	LANDSCAPE	4,687 GSF
	COMMON	6,375 GSF
	RESTAURANT	-
	OFFICE	738 GSF
	VERTICAL CIRCULATION	750 GSF
	RETAIL	-
	MECHANICAL	-
	RESIDENTIAL	2,390 GSF
APPROX FLOOR AREA		20,635 GSF



FLOOR PLANS

FLOOR PLAN - LEVEL 3 - 37 (TYPICAL RESIDENTIAL)



LEGEND		
	LOADING / PARKING	-
	PLAZA	-
	LANDSCAPE	-
	COMMON	2,500 GSF
	RESTAURANT	-
	OFFICE	-
	VERTICAL CIRCULATION	750 GSF
	RETAIL	-
	MECHANICAL	-
	RESIDENTIAL	6,910 GSF
APPROX FLOOR AREA		10,160 GSF



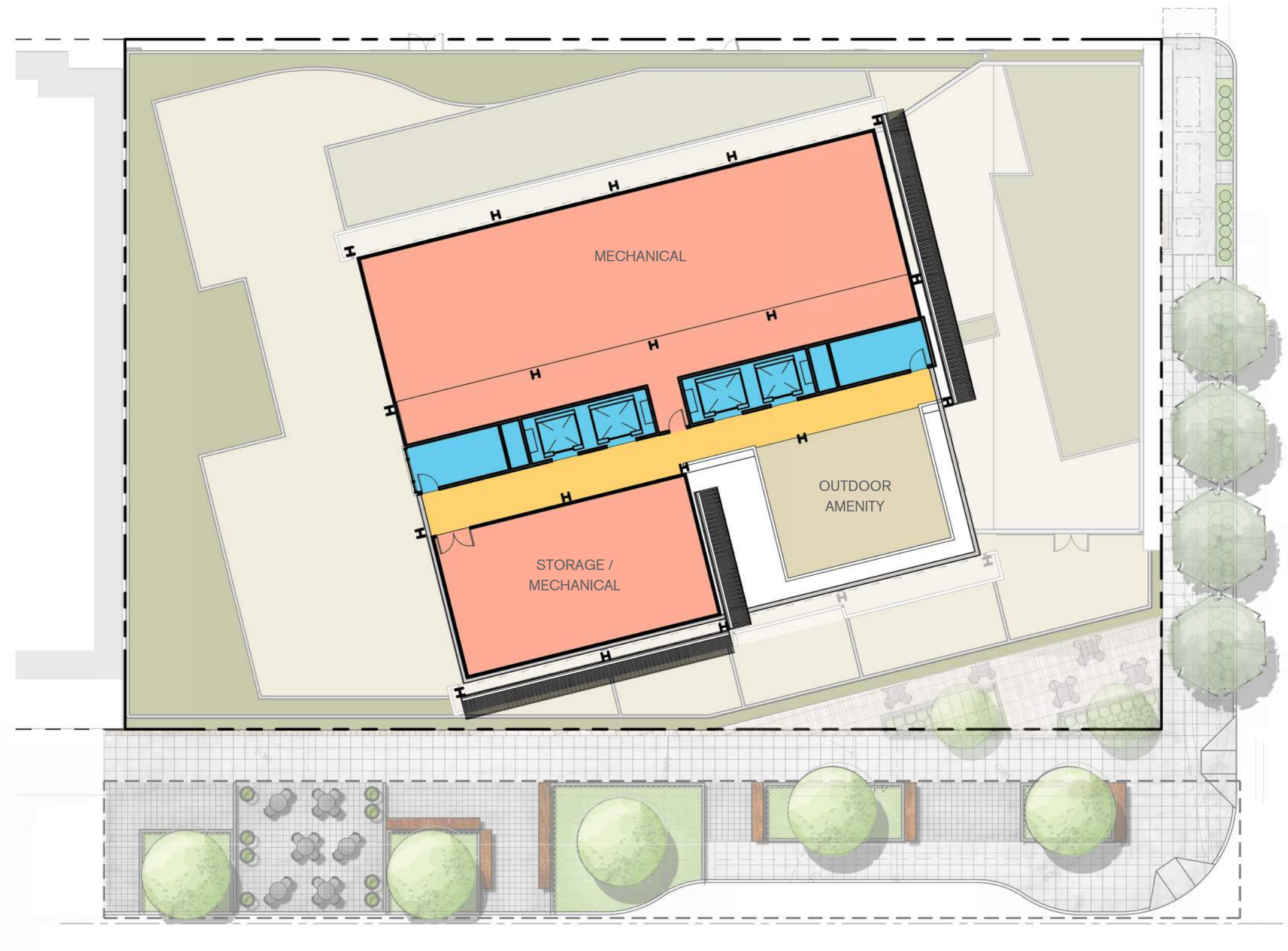
FLOOR PLAN - LEVEL 38 (ROOF DECK AMENITY)



LEGEND		
LOADING / PARKING	-	
PLAZA	1,678 GSF	
LANDSCAPE	1,460 GSF	
COMMON	6,272 GSF	
RESTAURANT	-	
OFFICE	-	
VERTICAL CIRCULATION	750 GSF	
RETAIL	-	
MECHANICAL	-	
RESIDENTIAL	-	
APPROX FLOOR AREA		10,160 GSF

FLOOR PLANS

FLOOR PLAN - LEVEL 39 (MECHANICAL)



LEGEND		
	LOADING / PARKING	-
	PLAZA	718 GSF
	LANDSCAPE	-
	COMMON	620 GSF
	RESTAURANT	-
	OFFICE	-
	VERTICAL CIRCULATION	750 GSF
	RETAIL	-
	MECHANICAL	4,962 GSF
	RESIDENTIAL	-
APPROX FLOOR AREA		7,050 GSF

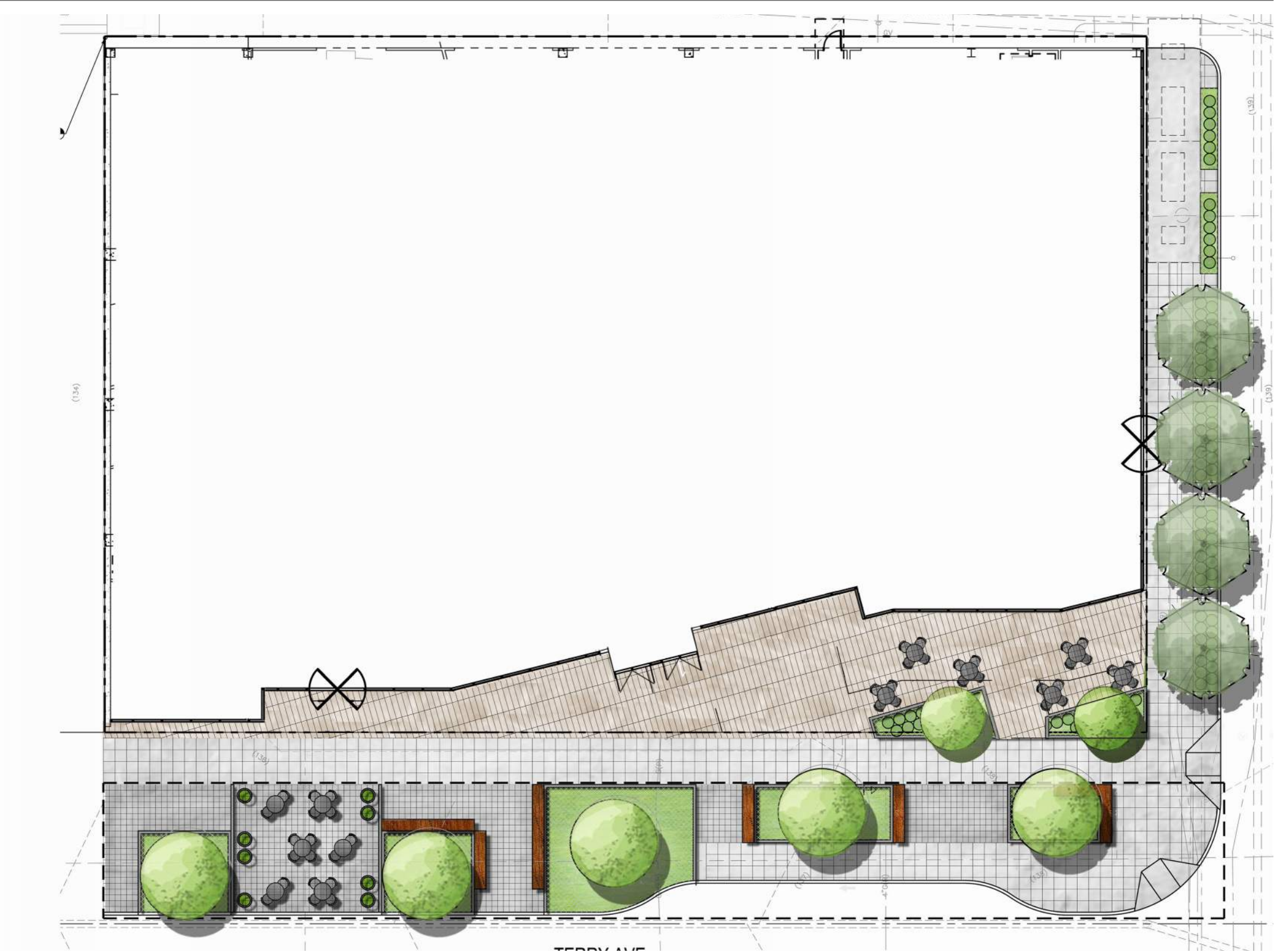


Landscape



SITE PLAN + LANDSCAPE CONCEPTS

LANDSCAPE PLAN - LEVEL 1 (GROUND LEVEL)



