



# 3421 RAINIER AVE S

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### VICINITY MAP

### OVERVIEW

Address | 3421 RAINIER AVE S

Site Area | 6,477 SF

Zone | C1-75 (M)

Overlays | Mount Baker (Hub Urban Village)

Proposed / Maximum FAR | 4.62 / 4.75

Proposed / Maximum Height | 70 / 75 feet

Proposed # of Dwelling Units | 69

Proposed # of Parking Stalls | None, not required



BIRD'S EYE VIEW

COLUMBIA CITY - SEATTLE, WA

EXISTING NEIGHBORHOOD ARCHITECTURE



- 1
- CLEAR MASSING VOLUMES DEFINED BY MATERIAL
  - STREET LEVEL TRANSPARENCY
  - MODERN MATERIALS



- 2
- "FIN & GASKET" EXPRESSION
  - CLEAR MASSING VOLUMES DEFINED BY MATERIAL
  - MODERN MATERIALS



- 3
- COLLECTED FENESTRATION
  - CLEAR MASSING VOLUMES DEFINED BY MATERIAL / COLOR
  - MODERN MATERIALS



- 4
- COLLECTED FENESTRATION
  - STREET LEVEL TRANSPARENCY



- 5
- "FIN & GASKET" EXPRESSION
  - COLLECTED FENESTRATION
  - MODERN & NATURAL MATERIALS



- 5
- "FIN & GASKET" EXPRESSION
  - CLEAR MASSING VOLUMES DEFINED BY MATERIAL
  - MODERN & NATURAL MATERIALS



- 6
- OVERHEAD WEATHER PROTECTION



- 7
- OVERHEAD WEATHER PROTECTION
  - STREET-LEVEL TRANSPARENCY

FOR REFERENCE ONLY - SEE APPENDIX  
FOR ADDITIONAL EDG INFORMATION

NEIGHBORHOOD AMENITIES & OPEN SPACE



1 ESTELLE SUPPORTIVE HOUSING (UNDER CONSTRUCTION)



2 PEA PATCH



3 JOHN MUIR ELEMENTARY & YORK PLAYGROUND



4 FRANKLIN HIGH SCHOOL



5 FRANKLIN HIGH SPORTS FIELD



6 WELLS FARGO



7 MOUNT BAKER LIGHT RAIL STATION



8 SAFEWAY GROCERY STORE

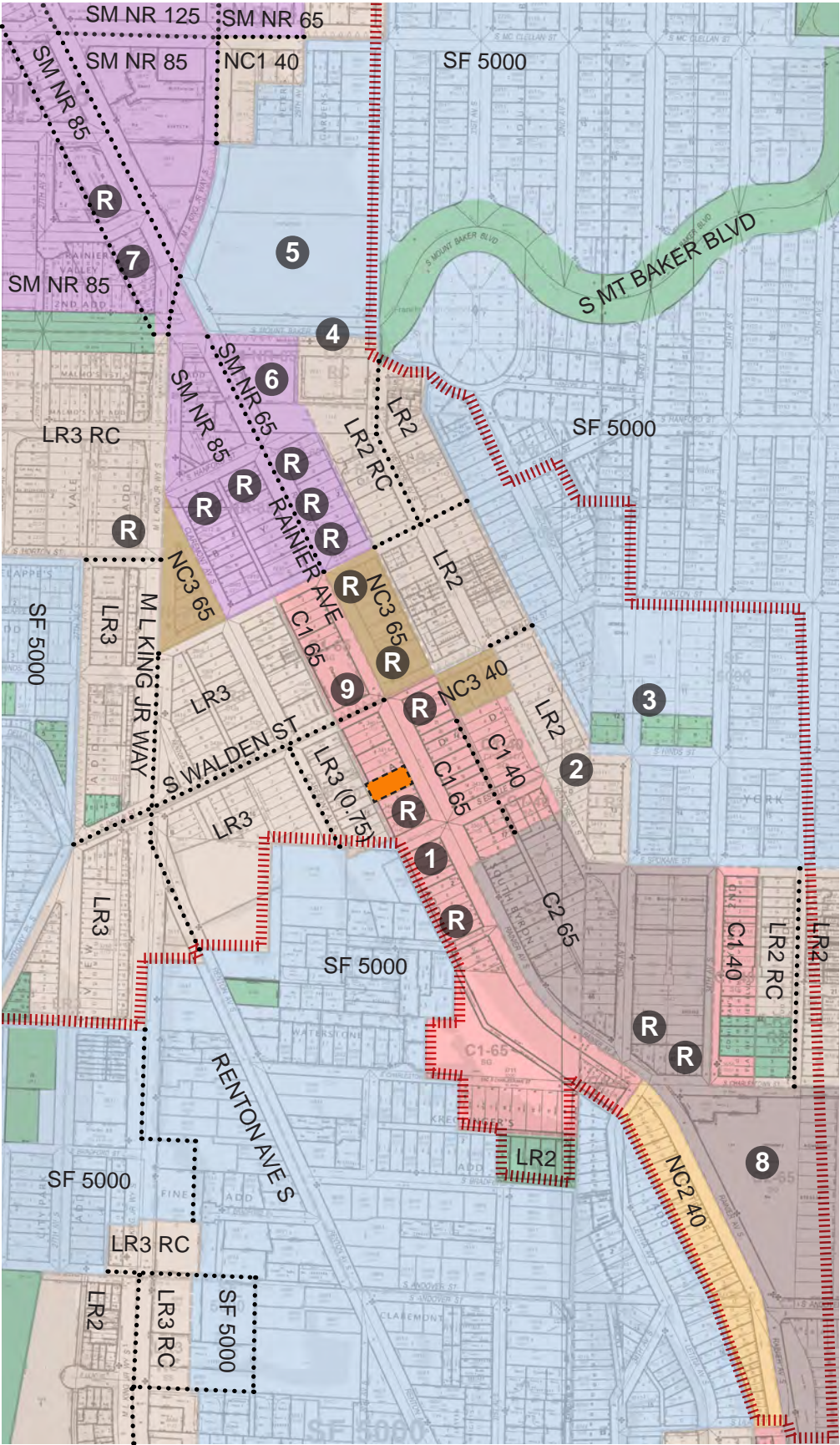


9 FIRED ARTS. DROP IN GLASS & POTTERY STUDIO

**KEY**

- SF-5000
- LR ZONES
- C1
- C2
- NC2
- NC3
- SITE
- OPEN SPACE
- R RESTAURANT
- NORTH RAINIER URBAN VILLAGE
- BOUNDARIES BETWEEN ZONING

ZONING MAP



FOR REFERENCE ONLY - SEE APPENDIX FOR ADDITIONAL EDG INFORMATION

EXISTING SITE CONDITIONS

KEY

- PROPERTY LINE
- TOPOGRAPHY CONTOURS
- POWER LINES
- MULTI-FAMILY
- COMMERCIAL
- INSTITUTIONAL
- SINGLE FAMILY
- EXISTING TREES

SIZE |  
6,477 SF, 54'-0" X 119'-10"

RIGHT OF WAYS / STREETS |  
Site has 54'-0" of frontage along Rainier Ave. S. to the east. The site also has 54'-0" of frontage along a gravel alley to the west.

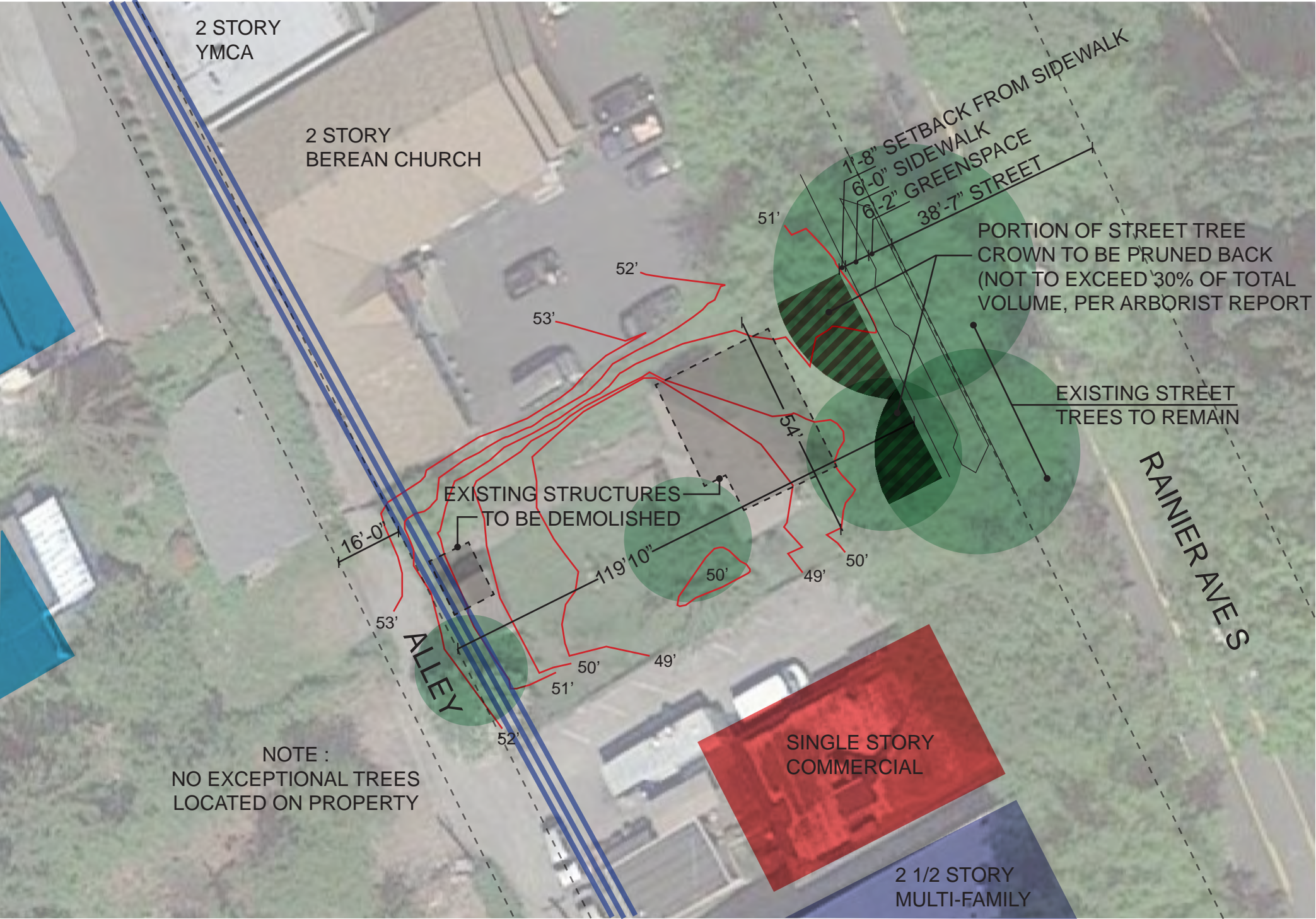
TOPOGRAPHY |  
Primarily, the site is relatively level, particularly along Rainier Ave S. There is a modest rise (of about 4 feet) in the northwest corner of the site.

ADJACENT BUILDINGS / USES |  
The site shares a side lot line with the Berean Church and it's surface parking lot to the north. Adjacent to the south is a single story restaurant. To the east of the site is another multi-family apartment and a strip of tall trees which obscure buildings behind them. As a whole, the neighborhood is diverse, with everything from single story commercial buildings to gradually taller multi-family apartments further north and south along Rainier Ave. Having Borean Church and YMCA to the north of the site guarantees foot traffic along Rainier Ave. S.

POWER LINES |  
There are power lines that run through the alley to the west of the site. The power lines are within the bounds of the site's property, so required clearances will impact the overall massing of the proposed structure.

VIEWS |  
The adjacent neighborhood has a mix of building heights, ranging from single story to mid-rises. Many of the regional views (downtown Seattle to the north, Mt. Rainier to the south) will be in view above 2 stories.

TREES |  
An arborist report has been completed, and there are no exceptional trees located on the subject property or adjacent private properties. There are two large street trees (*species - red oak*) in the adjacent Rainier Ave S right-of-way that will be preserved and require protection. Per the arborist report, the trees do "not appear to have been pruned in many years and would benefit from having the crowns cleaned out. In addition, developing the lot would require some reduction of the crown spread / raising of the crown on the west sides. Provided the total branch area reduction is no more than 30% of the total area, the pruning would be acceptable and not harm these trees".



LEGAL DESCRIPTION |  
LOT 7 EXCEPT THE NORTH 6 FEET THEREOF AND ALL OF LOT 8, BLOCK 15, BYRON ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 6 OF PLATS, PAGE(S) 87, IN KING COUNTY, WASHINGTON;

APN #1282301410

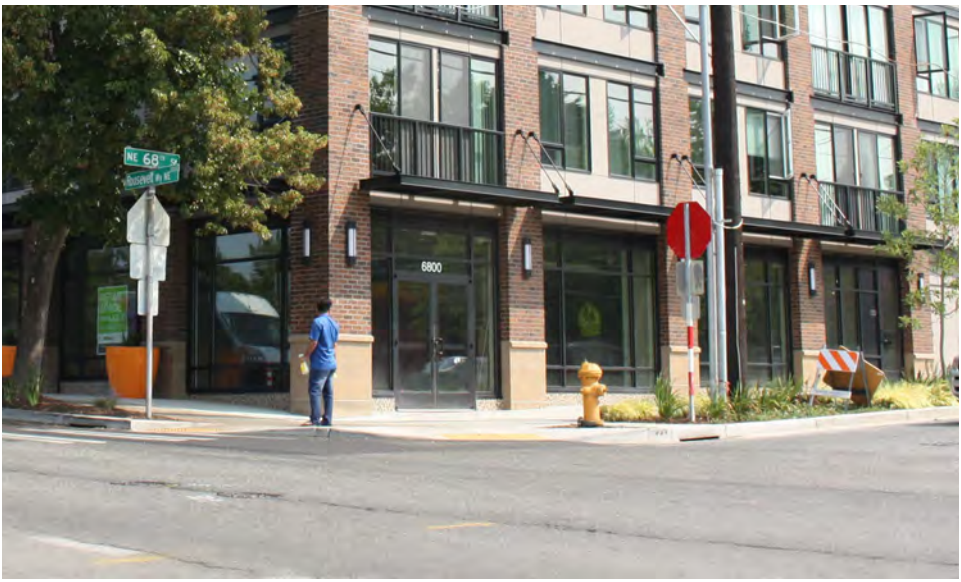
FOR REFERENCE ONLY - SEE APPENDIX  
FOR ADDITIONAL EDG INFORMATION

PRIORITY DESIGN GUIDELINES - CONTEXT & SITE



CS2.A2 | ARCHITECTURAL PRESENCE

Evaluate the degree of visibility or architectural presence that is appropriate or desired given the context, and design accordingly. A site may lend itself to a “high-profile” design with significant presence and individual identity, or may be better suited to a simpler but quality design that contributes to the block as a whole. Buildings that contribute to a strong street edge, especially at the first three floors, are particularly important to the creation of a quality public realm that invites social interaction and economic activity. Encourage all building facades to incorporate design detail, articulation and quality materials.



CS2.B2 | CONNECTION TO THE STREET

Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm. Consider the qualities and character of the streetscape - it's physical features (sidewalk, parking, landscape strip, street trees, travel lanes, and other amenities, and its function (major retail street or quieter residential street) - in siting and designing the building.



CS2.D5 | RESPECT FOR ADJACENT SITES

Respect adjacent properties with design and site planning to minimize disrupting the privacy and outdoor activities of residents in adjacent buildings.

The rest of the block is currently underdeveloped, though new projects on the blocks immediately north and south have been recently completed. Establishing a simple, quality design that is appropriate for the neighborhood will be important, as this project will likely serve to inform future development in the immediate vicinity. Engaging the sidewalk and pedestrian realm is an important aspect of all three proposed designs, and will be a critical precedent for future development.

The proposed building’s connection to Rainier Ave S will be important to both the design and function of the project. Establishing a high transparency ground floor with a clearly indicated residential entry will allow the building to engage the neighborhood.

The project site abuts a gravel alley to the west, with residential zoning and uses directly across the alley. Setting back the upper levels of the building will provide additional privacy, while also minimizing the structure’s impact on the light and air of the adjacent residences. By locating the main entrance along Rainier Ave S, all the design options “face” the busy street, further preserving the residential nature of the adjacent properties to the west.

FOR REFERENCE ONLY - SEE APPENDIX  
FOR ADDITIONAL EDG INFORMATION

PRIORITY DESIGN GUIDELINES - PUBLIC LIFE



PL1.A2 | ADDING TO PUBLIC LIFE

Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life. Consider features such as widened sidewalks, recessed entries, curb bulbs, courtyards, plazas, or through-block connections, along with place-making elements such as trees, landscape, art, or other amenities, in addition to the pedestrian amenities listed in PL1.B3.

In the preferred option semi-public entry plazas along the north and south property lines provide additional open space at the ground floor, adjacent to the public sidewalk. Existing mature street trees and planting strip add to a pleasant pedestrian experience.



PL3.A | ENTRIES

Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street. Scale and detail them to function well for their anticipated use and also to fit with the building of which they are a part, differentiating residential and commercial entries with design features and amenities specific to each.

Common entries to multi-story residential buildings need to provide privacy and security for residents but also be welcoming and identifiable to visitors. Design features emphasizing the entry as a semi-private space are recommended and may be accomplished through signage, low walls and/or landscaping, a recessed entry area, and other detailing that signals a break from the public sidewalk.

All of the proposed designs include a prominent residential entry along Rainier Ave S. The residential entry will have visual cues, including signage and overhead weather protection, to make it identifiable. The preferred option also includes a commercial entry, as well as semi-public access to the live / work units on the north and south facades.



PL2.B | SAFETY AND SECURITY

Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.

Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways. Choose semi-transparent rather than opaque screening.

The proposed designs all feature high transparency at street level uses, both commercial and residential lobby areas, in order to improve the visual reciprocity between users / residents and the neighborhood. In the preferred option, the semi-public entry plazas for the live / work units will be delineated by a fence gate, but visual transparency will be maintained between the plazas and sidewalk.

FOR REFERENCE ONLY - SEE APPENDIX  
FOR ADDITIONAL EDG INFORMATION

PRIORITY DESIGN GUIDELINES - DESIGN CONCEPT



**DC2.A | MASSING**  
Arrange the mass of the building taking into consideration the characteristics of the site and the proposed uses of the building and its open space. In addition, special situations such as very large sites, unusually shaped sites, or sites with varied topography may require particular attention to where and how building massing is arranged as they can accentuate mass and height.

Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies, bay windows, porches, canopies or other elements; and/or highlighting building entries.

The narrow site, powerlines adjacent to the rear alley, and access to light and air for all units are critical factors in determining the project's massing. A strong street presence along Rainier Ave S is a consistent element among all three options. The preferred option utilizes side setbacks to grant additional access to light and air for the units, as well as ground level amenity space that is accessible from the sidewalk. Bays and other secondary architectural elements provide visual interest and break up the massing of the street facing facade.



**DC2.C | SECONDARY ARCHITECTURAL FEATURES**  
Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the facade design. Add detailing at the street level in order to create interest for the pedestrian and encourage active street life and window shopping (in retail areas). Detailing may include features such as distinctive door and window hardware, projecting window sills, ornamental tile or metal, and other high-quality surface materials and finishes.

Use design elements to achieve a successful fit between a building and its neighbors, such as:

- a. considering aspects of neighboring buildings through architectural style, roof line, datum line detailing, fenestration, color or materials,
- b. using trees and landscaping to enhance the building design and fit with the surrounding context, and/or
- c. creating a well-proportioned base, middle and top to the building in locations where this might be appropriate. Consider how surrounding buildings have addressed base, middle, and top, and whether those solutions—or similar ones—might be a good fit for the project and its context.

As the suggested design options develop beyond large massing moves, further articulation of the building will occur through material distribution, fenestration patterns, and other architectural elements such as Juliette railings and balconies to provide shade, shadow and relief on the building's facades. In the selection of these secondary elements, the project will look for context in the surrounding neighborhood.



**DC3.B | OPEN SPACE USES AND ACTIVITIES**  
Plan the size, uses, activities, and features of each open space to meet the needs of expected users, ensuring each space has a purpose and function.

Design common and private open spaces in multifamily projects for use by all residents to encourage physical activity and social interaction. Some examples include areas for gardening, children's play (covered and uncovered), barbeques, resident meetings, and crafts or hobbies.

Open space for the all three options occurs at both the roof and ground level, in varying configurations. Amenity spaces will be designed with landscaping, seating, and space for gatherings. Care will be taken to design and locate the open space where it has access to light and views, where possible.

FOR REFERENCE ONLY - SEE APPENDIX  
FOR ADDITIONAL EDG INFORMATION



**OPTION A**  
*“BARBELL”*



60 UNITS | 58 SEDU, 2 L/W  
1,150 SF Commercial Space

Departures |  
None, Code Compliant

**PROS |**

- No departures required, code compliant
- Larger commercial space than preferred option

**CONS |**

- “Pinched” center massing creates zero lot line facade condition near front of site, limiting fenestration options and creating a “blank wall” condition



**OPTION B**  
*“CROISSANT”*



65 UNITS | 63 SEDU, 2 L/W  
1,100 SF Commercial Space

Departures |  
None, Code Compliant

**PROS |**

- No departures required, code compliant
- Larger commercial space than preferred option
- Large south facing amenity space at ground level

**CONS |**

- “Pinched” center massing creates zero lot line facade condition near front of site, and along entire north property line, limiting fenestration option and creating a “blank wall” condition



**OPTION C | PREFERRED**  
*“RADIATOR”*



74 UNITS | 69 SEDU, 4 L/W  
575 SF Commercial Space

Departures |  
SMC 23.47A.014 - Setback Requirements

**PROS |**

- Entry plazas have access to street
- Smaller single commercial space is offset by multiple live / work units with exterior access to street
- Access plazas create setback, allowing for fenestration / modulation along north & south property lines

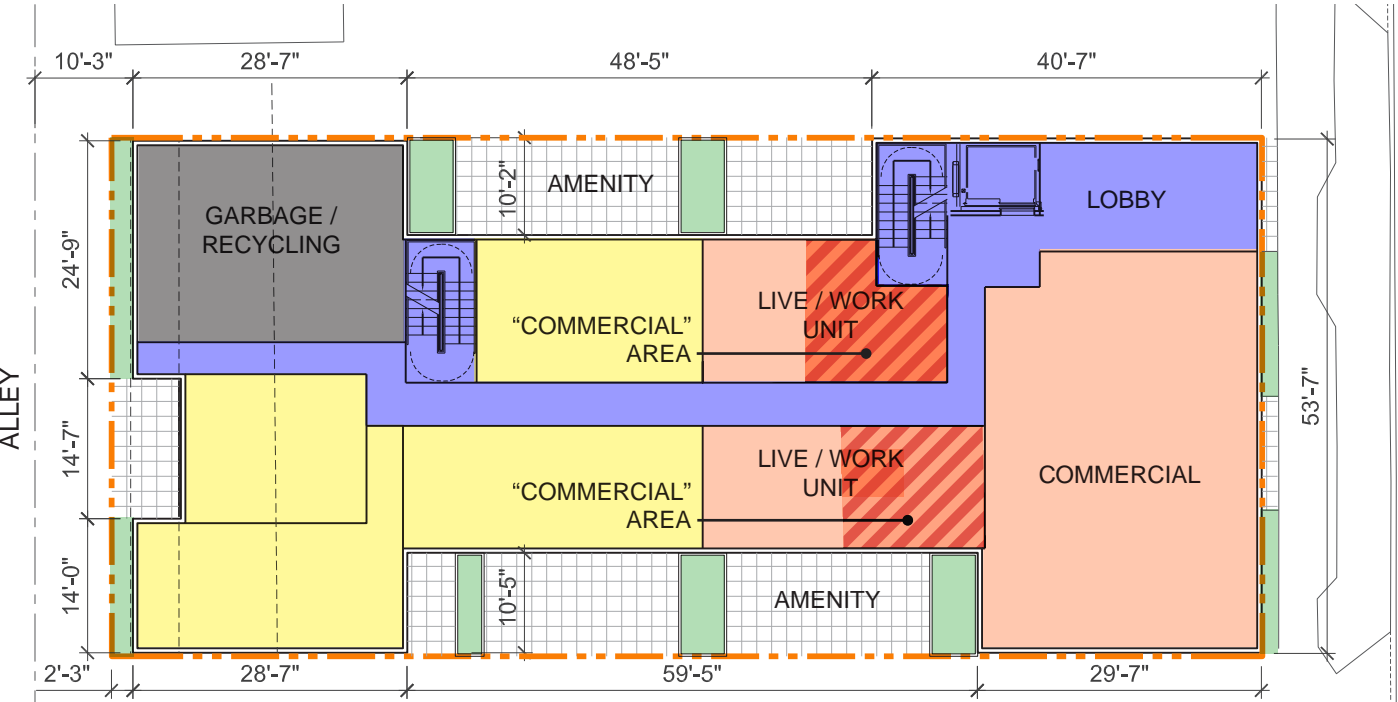
**CONS |**

- Narrower design along Rainier Ave S creates less commercial frontage along sidewalk

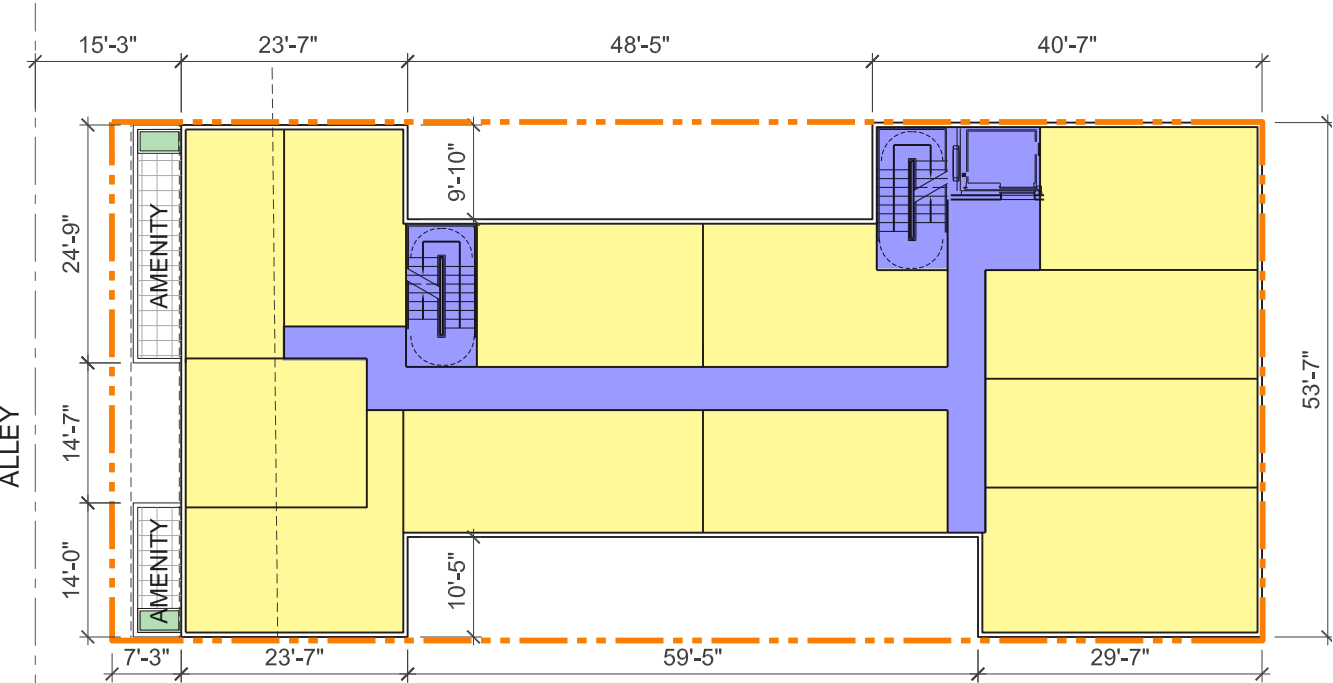
FOR REFERENCE ONLY - SEE APPENDIX  
FOR ADDITIONAL EDG INFORMATION

OPTION A | PLANS  
"BARBELL"