CONCEPTUAL LANDSCAPE CHARACTER



LANDSCAPE PLAN - LEVEL 2 (PODIUM AMENITY)

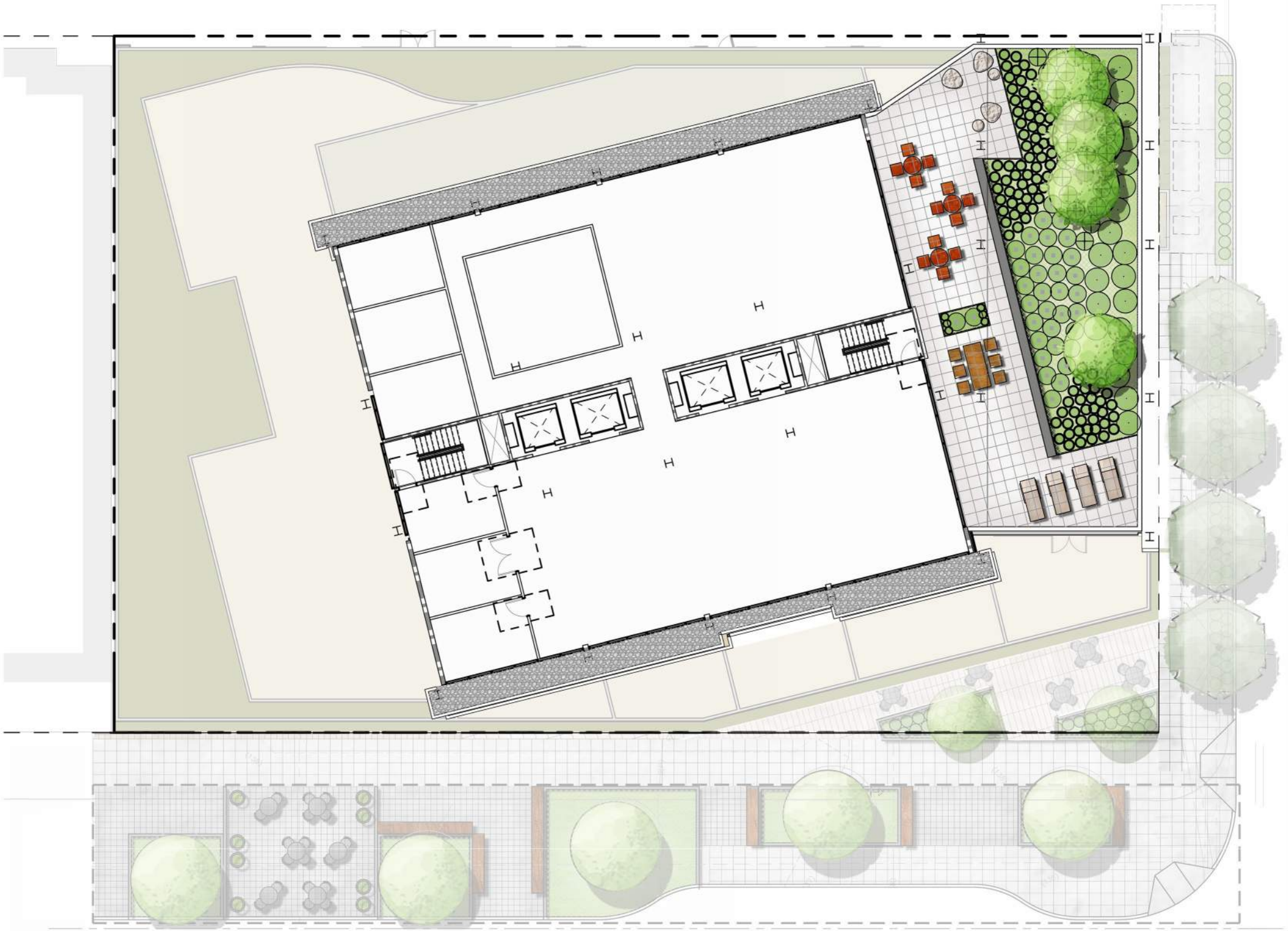


CONCEPTUAL LANDSCAPE CHARACTER



SITE PLAN + LANDSCAPE CONCEPTS

LANDSCAPE PLAN - LEVEL 38 (ROOF DECK AMENITY)



CONCEPTUAL LANDSCAPE CHARACTER



Design Concept



DESIGN PROPOSAL

TOWER FACADE DESIGN CONCEPT

Puget Sound Geographic Context



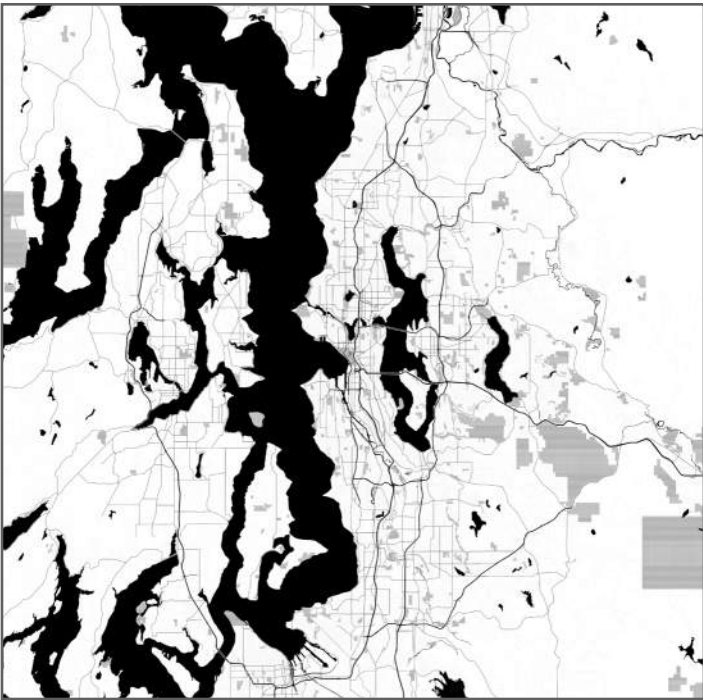
SEATTLE IN ITS GREATER CONTEXT

While exploring viable, regionally authentic design influences for the development of interior spaces at 1800 Terry Avenue, the design team began to adopt organic, flowing forms. Such forms were indicative of the Pacific Northwest coastline, and drew their materiality and composition directly from such influences.

As the design team moved on toward developing the exterior of the high rise tower, strong attention was paid toward the commentary brought forth during the project's Early Design Guidance meeting.

The Board called upon the design team to **“Develop an architectural concept and compose the building’s massing in response to geographic conditions and patterns of urban form found nearby or beyond the immediate context of the building site (A1).”**

Figure Ground Study

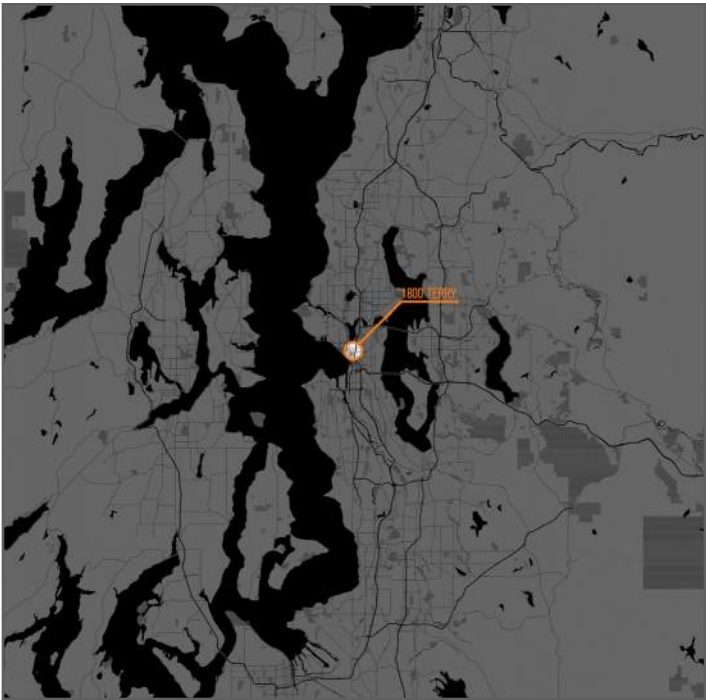


CONTRAST BETWEEN LAND AND WATER

In response to the Board’s feedback, the project’s design team ultimately referred to the same influences which manifested its naturalistic themes within the building’s interior spaces - the Northwest coastline.

Examining Seattle’s broader context, the design team was continually drawn to the relationship between the city and its local waterways. To that end, a figure-ground map was produced to explore the abstract compositions created by the topographic forms of the Puget Sound.