FAR | 4.25  
SEDU | 58    LIVE/WORK | 2  
COMMERCIAL SPACE | 1,150 SF  
TOTAL | 60



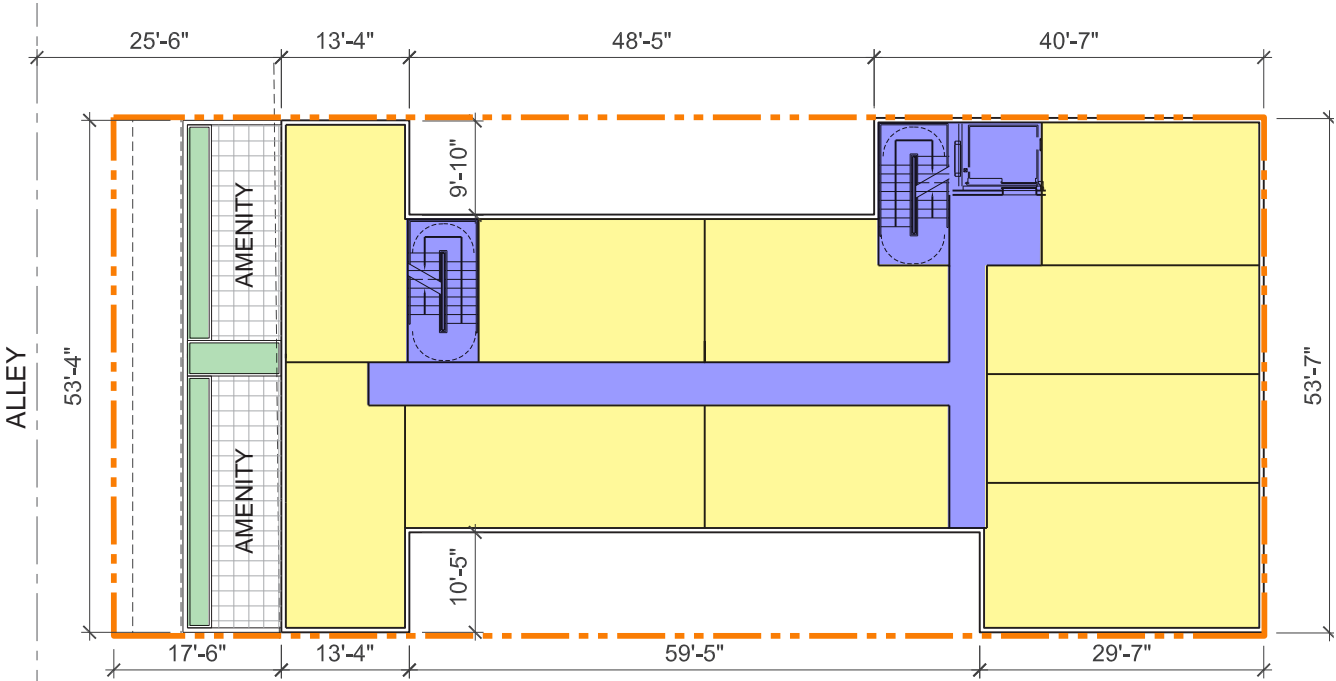
LVL 1  
2 L/W UNITS | 4 DWELLING UNITS | 1,150 SF COMMERCIAL SPACE



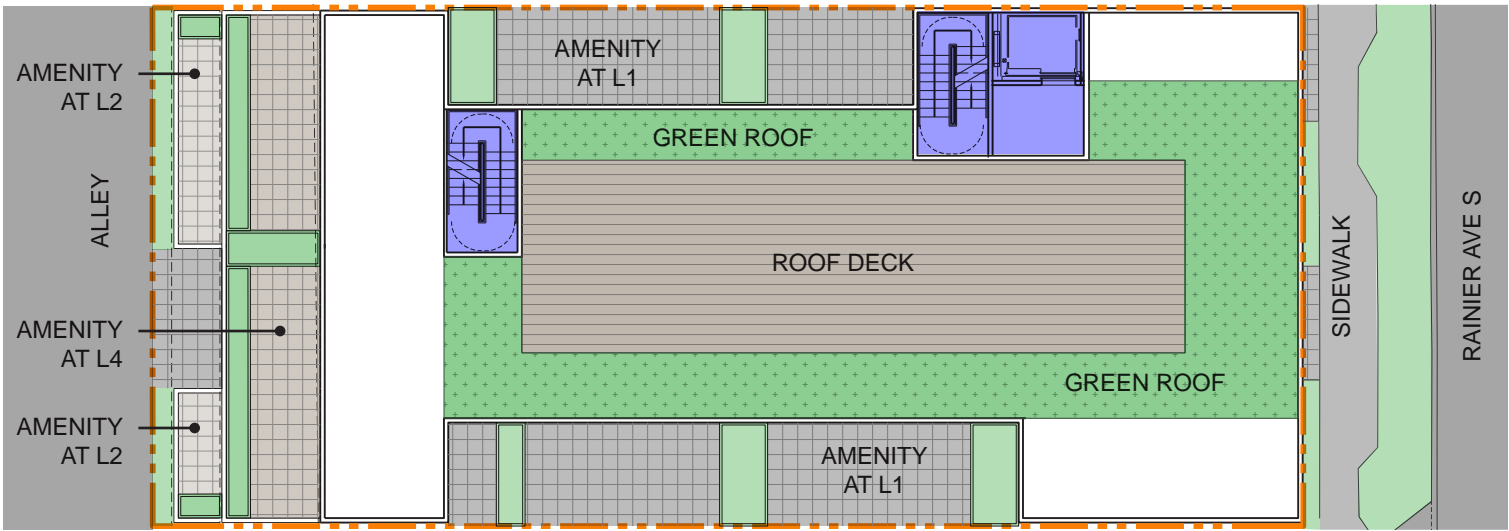
LVLS 2 & 3  
12 UNITS

KEY

- RESIDENTIAL
- COMMERCIAL
- LANDSCAPE / GREEN ROOF
- COMMON / CIRCULATION
- SERVICE
- 1 : 20 SCALE



LVLS 4 - 6  
10 UNITS



ROOF / LANDSCAPE COMPOSITE

FOR REFERENCE ONLY - SEE APPENDIX  
FOR ADDITIONAL EDG INFORMATION

OPTION B | PLANS  
"CROISSANT"



FAR | 4.18  
SEDU | 63    LIVE/WORK | 2    TOTAL | 65  
COMMERCIAL SPACE | 1,100 SF

KEY

RESIDENTIAL

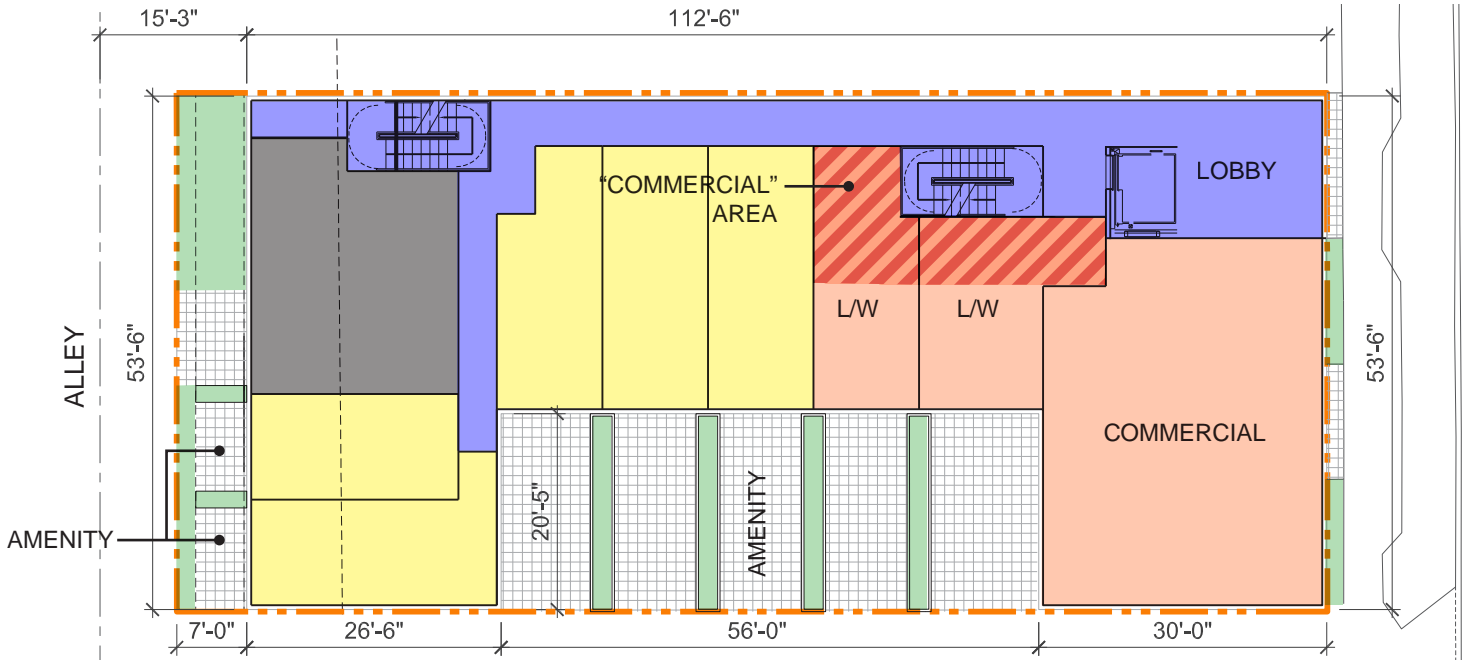
COMMON / CIRCULATION

COMMERCIAL

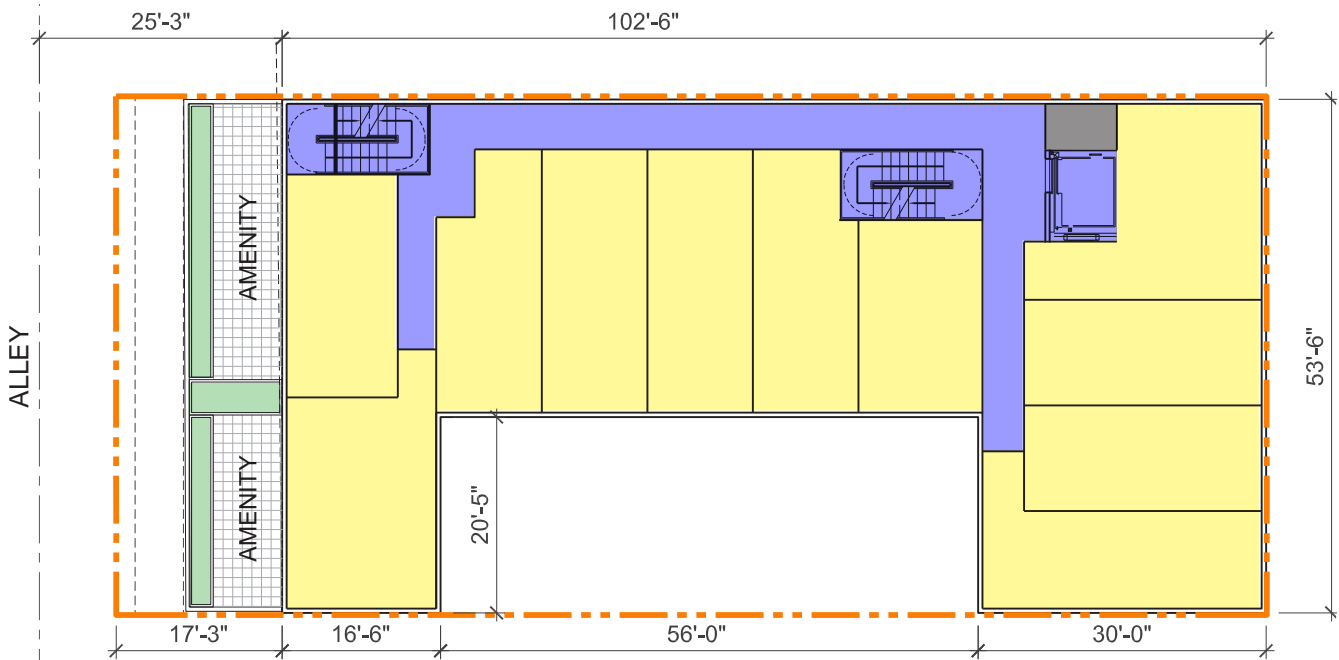
SERVICE

LANDSCAPE / GREEN ROOF

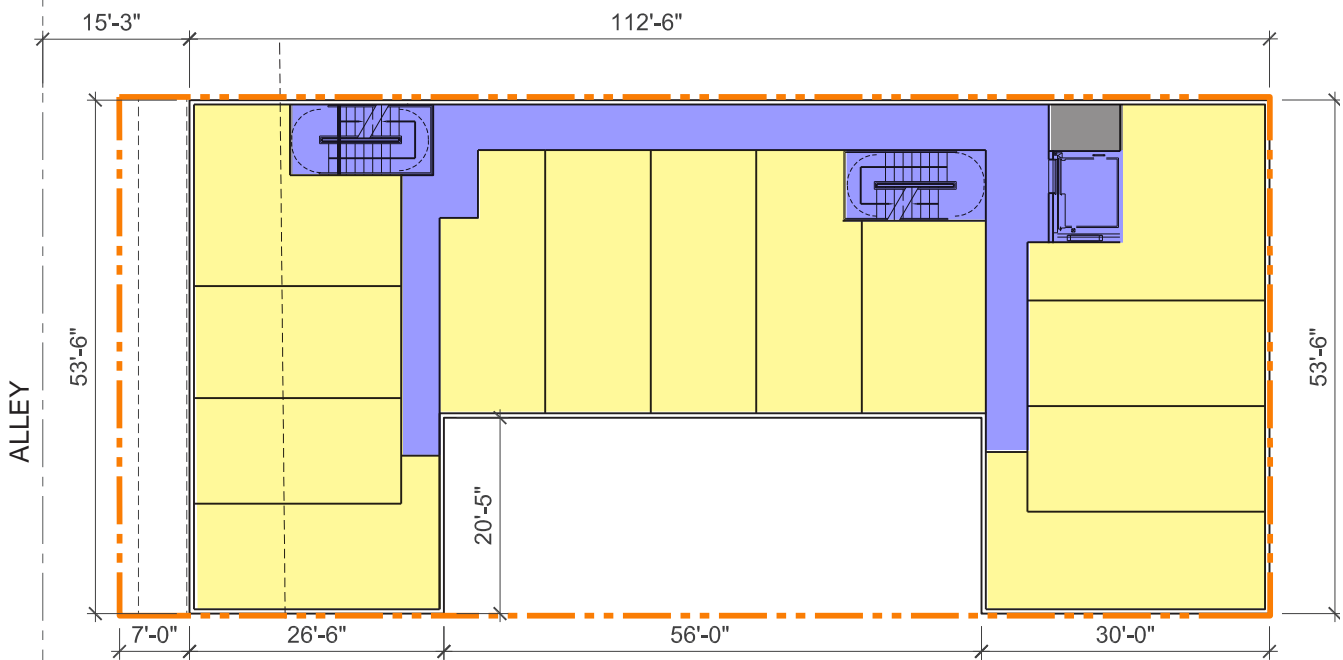
N 1 : 20 SCALE



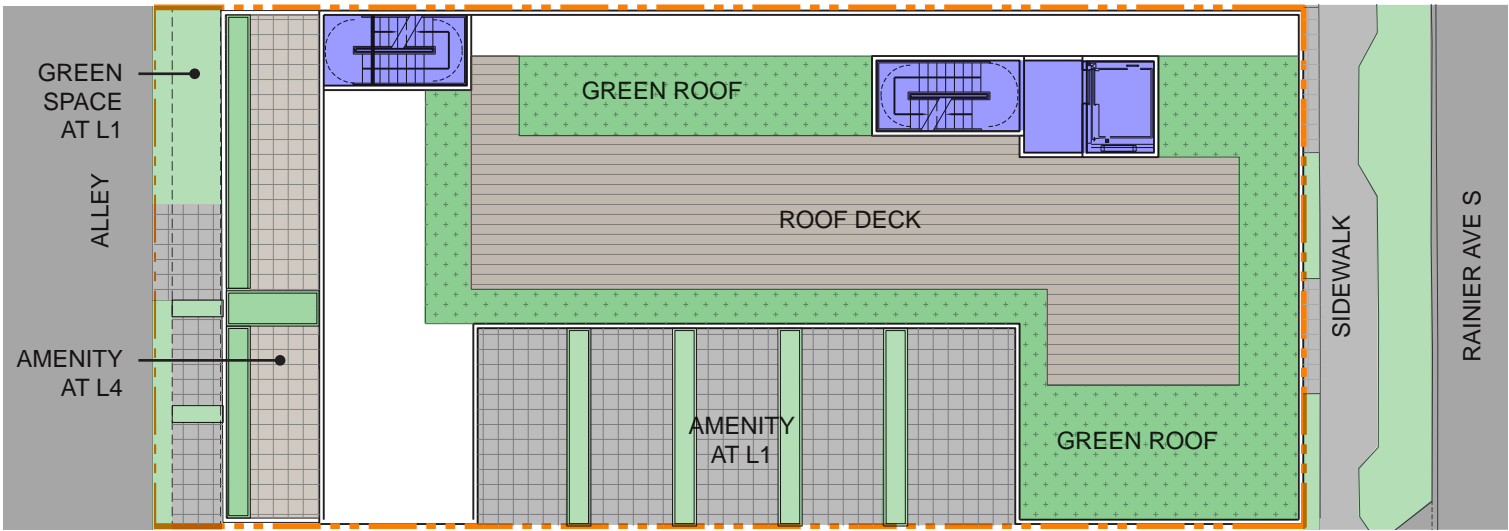
LVL 1  
2 L/W UNITS | 4 DWELLING UNITS | 1,100 SF COMMERCIAL SPACE



LVLS 4 - 6  
11 UNITS



LVLS 2 & 3  
13 UNITS



ROOF / LANDSCAPE COMPOSITE

FOR REFERENCE ONLY - SEE APPENDIX  
FOR ADDITIONAL EDG INFORMATION

OPTION C | **PREFERRED** | PLANS  
"RADIATOR"