Building Location Within Context



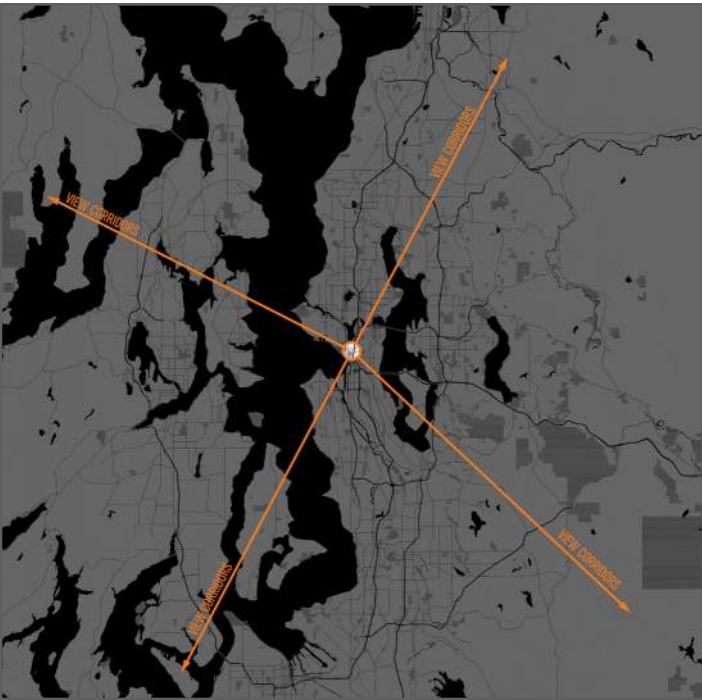
LOCATION OF 1800 TERRY PROJECT SITE

The proposed development at 1800 Terry Avenue was investigated further on multiple scales. The unique orientations of the building’s tower portions were primarily driven by immediate contextual forces.

By rotating portions of the tower out of alignment with the orthogonal city street grid, an abundance of light and air is allowed to descend closer to ground-level (p. 26).

While this urban-scale design solution better situates 1800 Terry amongst its neighboring structures, it also offers a significant design opportunity when investigated relative to Seattle’s broader, regional context.

Principal Facade Orientations



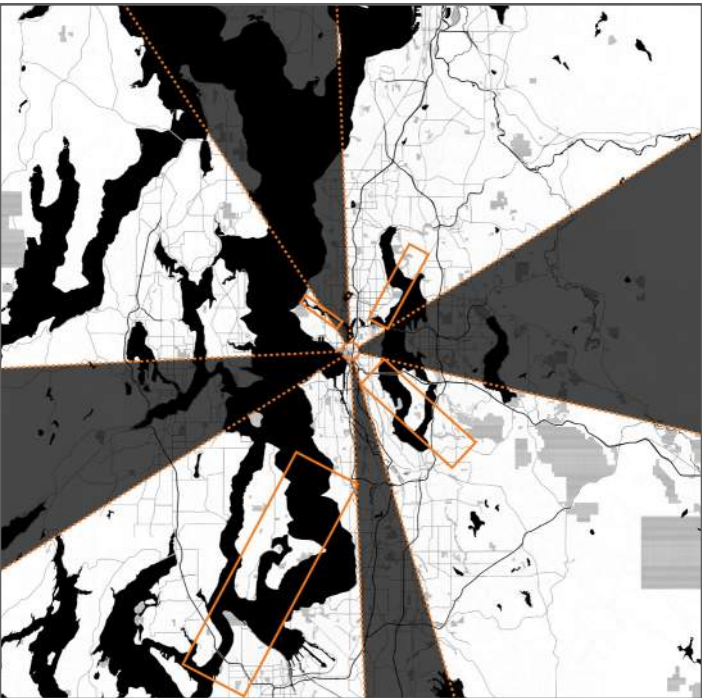
VECTORS FROM TOWER ORIENTATION

Three, glazed residential facades focus sight lines outward from 1800 Terry. The fourth primary building facade - a non-residential facade - focuses a sight line outward toward the Northwest.

These four principal facade orientations and relative view corridors each correspond to unique connections between land and water - these conditions would ultimately become abstracts that would influence the tower facades of the proposal at 1800 Terry.

TOWER FACADE DESIGN CONCEPT

Principal Facade View Corridors



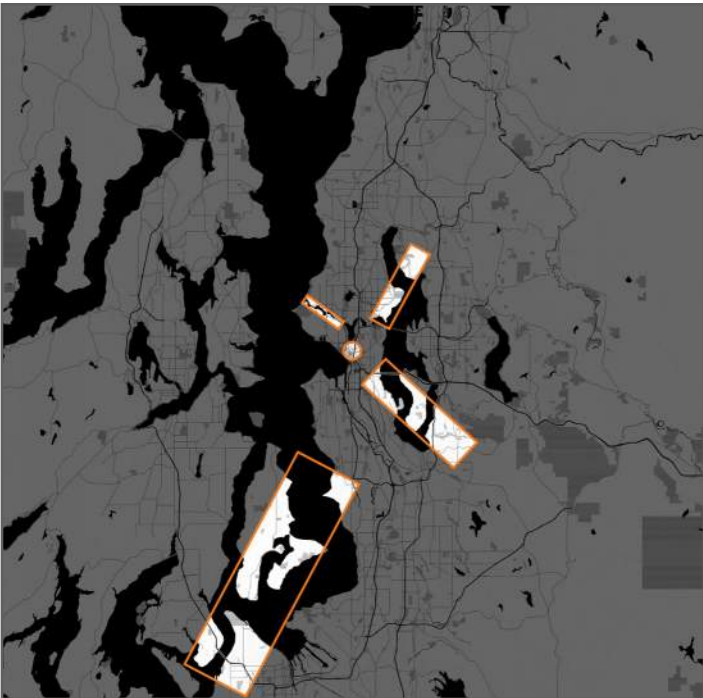
GENERAL VIEW RANGES OF CONTEXT

Four principal facade orientations generated four fields of view. Observed from above, within the figure-ground context study, these fields of view highlight several significant bodies of water near the Seattle metropolitan area.

The non-residential building facade highlights Salmon Bay to the Northwest. This elongated, slender waterway would lend itself as a motif for the proposed building's most narrow facade.

Vashon Island to the Southwest, Union Bay with North Lake Washington to the Northeast, and Mercer Island with South Lake Washington to the Southeast all stand out as significant elements within the regional landscape.

Selected Figure Ground Abstracts



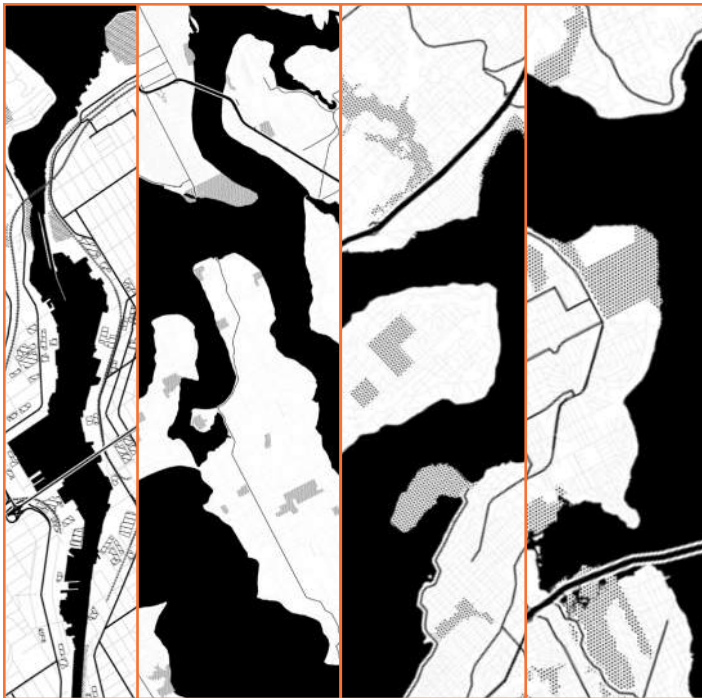
CROPPED VIGNETTES FROM VIEW

Motifs from prominent contextual waterways were selected from the figure-ground map of the Puget Sound region. The proportions of these cropped regions have been defined by the dimensions of 1800 Terry's proposed facades.

Each of the four cropped vignettes relate themselves to the tower's principal facades in proportional height and width.

Cropped vignettes were selected due, in part, to the significance of natural features within each principal view corridor. They were also selected based upon their merit as visually interesting abstract compositions.

Vignetted Figure Ground Abstracts



ORGANIC FACADE PATTERNING

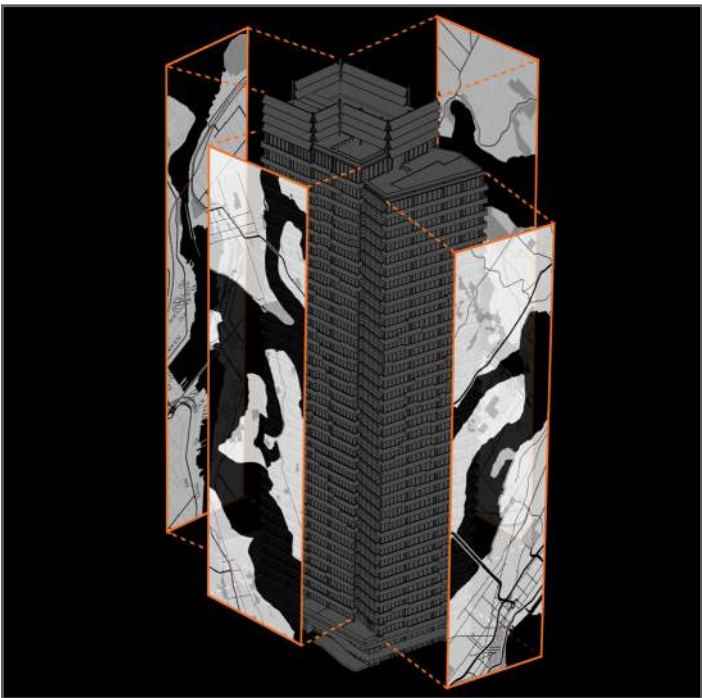
Northwest: Salmon Bay

Southwest: Vashon Island with the Puget Sound

Southeast: Mercer Island with Lake Washington

Northeast: Union Bay with Lake Washington

Application On Principal Facades



GENERATION OF FACADE DESIGN

Following the notion of a two-tone, figure-ground composition, the regional abstracts were applied to 1800 Terry's tower facades. The provision of residential balconies across each principal facade offered the opportunity to manipulate modulation and coloration in an effort to reflect each abstracted image.

Each of the principal building facades reflect the landscapes they face, standing as diagrammatic maps of the Puget Sound region.

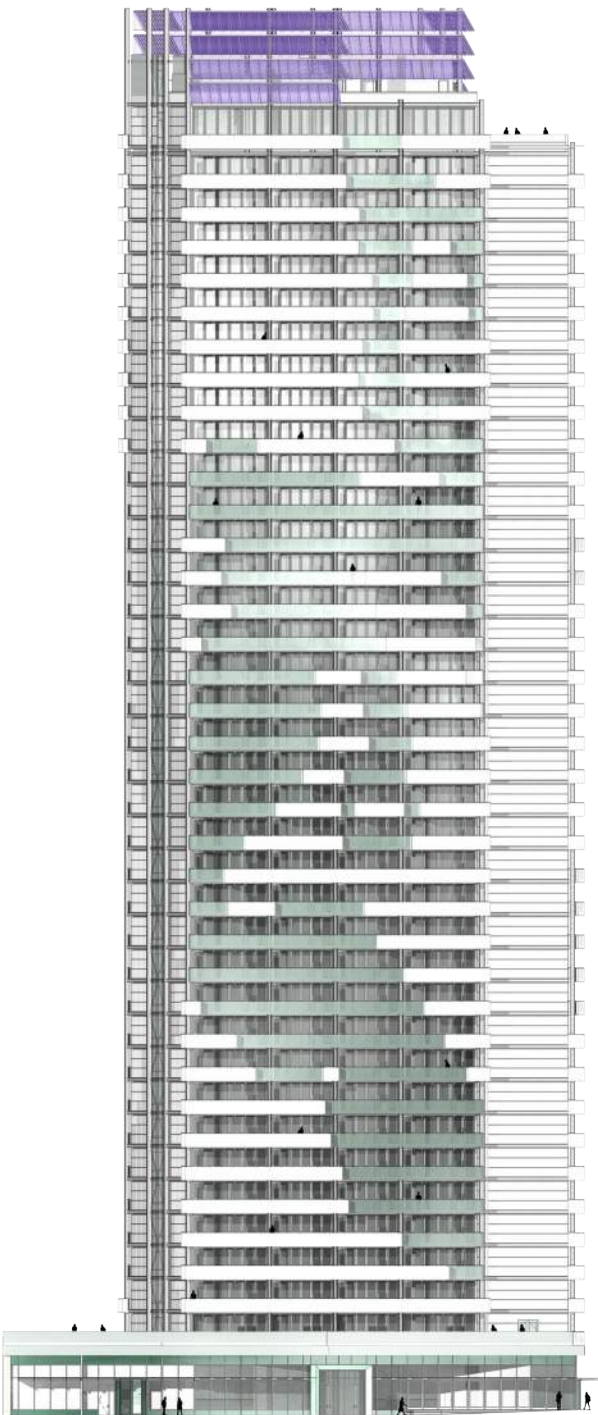
While these images - rendered in contrasting tones of white and green glass - may present themselves as abstract, visually appealing compositions, they, in fact, root 1800 Terry within its geographic context.

Elevations & Sections



ENLARGED ELEVATION - SOUTHWEST FACADE

ELEVATION - SOUTHWEST FACADE

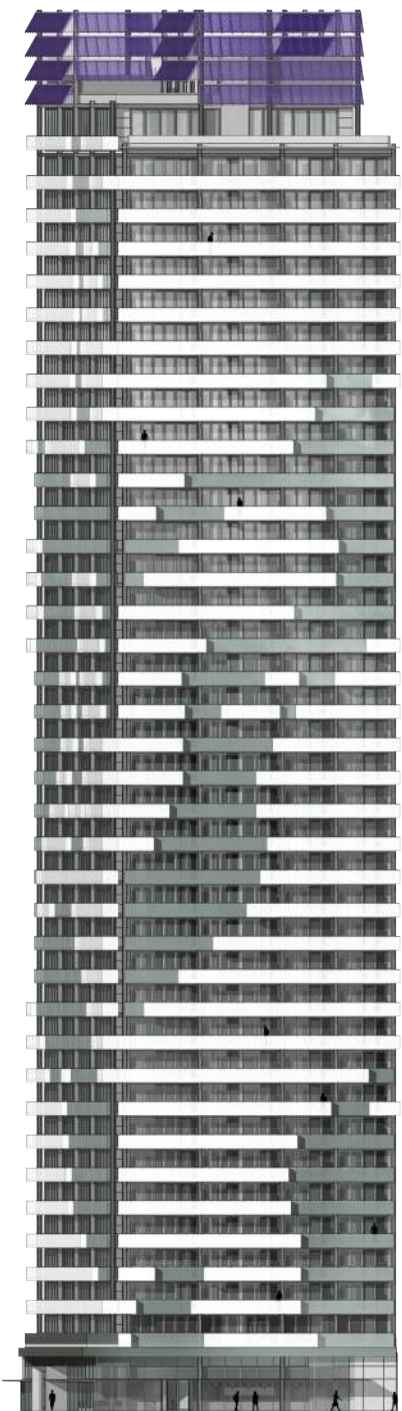
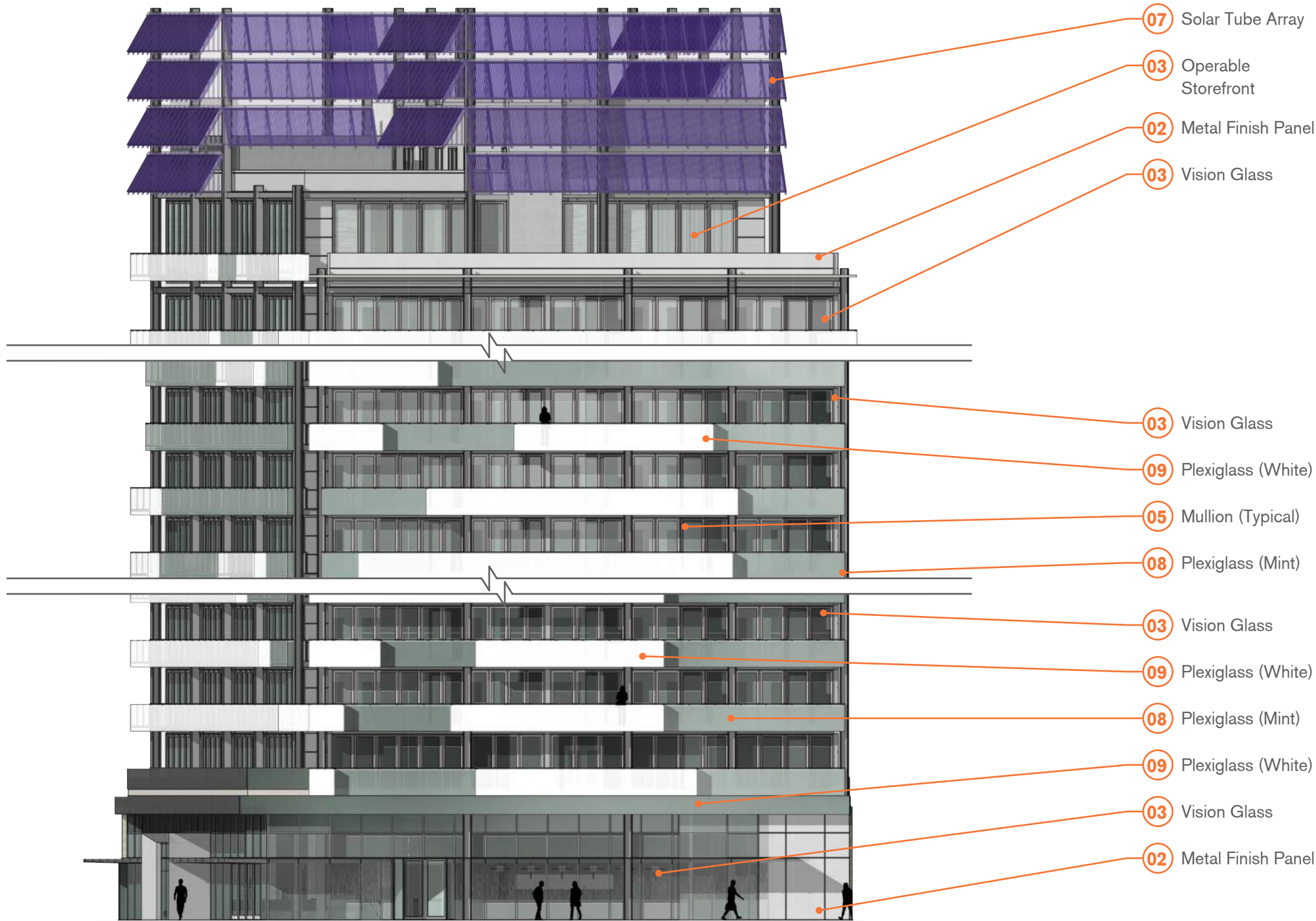


0' 30' 60' 120'