FAR | 4.25  
SEDU | 69    LIVE/WORK | 4  
COMMERCIAL SPACE | 575 SF  
TOTAL | 73

KEY

RESIDENTIAL

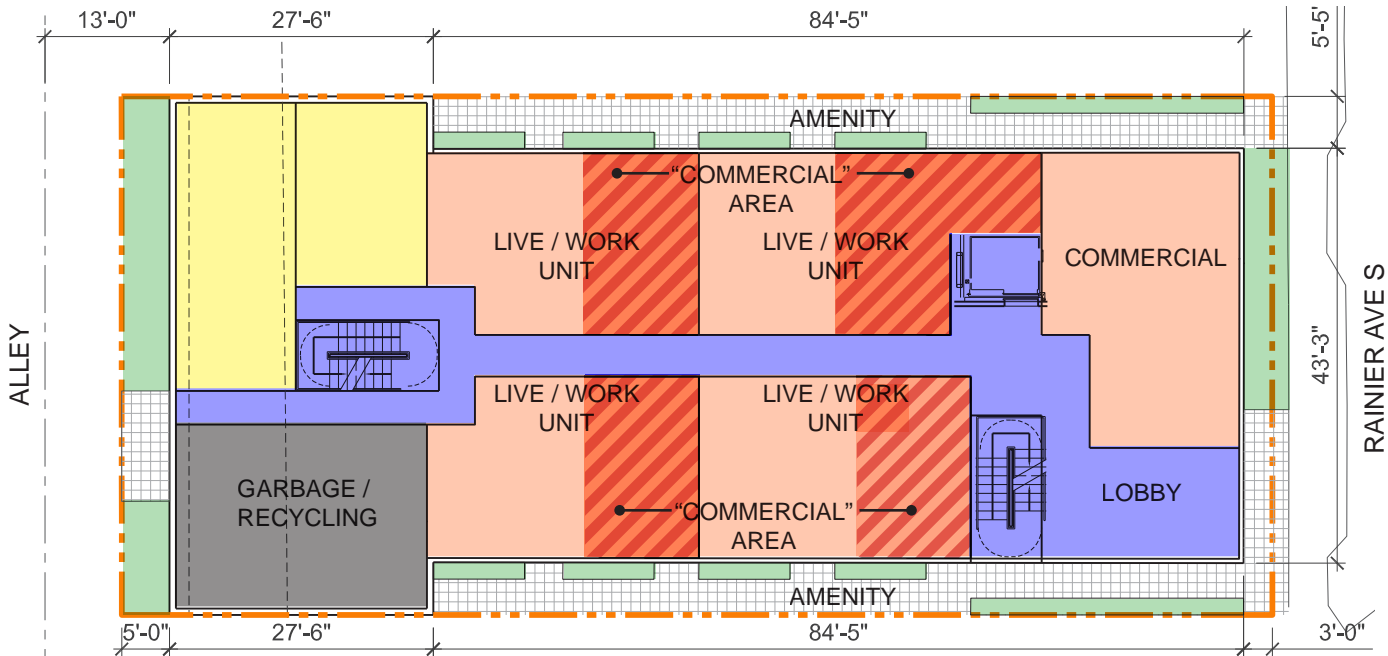
COMMON / CIRCULATION

COMMERCIAL

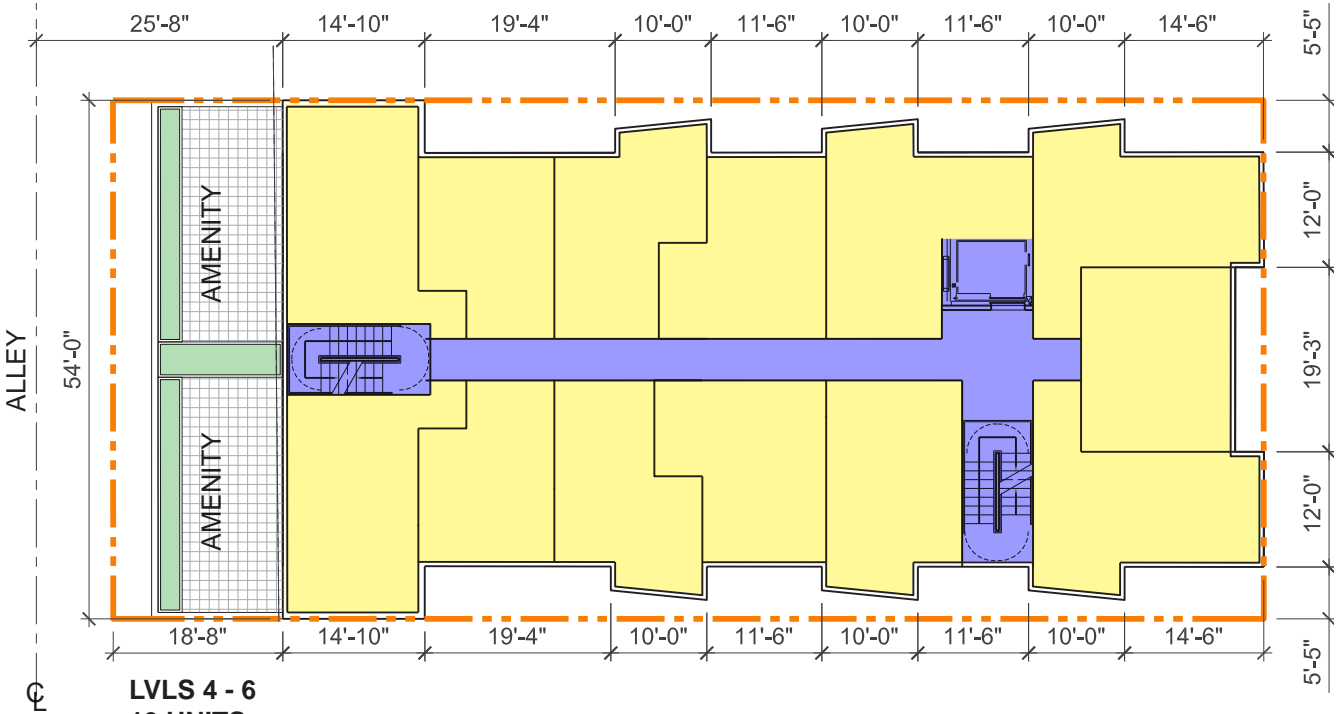
SERVICE

LANDSCAPE / GREEN ROOF

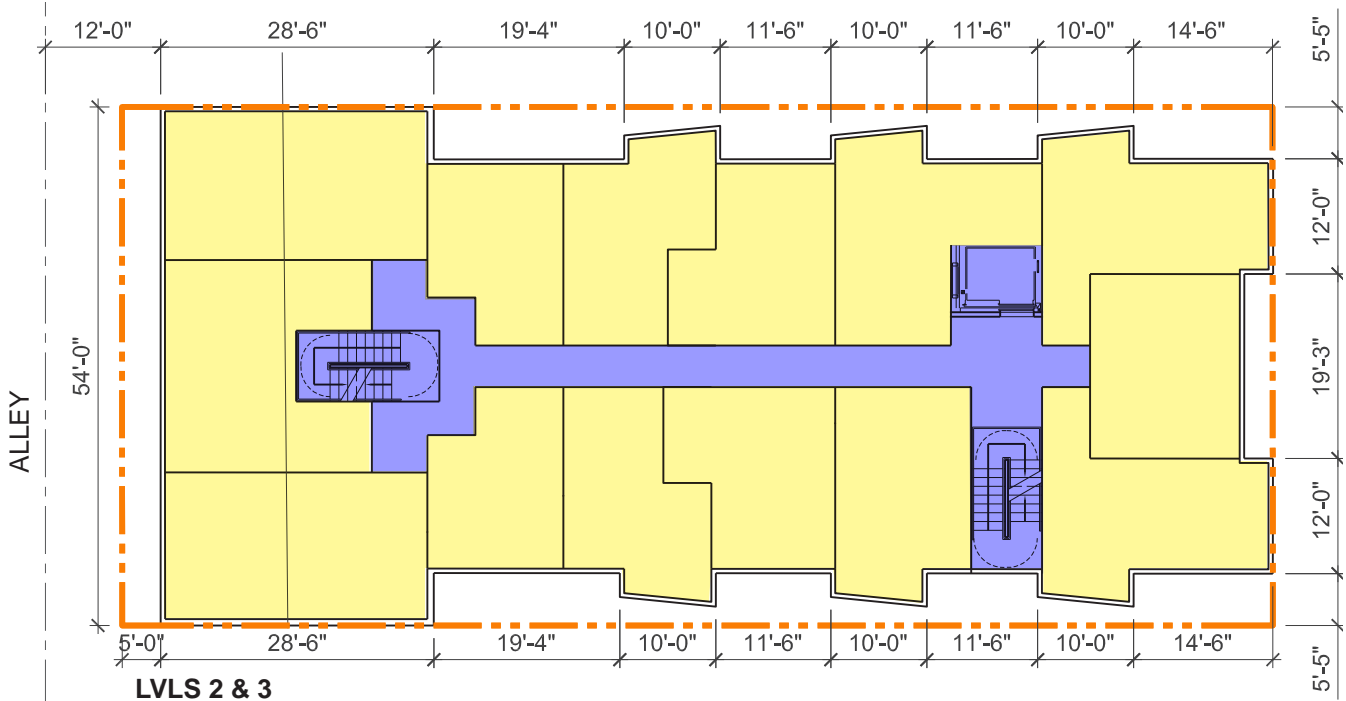
N 1 : 20 SCALE



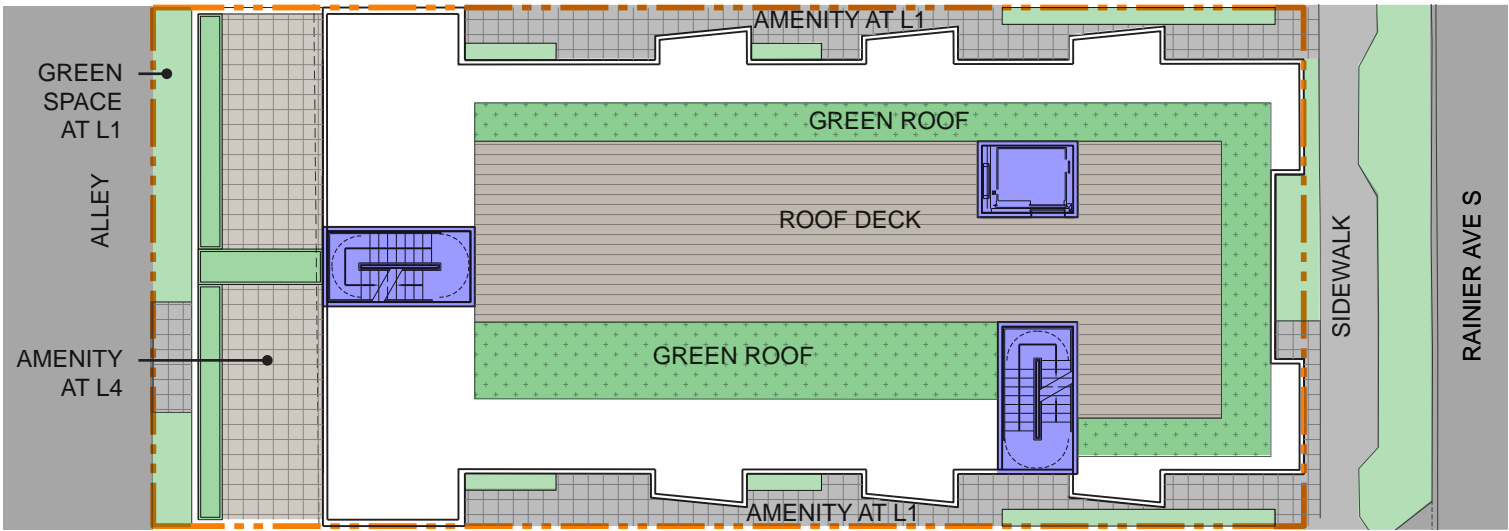
LVL 1  
4 L/W UNITS | 2 DWELLING UNITS | 575 SF COMMERCIAL SPACE



LVLS 4 - 6  
13 UNITS



LVLS 2 & 3  
14 UNITS



ROOF / LANDSCAPE COMPOSITE

EARLY DESIGN GUIDANCE RESPONSES

1) Livability – Access to Light and Air:

The board discussed the essential requirement for small efficiency dwelling units (SEDU) to have access to light and air.

a) After thoughtful discussion the Board thought that option A was a better fit to organize the SEDU units so that the apartments had the opportunity for more light and air. It appeared that a longer exterior wall, as shown in option A, was a good response to encourage more than one window or larger windows. The other options had very short exterior walls and limited area for window assemblies which the board thought would be necessary for units to gain access to light and air and directed the applicant to include them.

b) The creative sawtooth facades of Option C were favored by many of the Board, but the very narrow units at the interior of the building looked to be devoid of much light and usable space. They directed the applicant to combine some of the units to allow for larger light and air opportunities.

Applicant Response:

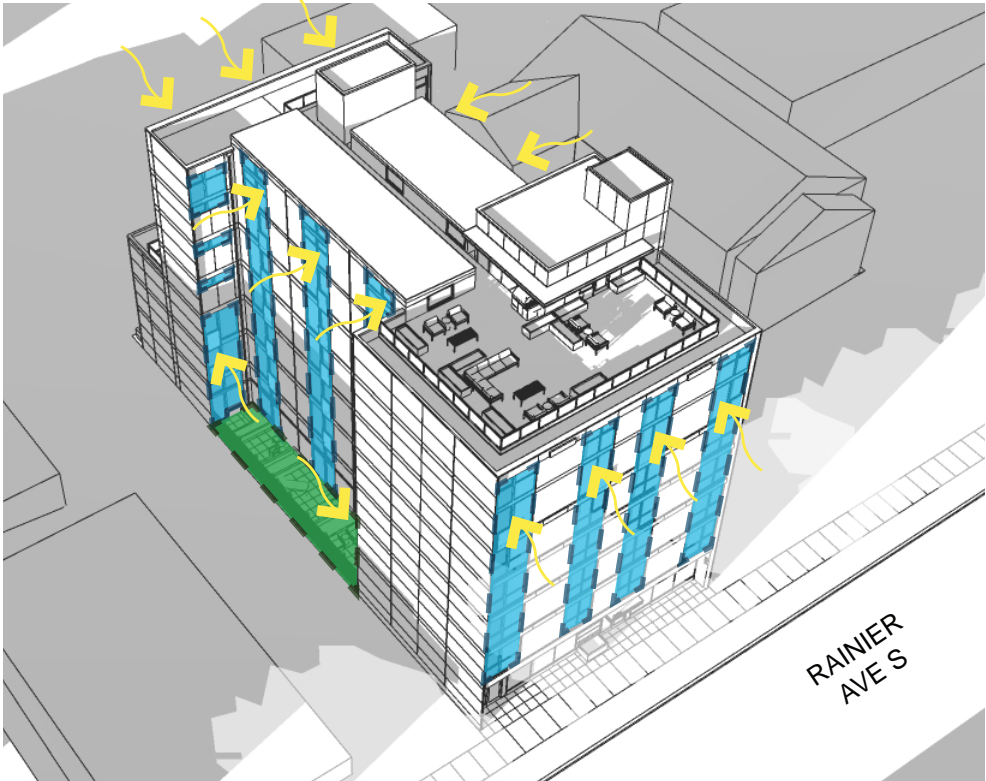
The proposed design is an evolution of Option A, with central courtyards on both the north and south property lines and the rest of the units either facing the east or west towards the right of ways. The courtyards allow for large windows for the central units, with similar generous windows on the east and west facades of the building.