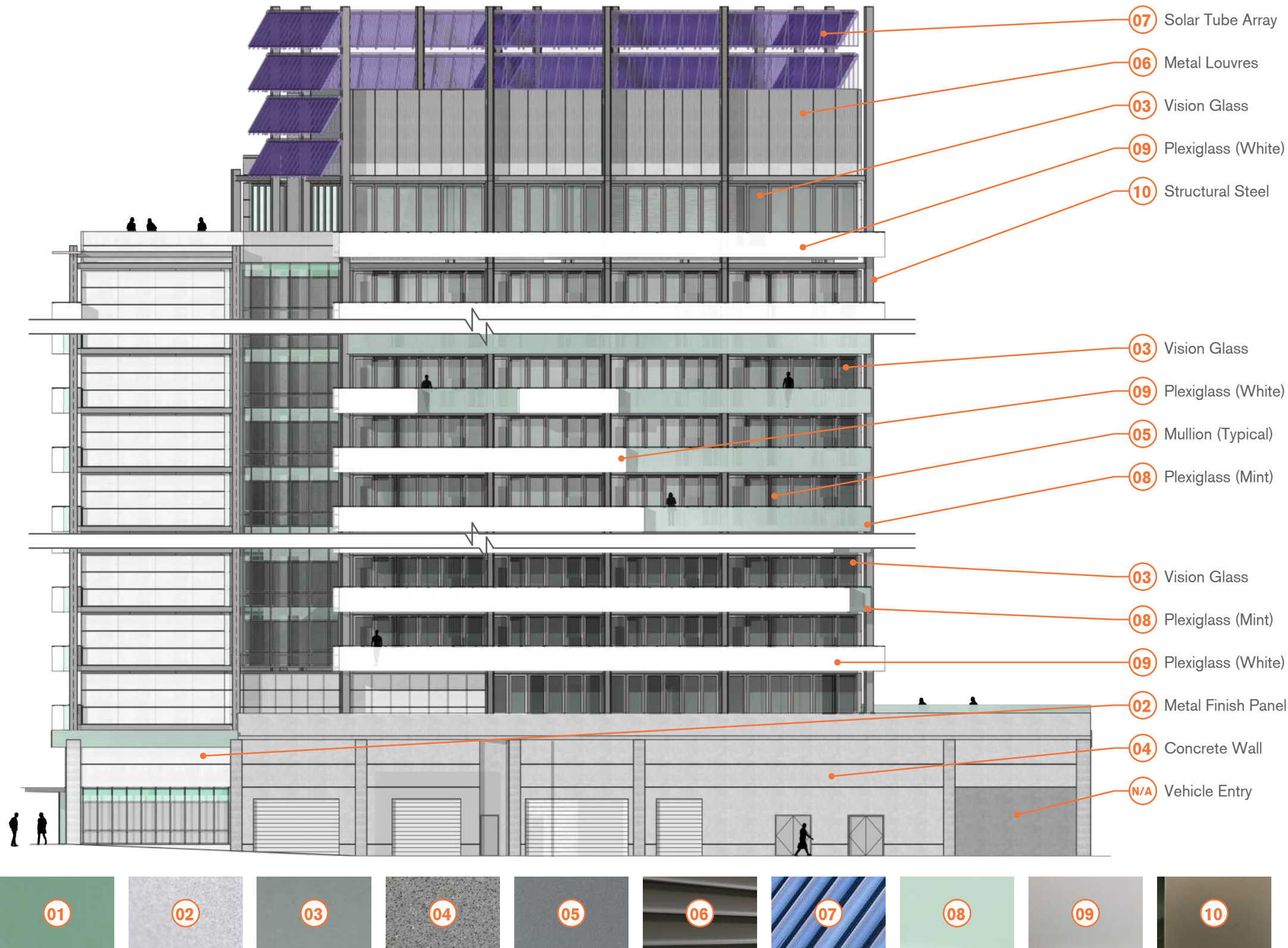
ELEVATIONS + SECTIONS

ENLARGED ELEVATION - SOUTHEAST FACADE

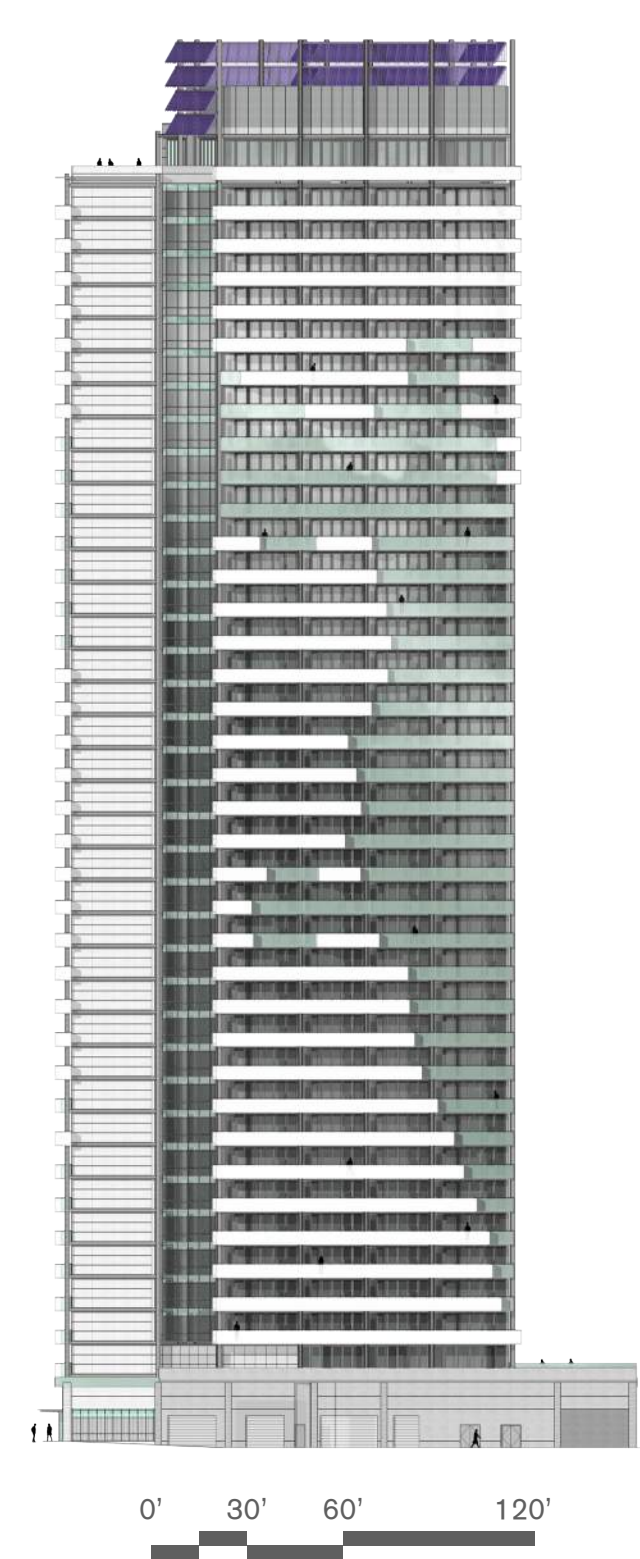
ELEVATION - SOUTHEAST FACADE



ENLARGED ELEVATION - NORTHEAST FACADE



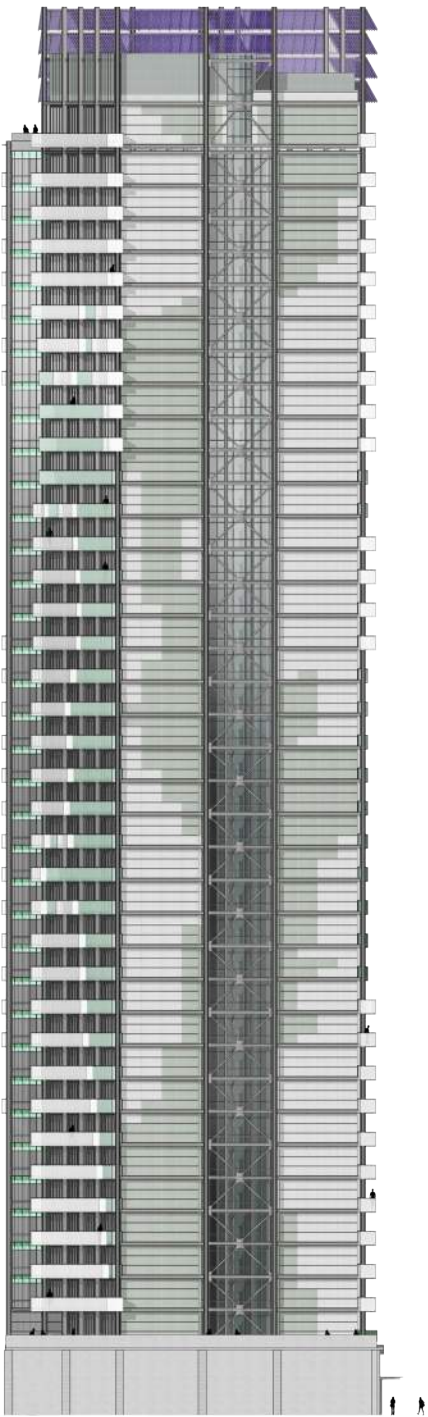
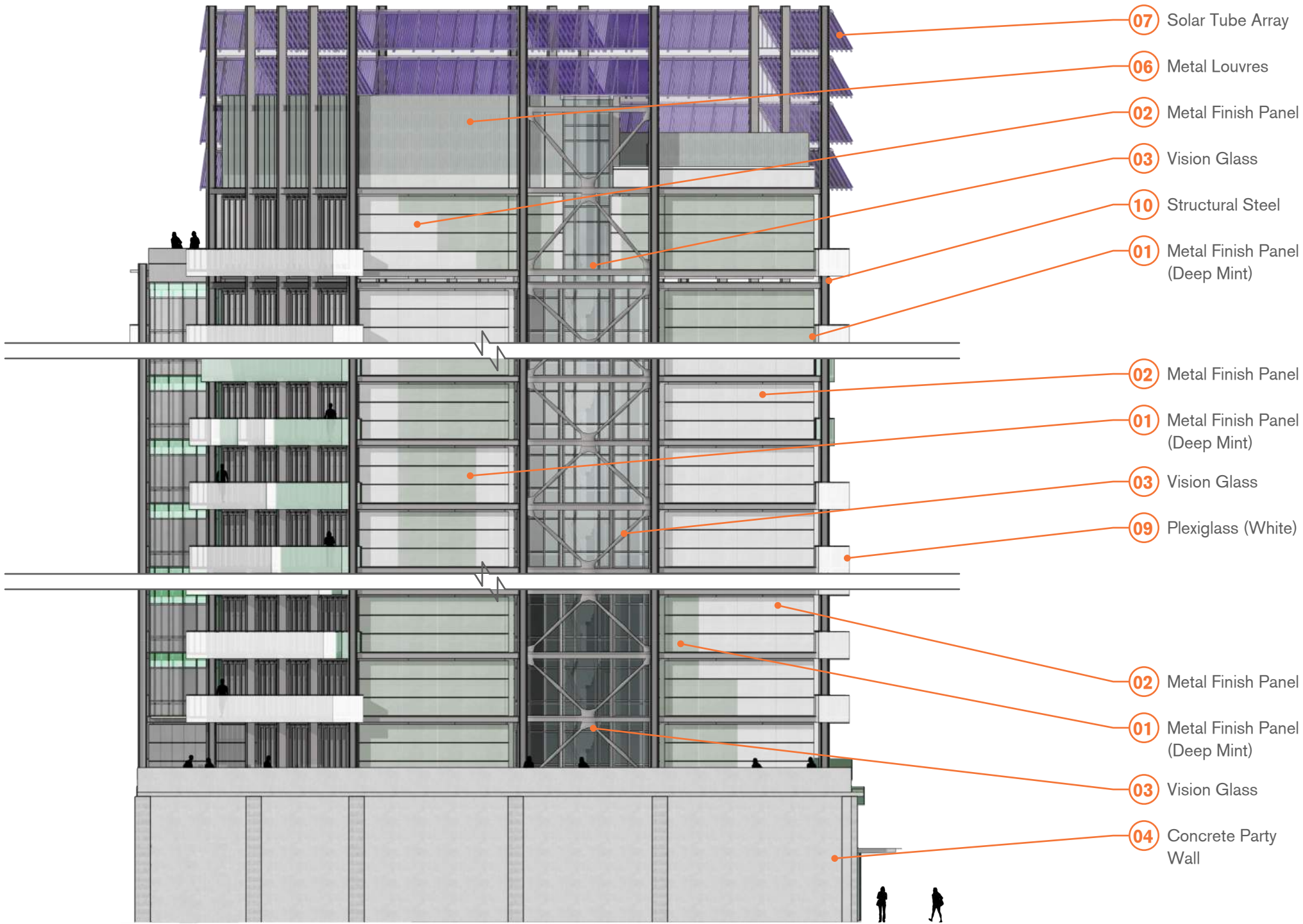