EDG OPTION A | LOOKING NORTHEAST



PROPOSED | LOOKING NORTHEAST



PROPOSED | AERIAL

EARLY DESIGN GUIDANCE RESPONSES

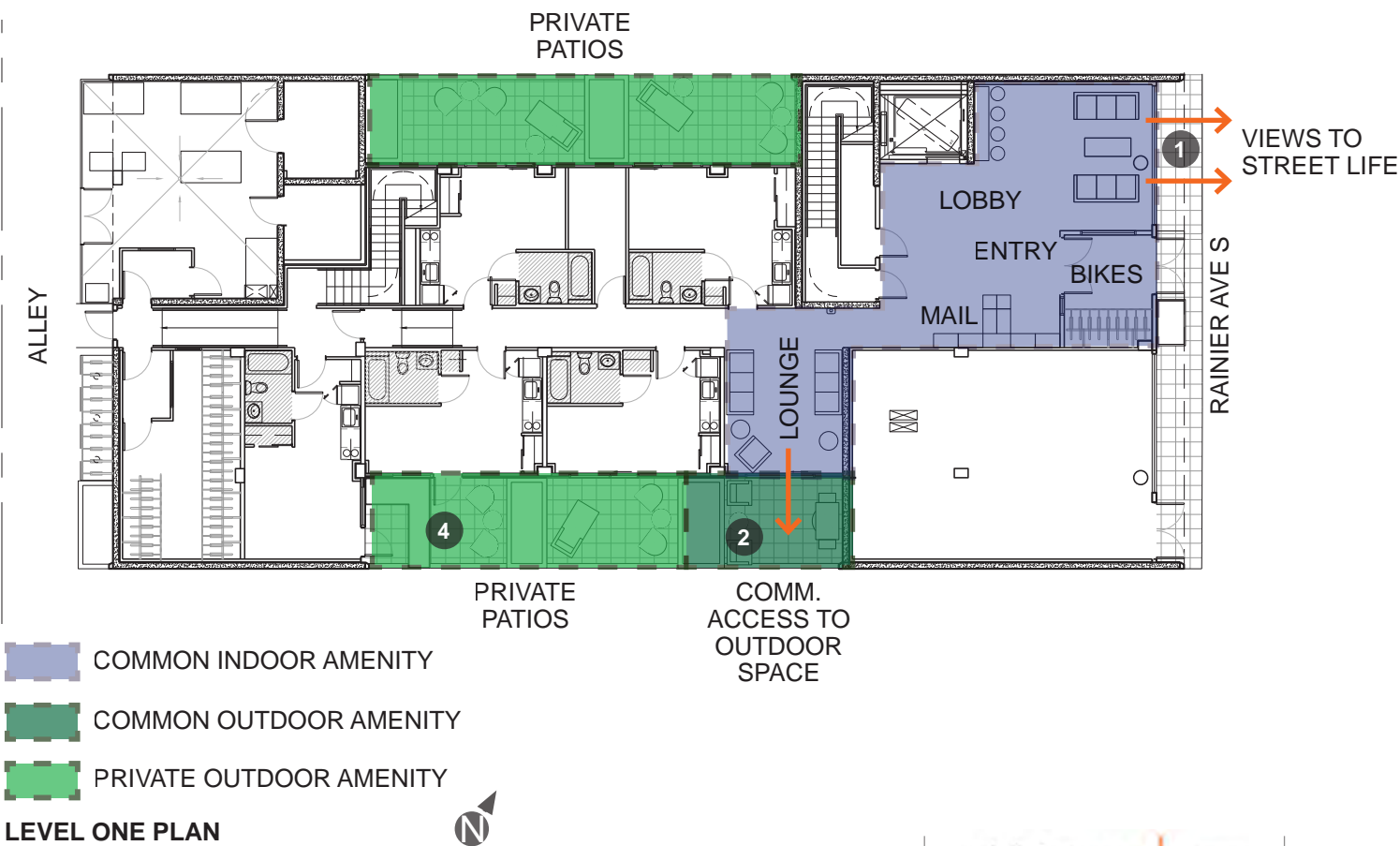
2) Livability – Open Space:

The board focused on the nature of the small efficiency dwelling units (SEDU) as very small apartments and the inherent need to have outdoor open space maximized on the site for both communal gathering and private open space.

- a) The board asked the project team to minimize circulation routes and maximize the usable open space at ground level. They suggested limiting dwelling access to the central corridor only with the live work accessed off it. They pointed out that with a central corridor, ground floor units (both north and south) would have highly valued access to private outdoor space.
- b) The board thought there were several ground floor options to enhance the availability of open space.
- c) The board asked the architect to provide a more complete landscape plan to better study the open space options and offerings. The board asked for quality outdoor open space that is not used for circulation.
- d) The board also asked for interior amenity spaces for residents. They suggested that it could be combined with a lobby at ground floor or elsewhere in the building.

Applicant Response:

The live work units on the ground floor and side courtyard access to Rainier Ave S that were shown in option C at the EDG meeting have been removed. They have been replaced with centrally located north and south courtyards accessed from the units as presented in the board’s preferred Option A. This results in less of the open space being dedicated to circulation and maximizes the usable open space directly adjacent to the ground floor units. All ground floor units have access to a portion of the courtyard, with planters and screens providing privacy between the individual spaces. Generous interior amenity spaces have been provided at the ground floor, with a large lobby that includes important lobby functions (mail, bike storage, access to stairs / elevator) as well as providing areas for resident use, either individually or as a group. A common area near the lobby entry looks out over the street and sidewalk, providing an internal location for residents to meet others, wait for rideshares or deliveries, and observe Rainier Ave S, maintaining eyes on the street. An additional lounge area adjacent to the lobby affords access to the south courtyard, creating an interior space with the opportunity to expand to the outdoors. Further outdoor amenity space is located at the west setback, as private amenity to the north and south, and a central common amenity space accessed off the corridor. Another large common deck, positioned on the east portion of the roof, allows for more exterior gathering space, flanked by green roof with deck planters separating individual spaces. Additional information, including complete landscape plans, will be provided in the forthcoming recommendation packet.



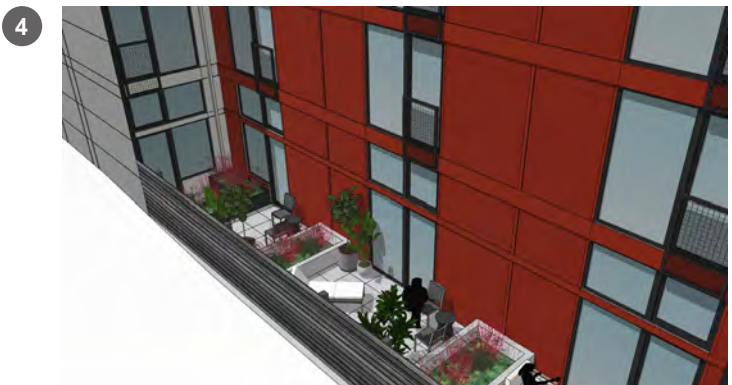
LOBBY FROM RAINIER AVE S



COMMON OUTDOOR AMENITY



ROOF TOP DECK



PRIVATE OUTDOOR AMENITY

EARLY DESIGN GUIDANCE RESPONSES

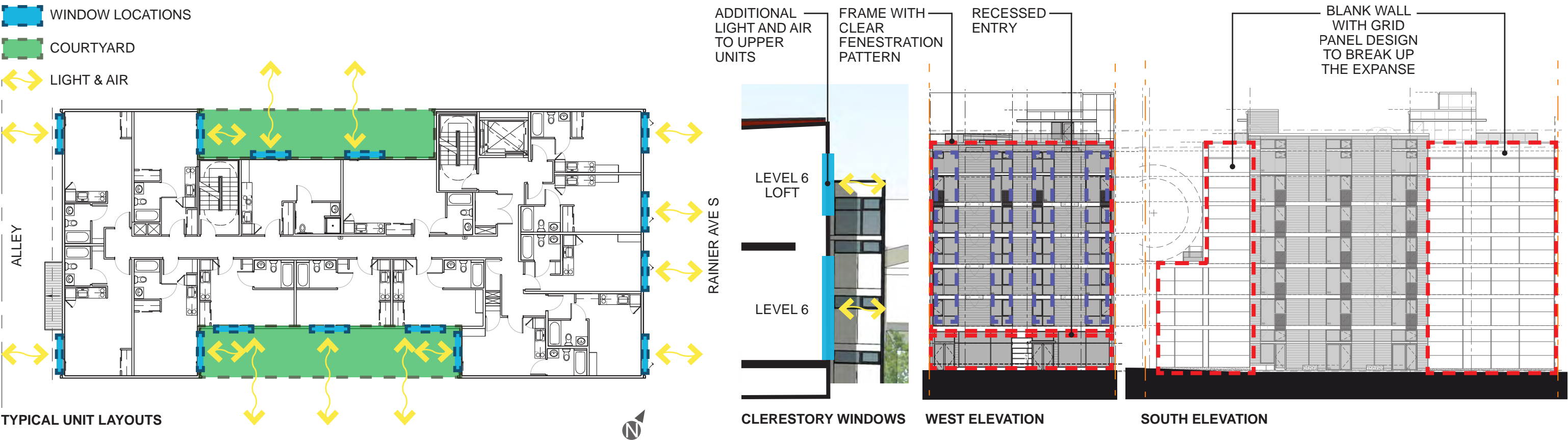
3) Height, Bulk, and Scale

The board discussed the presented options and the height, bulk, and scale response to the neighborhood.

- a) The board was split on their approval of massing options and discussed the merits of Option C with the interesting sawtooth facades and Option A with mid-site opportunities for ground level open space and north and south units larger access to light and air. The Board directed the applicant to maximize light and air and open space availability and noted that mixing bulk and scale from the various options would be welcomed.
- b) The board directed the applicant to avoid bank walls at the site. Windows, interesting façade materials, green walls, and modulation would all serve to mitigate any blank wall areas.
- c) The board commented that the modulated front façade was a positive element and asked that it be explored for further development but understood that the narrow site did not dictate front modulation.

Applicant Response:

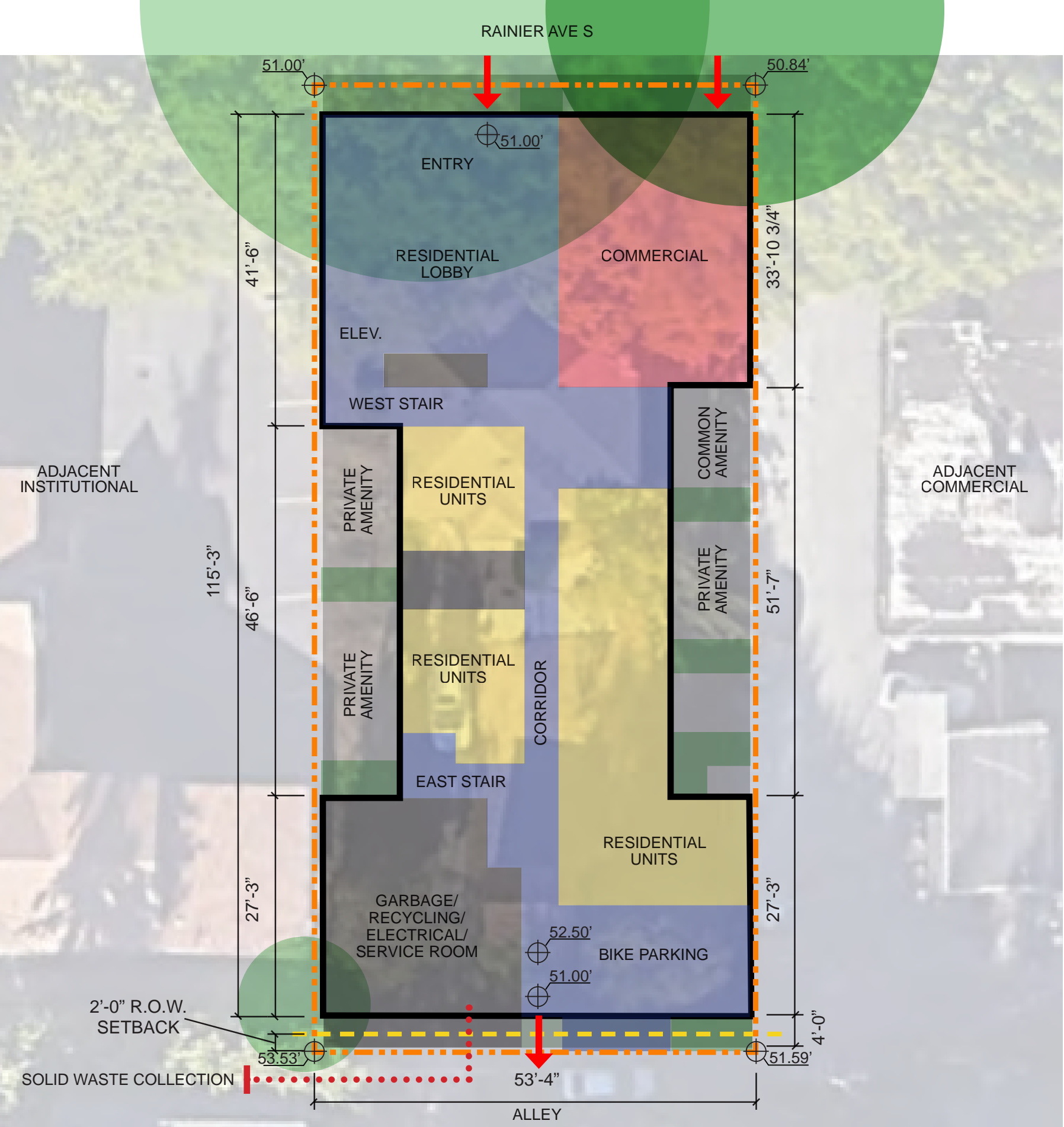
The proposed design reflects the board’s priority of maximizing the access to light and air for as many units as possible. As the board noted, this is accomplished best by Option A, with it’s mid-site courtyards on the north and south facades. The units have been reconfigured so that the middle units are wide and shallow, maximizing their access to light and air from the adjacent courtyard. At the east and west ends of the building, the units are narrower, with large glazing directed towards the right of ways. The blank walls along the North and South portions of the site are a result of selecting option A to move forward and are modest, separated by the mid-site courtyard, and textured with panels that relate to the patterning of the rest of the building. The front (east) façade is a simple plane with clear fenestration patterning and durable materials composed in a coherent, restrained manner. An expressed frame element encloses the façade, creating visual interest through planar relief and linking the recessed entries at street level to the façade on the upper stories. The frame element is repeated on the west façade and courtyard, establishing a cohesive overall composition and parti.