ELEVATION - NORTHEAST FACADE



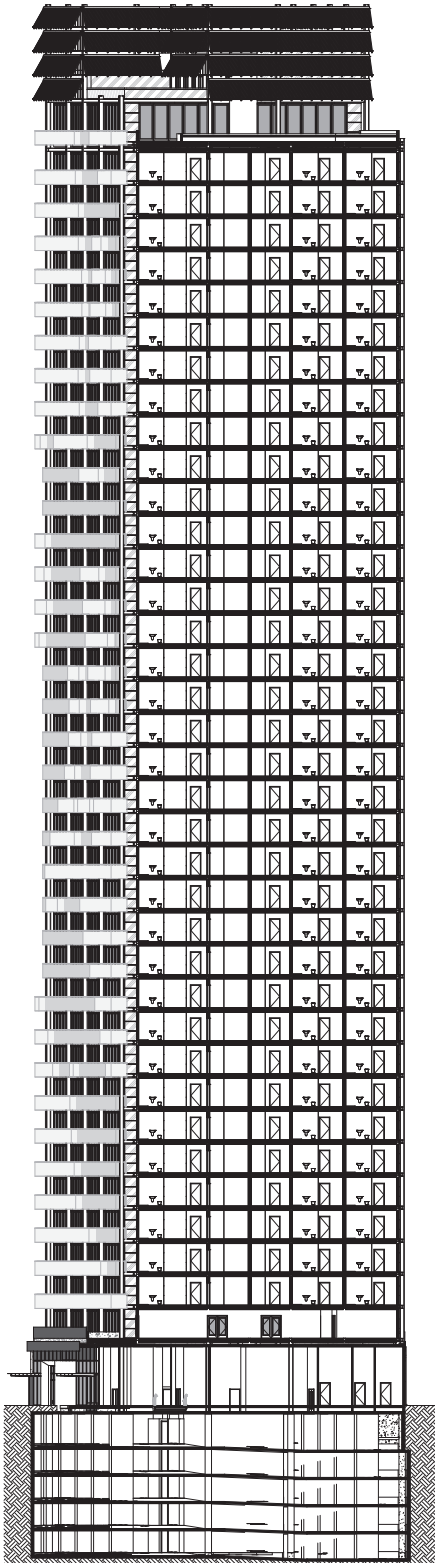
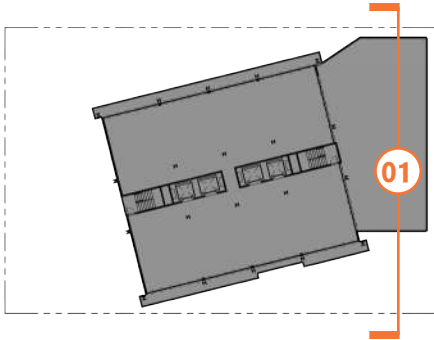
ELEVATIONS + SECTIONS

ENLARGED ELEVATION - NORTHWEST FACADE

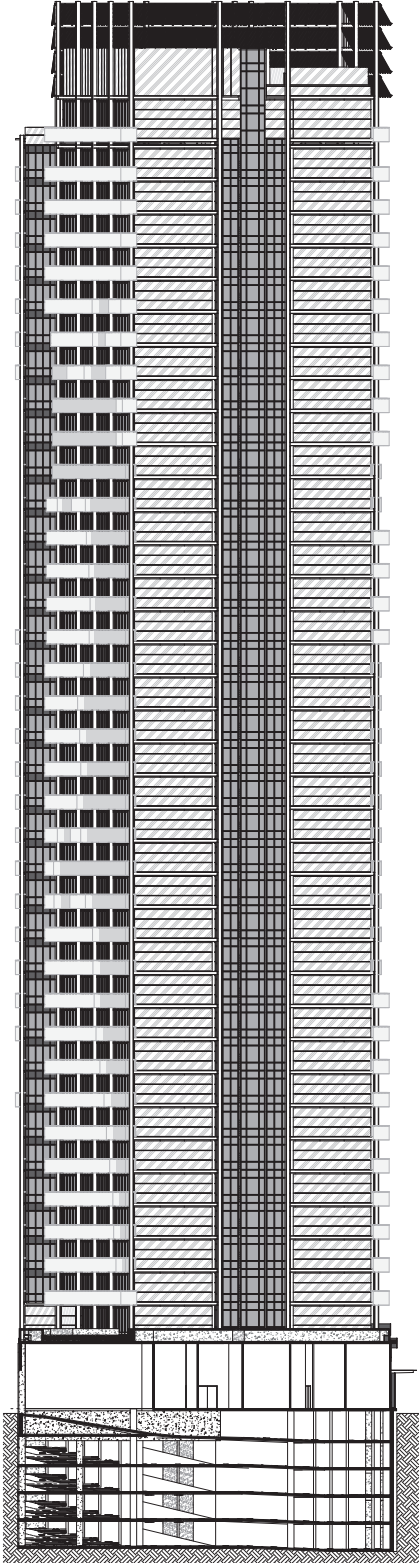
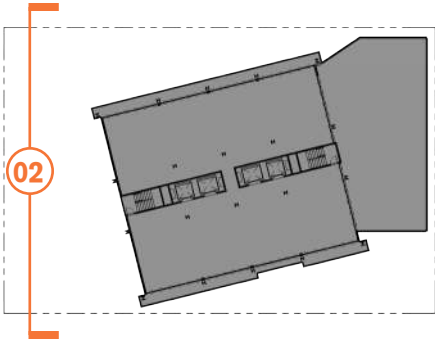
ELEVATION - NORTHWEST FACADE



01 TRANSVERSE SECTION - LOOKING WEST

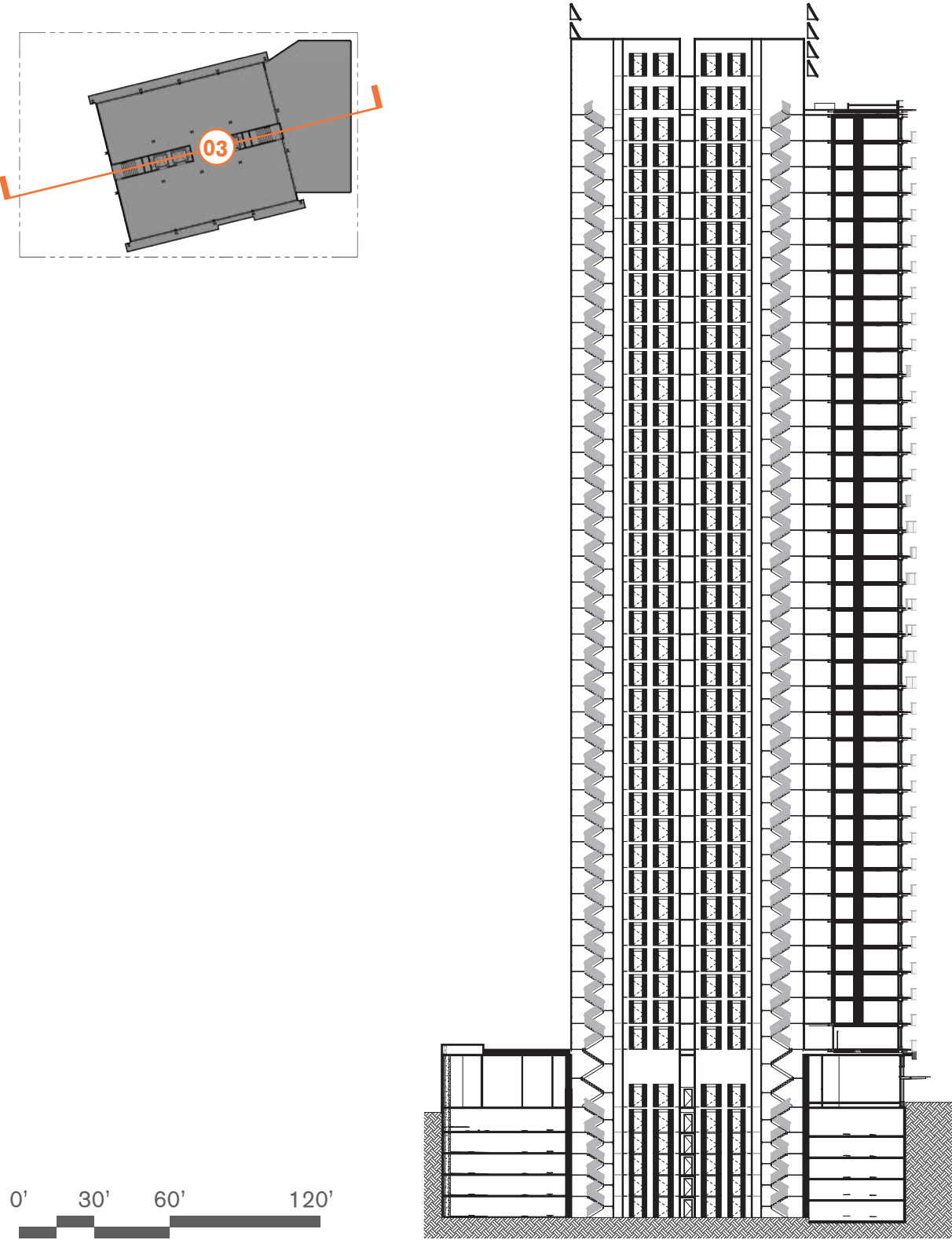


02 TRANSVERSE SECTION - LOOKING EAST

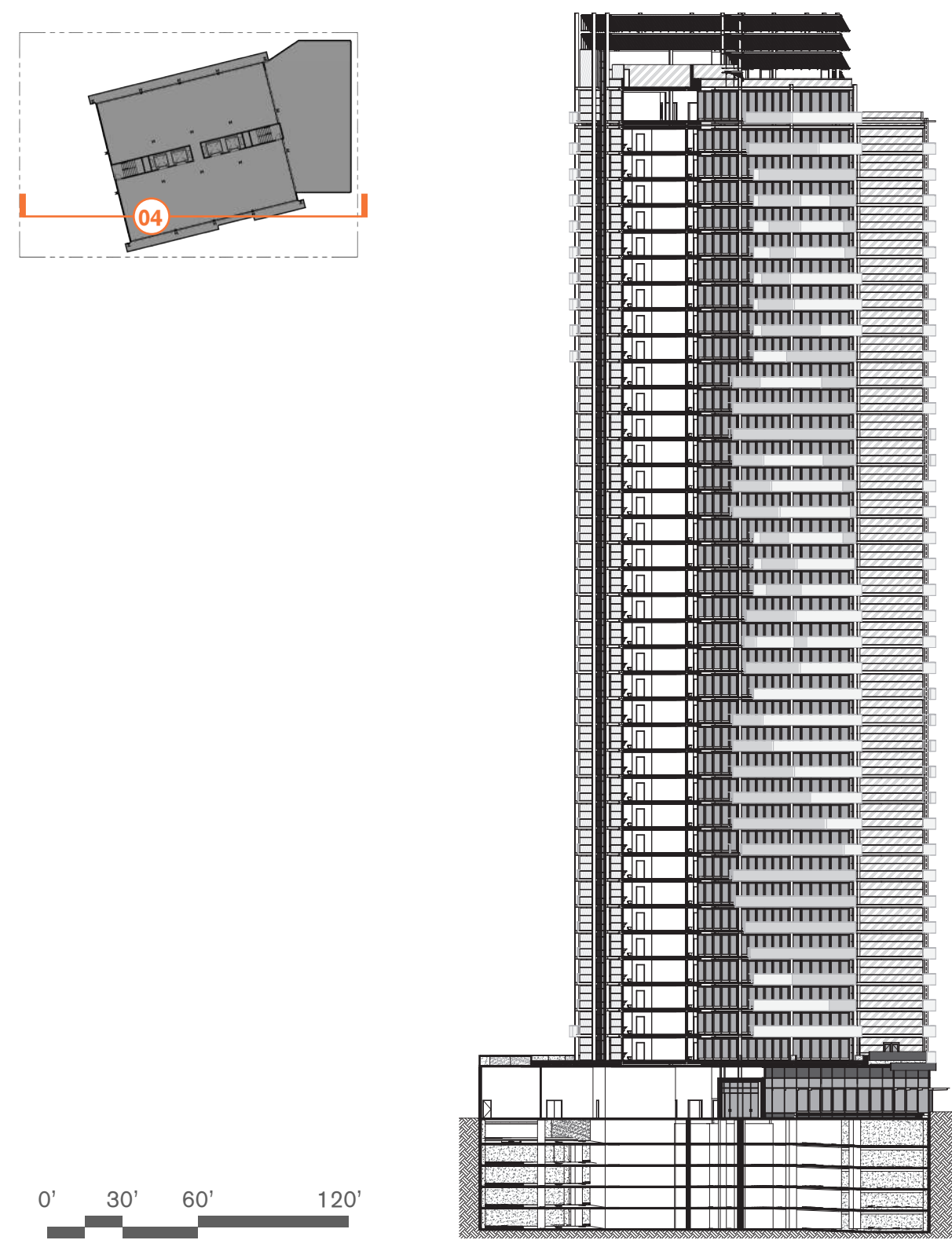


ELEVATIONS + SECTIONS

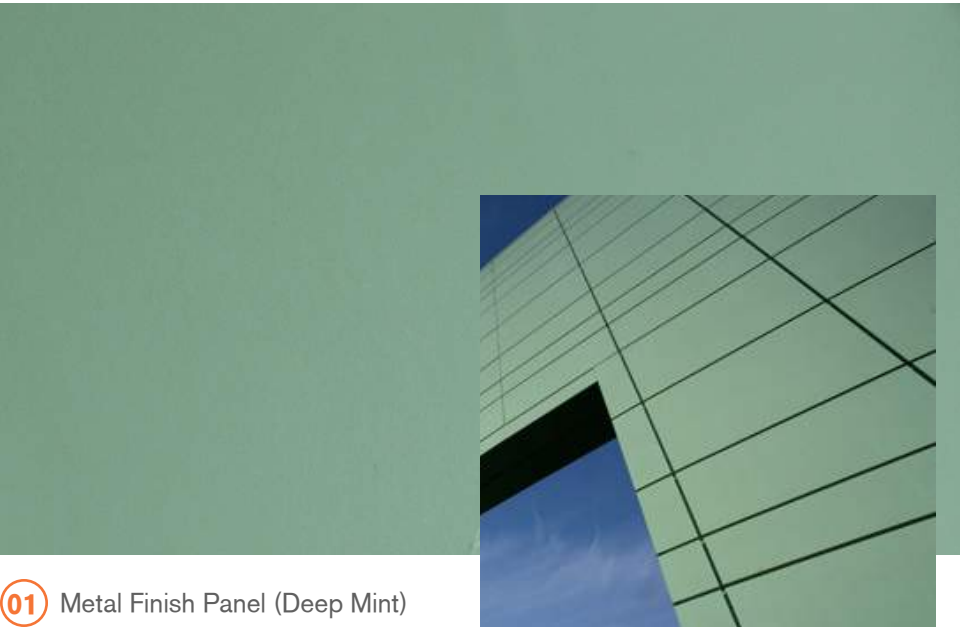
03 LONGITUDINAL SECTION - LOOKING NORTH



04 LONGITUDINAL SECTION - LOOKING NORTH



MATERIAL PALETTE PHOTOS



01 Metal Finish Panel (Deep Mint)



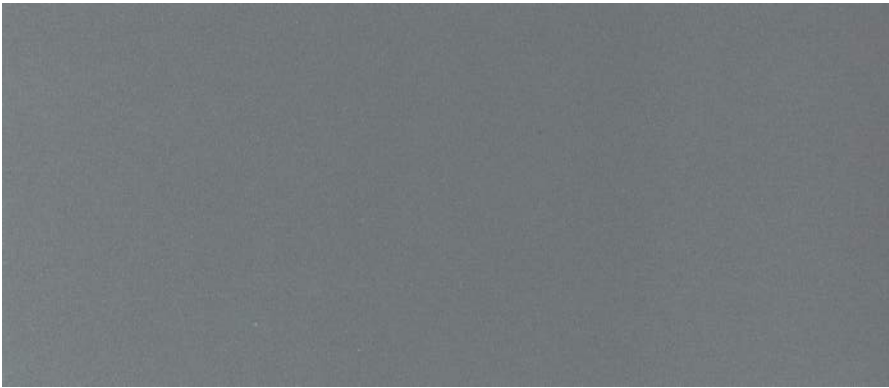
02 Metal Finish Panel (ACM)