SITE PLAN

KEY

- RESIDENTIAL
- COMMON / CIRCULATION
- GARBAGE/RECYCLING/ ELECTRICAL/SERVICE ROOM
- LANDSCAPE
- COMMERCIAL
- OUTDOOR AMENITY



FLOOR PLAN | LEVEL 1

KEY

- RESIDENTIAL
- COMMON / CIRCULATION
- GARBAGE/RECYCLING/ ELECTRICAL/SERVICE ROOM
- LANDSCAPE
- COMMERCIAL
- OUTDOOR AMENITY
- 1

EAST STAIR
- 2

WEST STAIR
- 3

ELEVATOR
- 4

BIKE PARKING (48 SPACES)
- 5

GARBAGE/RECYCLING
- 6

ELECTRICAL
- 7

SERVICE ROOM
- 8

RESIDENTIAL LOBBY
- 9

COMMERCIAL
- 10

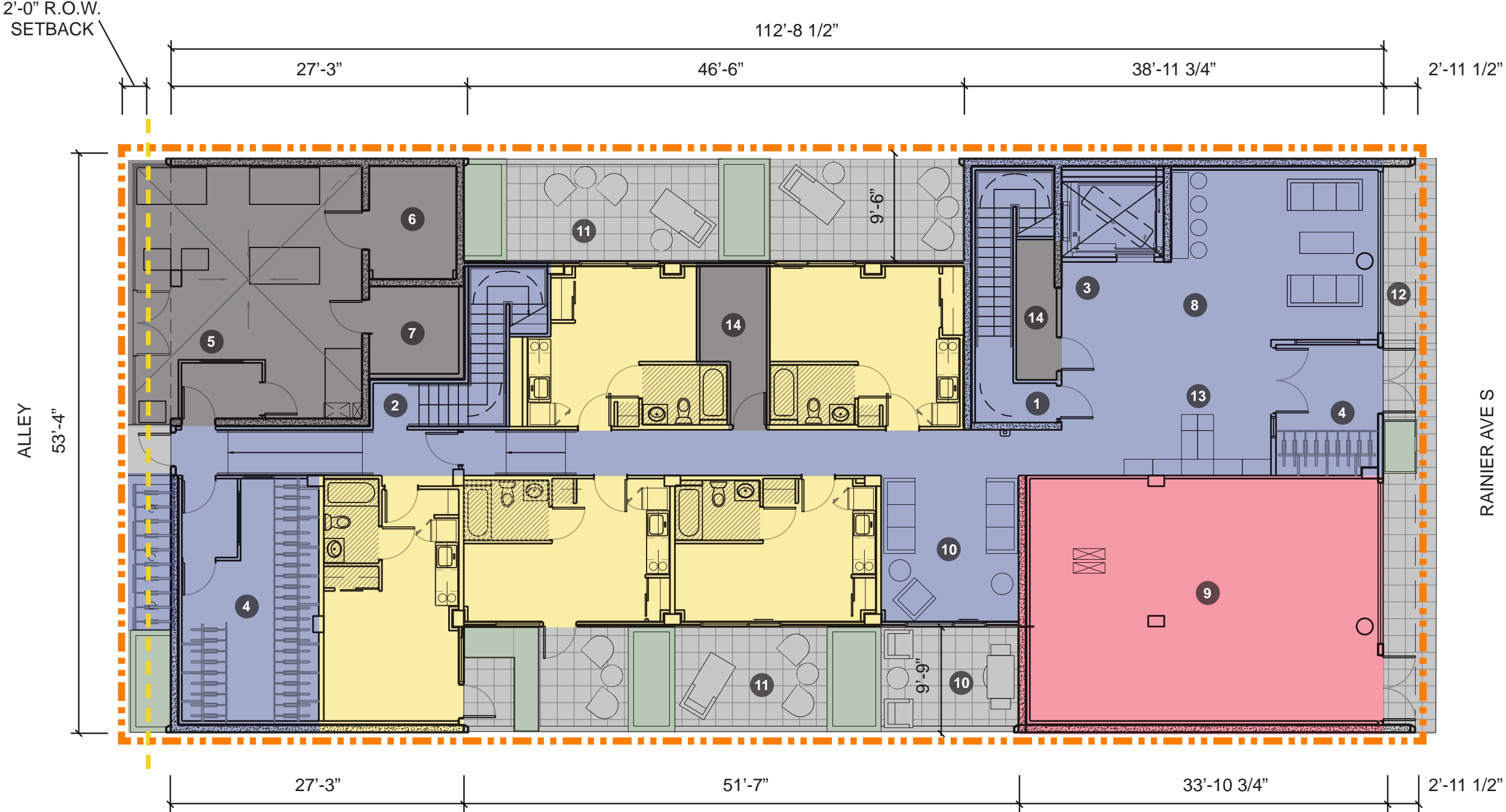
COMMON AMENITY
- 11

PRIVATE AMENITY
- 12

ENTRY PLAZA
- 13

MAIL
- 14

MECHANICAL

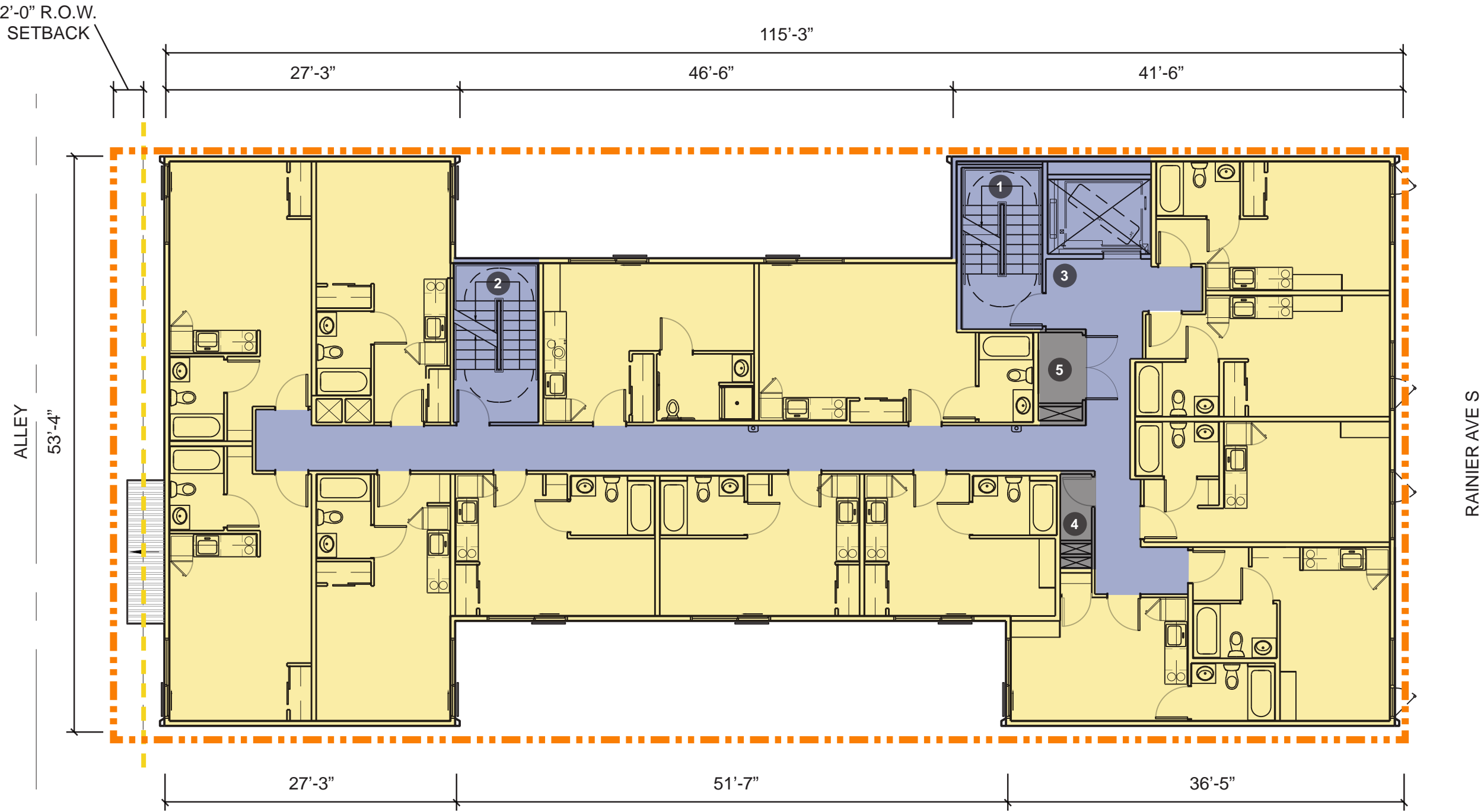


SCALE: 3/32" = 1'-0"

FLOOR PLAN | LEVEL 2-3

KEY

- DWELLING UNITS
- COMMON / CIRCULATION
- SERVICE
- 1 EAST STAIR
- 2 WEST STAIR
- 3 ELEVATOR
- 4 UTILITY
- 5 MECHANICAL

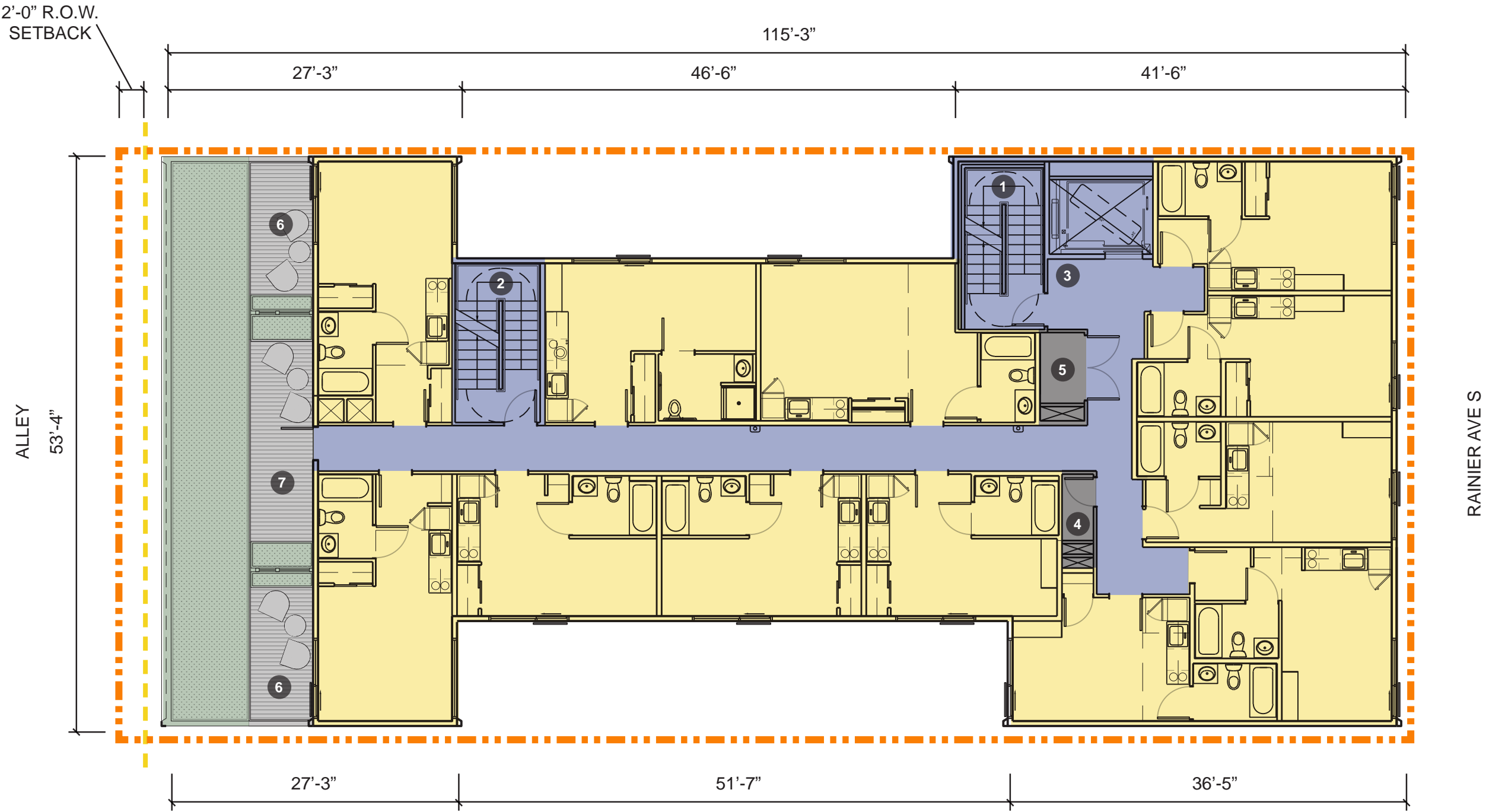


SCALE: 3/32" = 1'-0"

FLOOR PLAN | LEVEL 4-6

KEY

- DWELLING UNITS
- COMMON / CIRCULATION
- SERVICE
- LANDSCAPING
- OUTDOOR AMENITY
- 1 EAST STAIR
- 2 WEST STAIR
- 3 ELEVATOR
- 4 UTILITY
- 5 MECHANICAL
- 6 PRIVATE AMENITY
- 7 COMMON AMENITY (LEVEL 4)

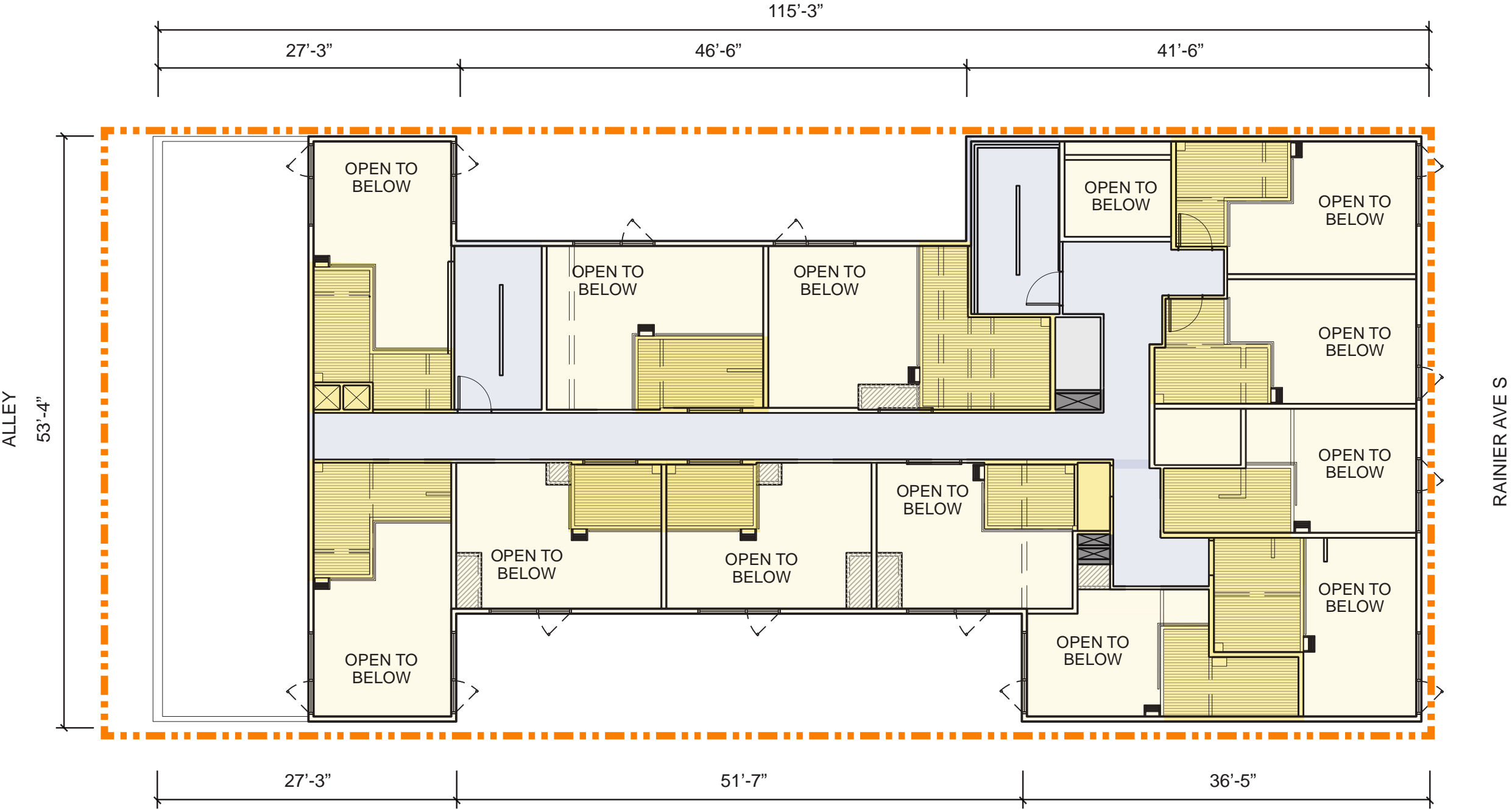


SCALE: 3/32" = 1'-0"

FLOOR PLAN | LEVEL 6 LOFT

KEY

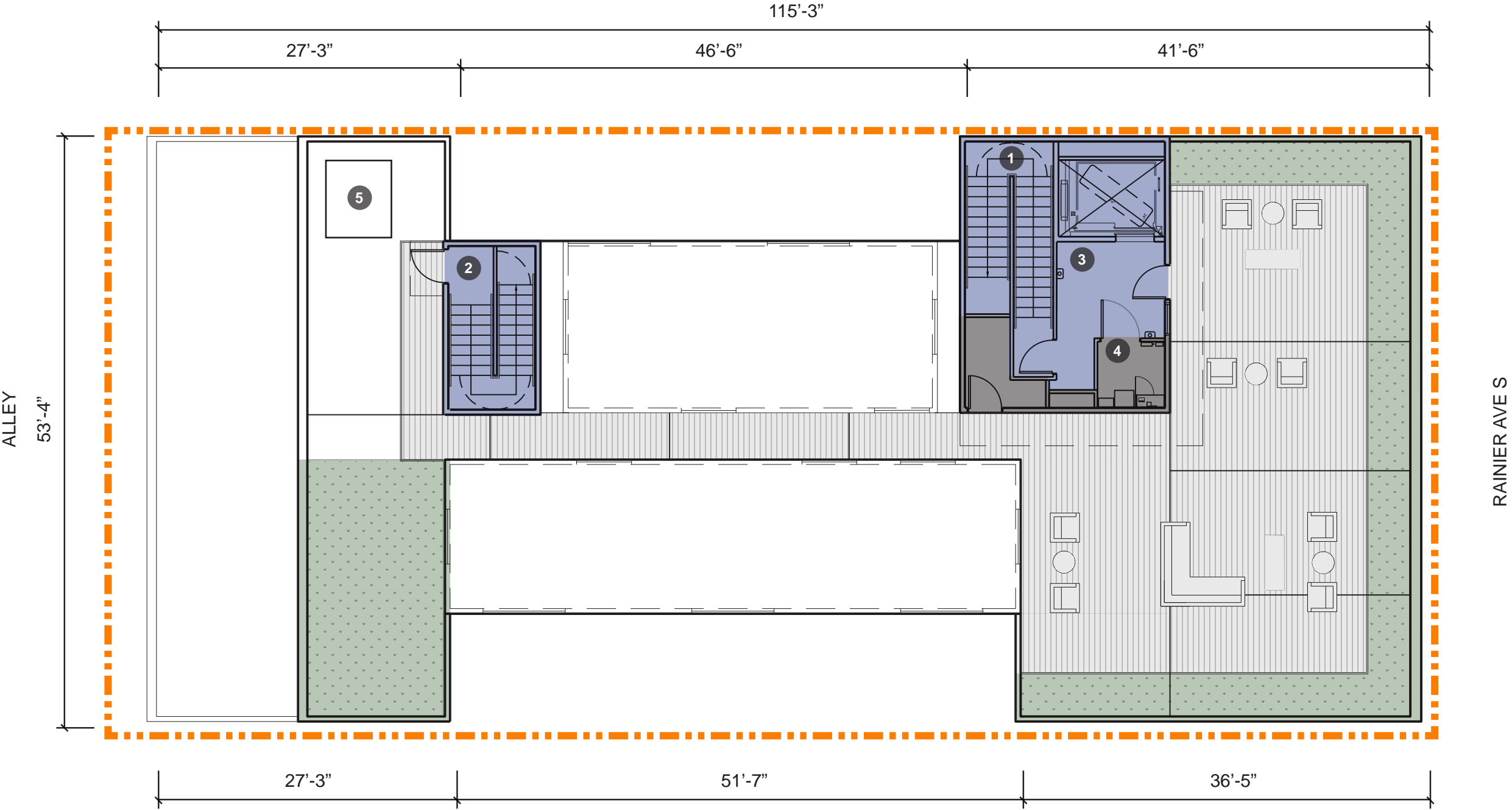
- DWELLING UNITS
- COMMON / CIRCULATION
- SERVICE



FLOOR PLAN | ROOF

KEY

- DWELLING UNITS
- COMMON / CIRCULATION
- SERVICE
- LANDSCAPEING
- OUTDOOR AMENITY
- 1 EAST STAIR
- 2 WEST STAIR
- 3 ELEVATOR
- 4 ELEVATOR CONTROL ROOM
- 5 SOLAR PANELS



AERIAL VIEWS



LOOKING NORTHWEST



LOOKING NORTHEAST



LOOKING SOUTHEAST



LOOKING SOUTHWEST

STREET VIEWS



LOOKING NORTHWEST



LOOKING SOUTHWEST



LOOKING SOUTHWEST



LOOKING NORTHWEST

AMENITY SPACES



ROOF TOP COMMON AMENITY LOOKING NORTHWEST



COMMON AMENITY LOOKING NORTHEAST



COMMON AMENITY LOOKING NORTHWEST



LOOKING SOUTHWEST

AMENITY SPACES



COMMON AMENITY | LOBBY



COMMON AMENITY | LOUNGE

ELEVATION | EAST

KEY

- 1 METAL COPING | BLACK
- 2 BOX RIB METAL SIDING - HORIZONTAL | COOL RUSTIC RED
- 3 FIBER CEMENT PANEL | GRAY
- 4 FIBER CEMENT PANEL | WHITE
- 5 BOX RIB METAL SIDING - HORIZONTAL | SLATE GRAY
- 6 METAL ACCENT PANEL | MATCH ADJACENT FIELD
- 7 METAL GUARDRAIL | COOL RUSTIC RED
- 8 METAL GUARDRAIL | BLACK
- 9 VINYL WINDOW | BLACK
- 10 STORE FRONT | ALUMINUM, BLACK
- 11 METAL LOUVERS | BLACK
- 12 WOOD FENCE | STAINED
- 13 CONCRETE | NATURAL
- 14 BIO-RETENTION CELL
- 15 VENT SHROUD
- 16 BOX SCUPPER OR GUTTER / DOWNSPOUT

SCALE | 3/32" = 1'-0"



RAINIER PHOENIX LLC

skidmore  
janette architecture  
planning  
design

3421 RAINIER AVE S

RECOMMENDATION  
4/19/2021 #3028934-LU

ELEVATIONS  
EAST AND WEST

ELEVATION | SOUTH

KEY

- 1 METAL COPING | BLACK
- 2 BOX RIB METAL SIDING - HORIZONTAL | COOL RUSTIC RED
- 3 FIBER CEMENT PANEL | GRAY
- 4 FIBER CEMENT PANEL | WHITE
- 5 BOX RIB METAL SIDING - HORIZONTAL | SLATE GRAY
- 6 METAL ACCENT PANEL | MATCH ADJACENT FIELD
- 7 METAL GUARDRAIL | COOL RUSTIC RED
- 8 METAL GUARDRAIL | BLACK
- 9 VINYL WINDOW | BLACK
- 10 STORE FRONT | ALUMINUM, BLACK
- 11 METAL LOUVERS | BLACK
- 12 WOOD FENCE | STAINED
- 13 CONCRETE | NATURAL
- 14 PRIVACY FENCE | STAINED WOOD
- 15 VENT SHROUD
- 16 BOX SCUPPER OR GUTTER / DOWNSPOUT

SCALE | 3/32" = 1'-0"



RAINIER PHOENIX LLC

skidmore  
janette architecture  
planning  
design

3421 RAINIER AVE S

RECOMMENDATION  
4/19/2021 #3028934-LU

ELEVATIONS  
SOUTH

ELEVATION | NORTH

KEY

- 1 METAL COPING | BLACK
- 2 BOX RIB METAL SIDING - HORIZONTAL | COOL RUSTIC RED
- 3 FIBER CEMENT PANEL | GRAY
- 4 FIBER CEMENT PANEL | WHITE
- 5 BOX RIB METAL SIDING - HORIZONTAL | SLATE GRAY
- 6 METAL ACCENT PANEL | MATCH ADJACENT FIELD
- 7 METAL GUARDRAIL | COOL RUSTIC RED
- 8 METAL GUARDRAIL | BLACK
- 9 VINYL WINDOW | BLACK
- 10 STORE FRONT | ALUMINUM, BLACK
- 11 METAL LOUVERS | BLACK
- 12 WOOD FENCE | STAINED
- 13 CONCRETE | NATURAL
- 14 PRIVACY FENCE | STAINED WOOD
- 15 VENT SHROUD
- 16 BOX SCUPPER OR GUTTER / DOWNSPOUT

SCALE | 3/32" = 1'-0"



RAINIER PHOENIX LLC

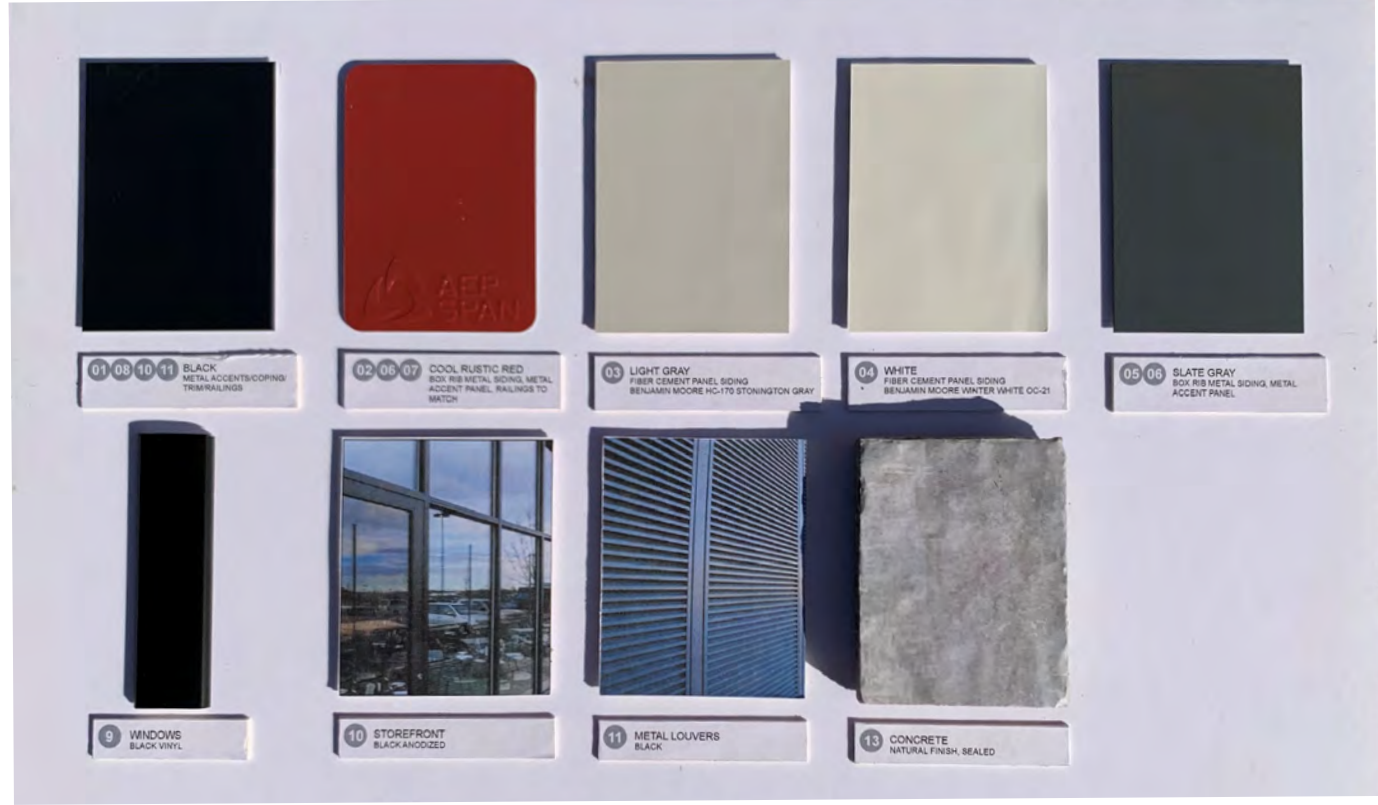
skidmore  
janette  
architecture  
planning  
design