03 Vision Glass (Typical)



04 Concrete (Typical)



05 Glazing Mullion Finish (Typical)



06 Metal Louvres



07 Solar Tube Array



08 Plexiglass (Mint)



09 Plexiglass (White)



010 Structural Steel Painted Finish

Renderings



OVERALL PERSPECTIVE - ABOVE TERRY AVENUE LOOKING SOUTHEAST



RENDERINGS

OVERALL PERSPECTIVE - ABOVE BOREN AVENUE LOOKING NORTHWEST



EYE-LEVEL PERSPECTIVE - ALONG TERRY AVENUE LOOKING SOUTHEAST



RENDERINGS

EYE-LEVEL PERSPECTIVE - ALONG TERRY AVENUE LOOKING TOWARD OUTDOOR AREA



EYE-LEVEL PERSPECTIVE - AT CORNER OF TERRY AVENUE AND HOWELL STREET LOOKING NORTH



RENDERINGS

EYE-LEVEL PERSPECTIVE - ALONG HOWELL STREET LOOKING TOWARD TERRY AVENUE



AERIAL PERSPECTIVE - ABOVE TERRY AVENUE LOOKING EAST



RENDERINGS

EYE-LEVEL PERSPECTIVE - LOOKING NORTHEAST ACROSS LEVEL 2 OUTDOOR AMENITY



EYE-LEVEL PERSPECTIVE - LOOKING SOUTH ACROSS LEVEL 2 OUTDOOR AMENITY



RENDERINGS

EYE-LEVEL PERSPECTIVE - LOOKING SOUTHWEST ACROSS LEVEL 2 OUTDOOR AMENITY



AERIAL PERSPECTIVE - ABOVE TERRY AVENUE LOOKING SOUTHEAST



RENDERINGS

EYE-LEVEL PERSPECTIVE - AT INTERSECTION OF TERRY AVENUE AND HOWELL STREET LOOKING NORTH



EYE-LEVEL PERSPECTIVE - ALONG BOREN AVENUE LOOKING NORTHWEST



RENDERINGS

AERIAL PERSPECTIVE - ABOVE INTERSECTION OF TERRY AVENUE AND HOWELL STREET LOOKING NORTH



AERIAL PERSPECTIVE - AT ASPIRA LOOKING SOUTHEAST



RENDERINGS

AERIAL PERSPECTIVE - ABOVE INTERSECTION OF BOREN AVENUE AND HOWELL STREET LOOKING WEST



Signage & Lighting



EXTERIOR LIGHTING PLAN

EXTERIOR LIGHTING PLAN - LEVEL 1 (GROUND LEVEL)



CONCEPTUAL LIGHTING CHARACTER



0' 10' 20' 40'



AERIAL PERSPECTIVE - ABOVE TERRY AVENUE LOOKING EAST



EXTERIOR LIGHTING PLAN

EYE-LEVEL PERSPECTIVE - ALONG TERRY AVENUE LOOKING SOUTHEAST



EYE-LEVEL PERSPECTIVE - AT CORNER OF TERRY AVENUE AND HOWELL STREET LOOKING NORTH



EXTERIOR LIGHTING PLAN

EYE-LEVEL PERSPECTIVE - ALONG HOWELL STREET LOOKING TOWARD TERRY AVENUE



CONCEPTUAL RESTAURANT BRANDING AT CORNER AND ALONG HOWELL STREET



CONCEPTUAL BUILDING BRANDING ELEMENT AT CORNER



CONCEPTUAL RETAIL BRANDING ALONG TERRY AVENUE



CONCEPTUAL BUILDING BRANDING ELEMENT AT TERRY AVENUE ENTRANCE



Design Alternatives



ADDITIONAL POTENTIAL BUILDING HEIGHT

Under the City of Seattle’s Mandatory Housing Affordability (MHA) program, 1800 Terry has the potential to offer an additional twenty four (24) units over its current scheme.

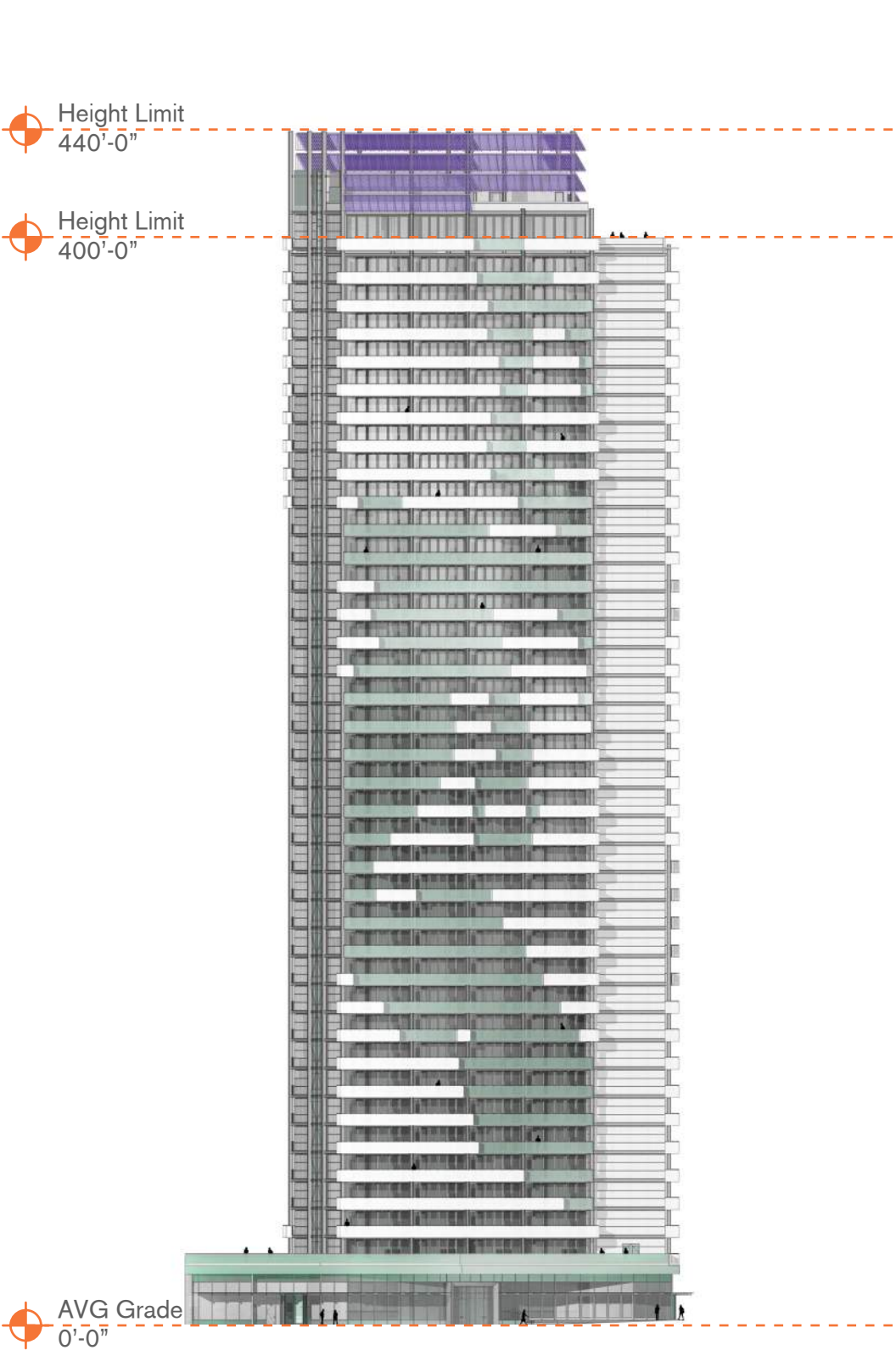
1800 Terry is located in the DMC 340/290-400 zone within the Denny Triangle Urban Center Village overlay district. Currently the project at 1800 Terry is comprised of approximately 562,580 square feet.

Per SMC 23.58B.050, 1800 Terry has the opportunity to provide an additional 7.6% of built square footage over its current scheme. This percentage equates to 42,756 square feet of additional floor area to be dedicated toward the city’s affordable housing initiatives.

With a typical residential tower floor plate of 10,160 square feet, a maximum of four (4) additional residential levels may be added to 1800 Terry’s current configuration.



1800 TERRY - SOUTH ELEVATION (CURRENT PROPOSAL)



1800 TERRY - SOUTH ELEVATION (WITH MHA INCENTIVES)



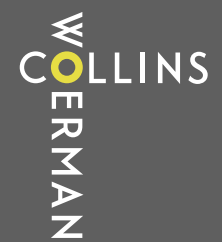
DESIGN PROPOSAL

1800 TERRY (CURRENT PROPOSAL)



1800 TERRY (WITH MHA DEVELOPMENT INCENTIVES)





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