3421 RAINIER AVE S

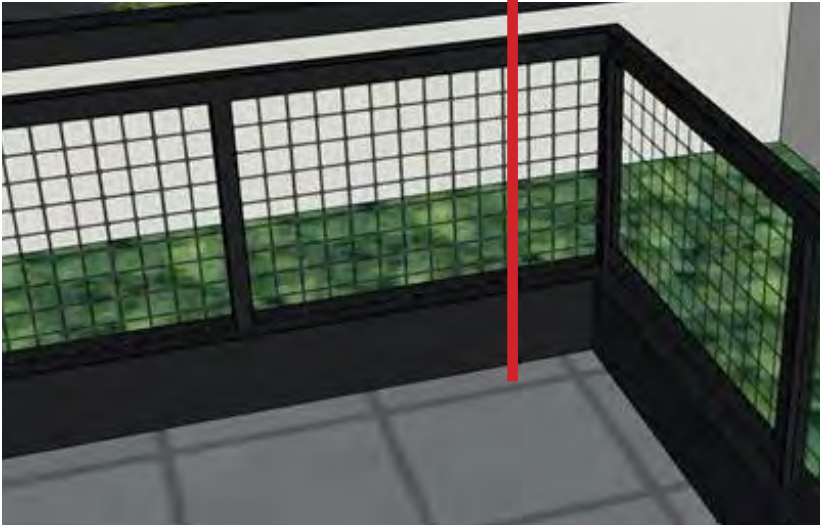
RECOMMENDATION  
4/19/2021 #3028934-LU

ELEVATIONS  
NORTH

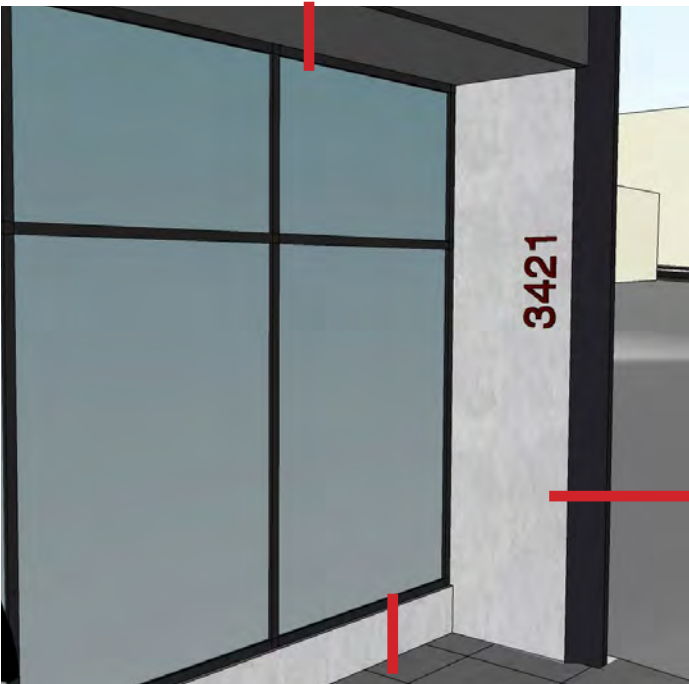
MATERIALS



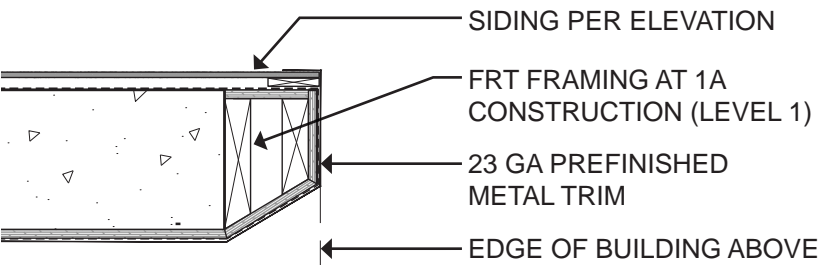
EXTERIOR DETAILS



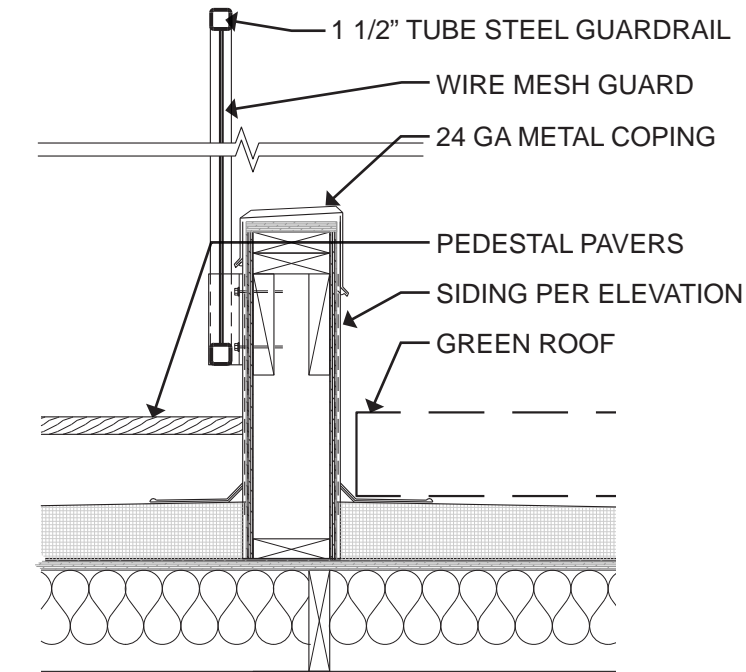
DECK AND PARAPET GUARDRAIL AT L4 & ROOF



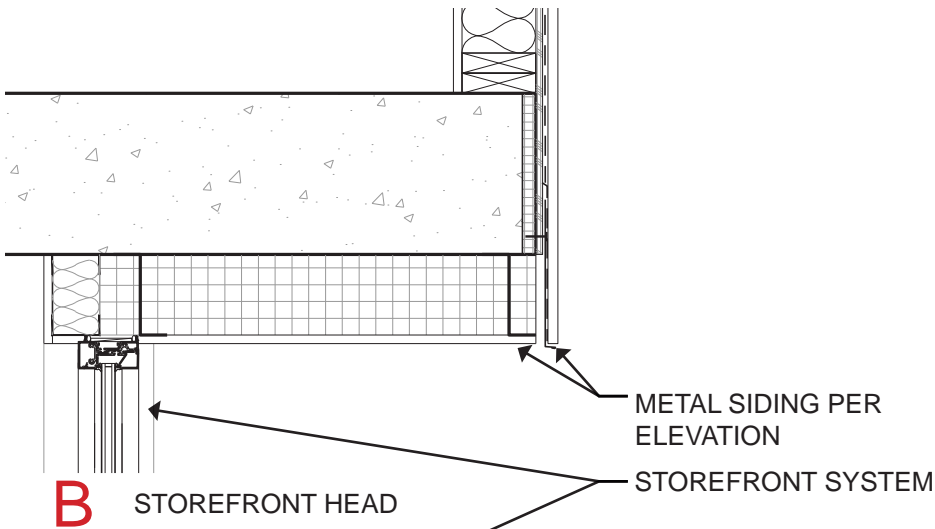
VIEW OF BUILDING EDGE AT STOREFRONT ALONG RAINIER AVE



D BEVELED FIN CORNER AT BUILDING EDGE  
DETAIL SIM. AT LEVELS 2 - 6



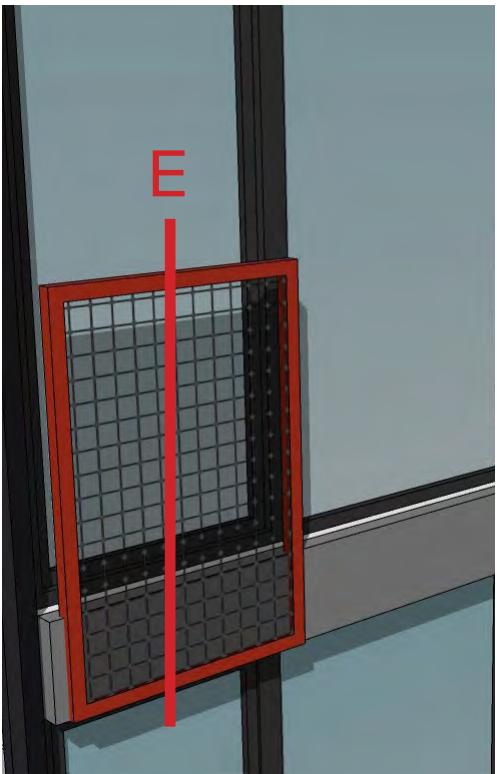
A GUARDRAIL CONNECTION TO PARAPET  
AT ROOFTOP EDGES



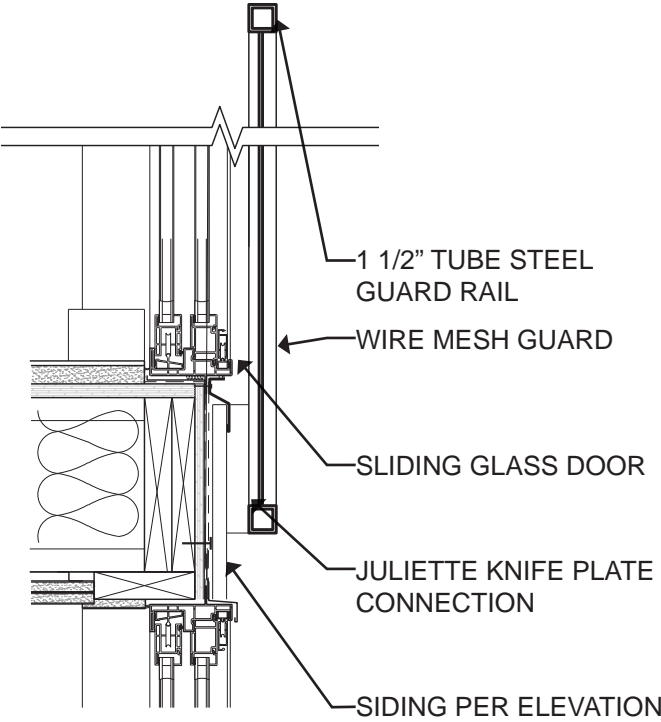
B STOREFRONT HEAD



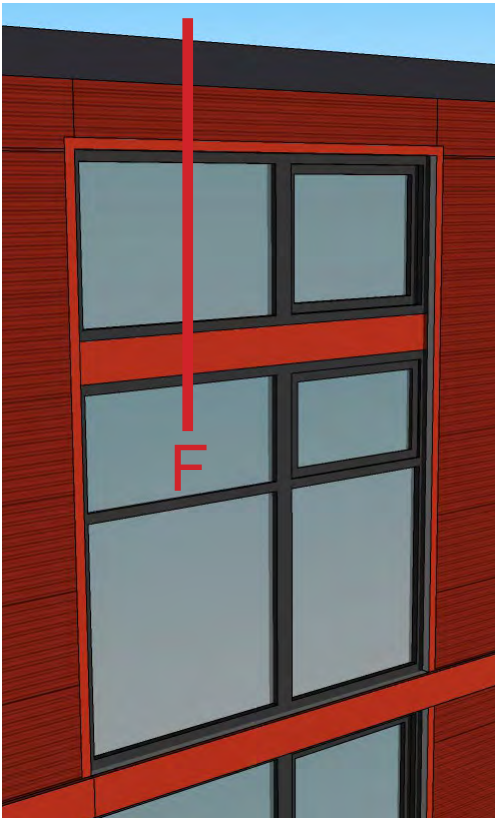
C STOREFRONT SILL



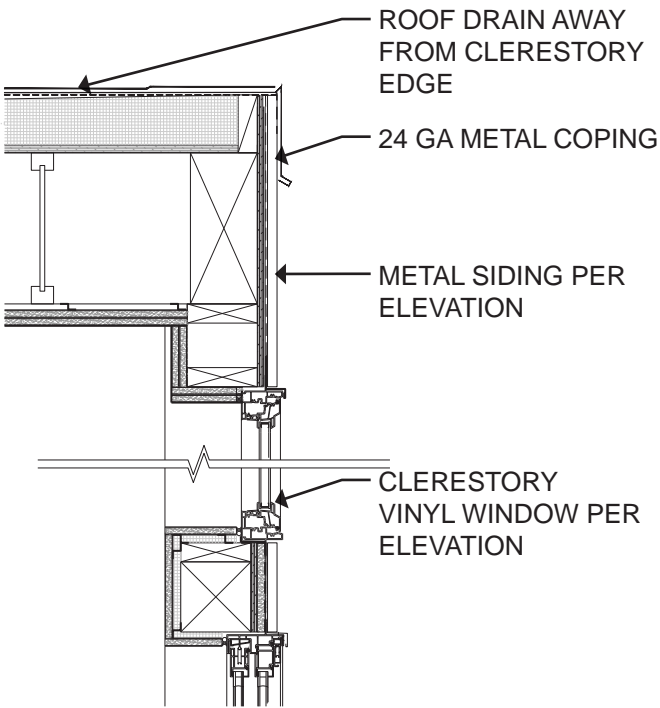
VIEW OF BOLT-ON JULIETTE RAILING AT  
UPPER LEVEL RESIDENTIAL UNITS



E SECTION THROUGH BOLT-ON JULIETTE  
RAILINGS



VIEW OF STOREFRONT WINDOWS ON NORTH  
WEST AND SOUTH EAST SIDES OF BUILDING

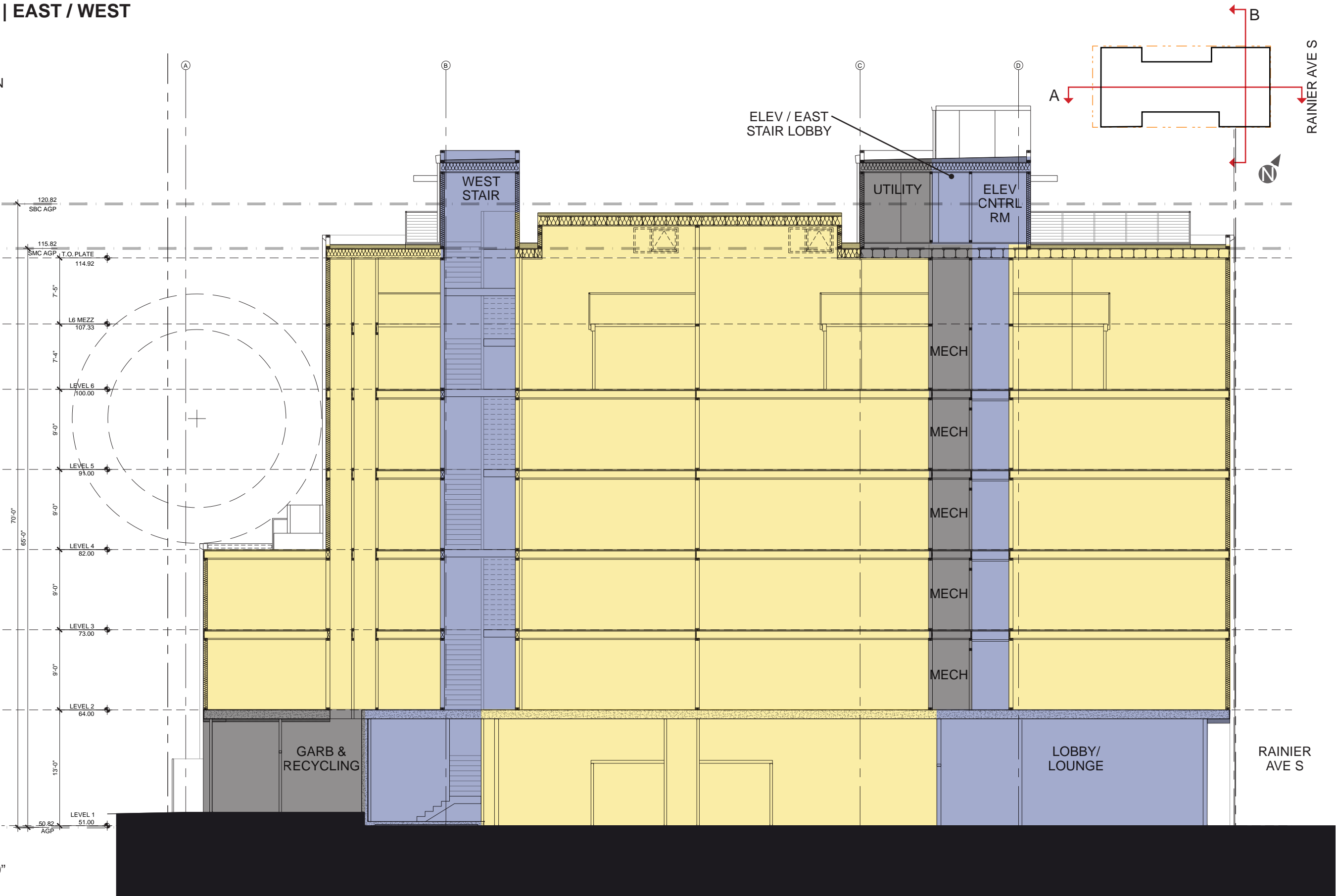


F SECTION THROUGH HEAD / SILL AT  
CLERESTORY & WINDOW INTERSECTION

BUILDING SECTION | EAST / WEST

KEY

- COMMON/CIRCULATION
- RESIDENTIAL
- SERVICE/UTILITY
- COMMERCIAL

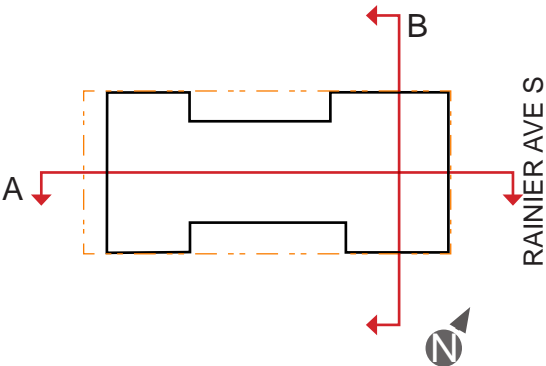
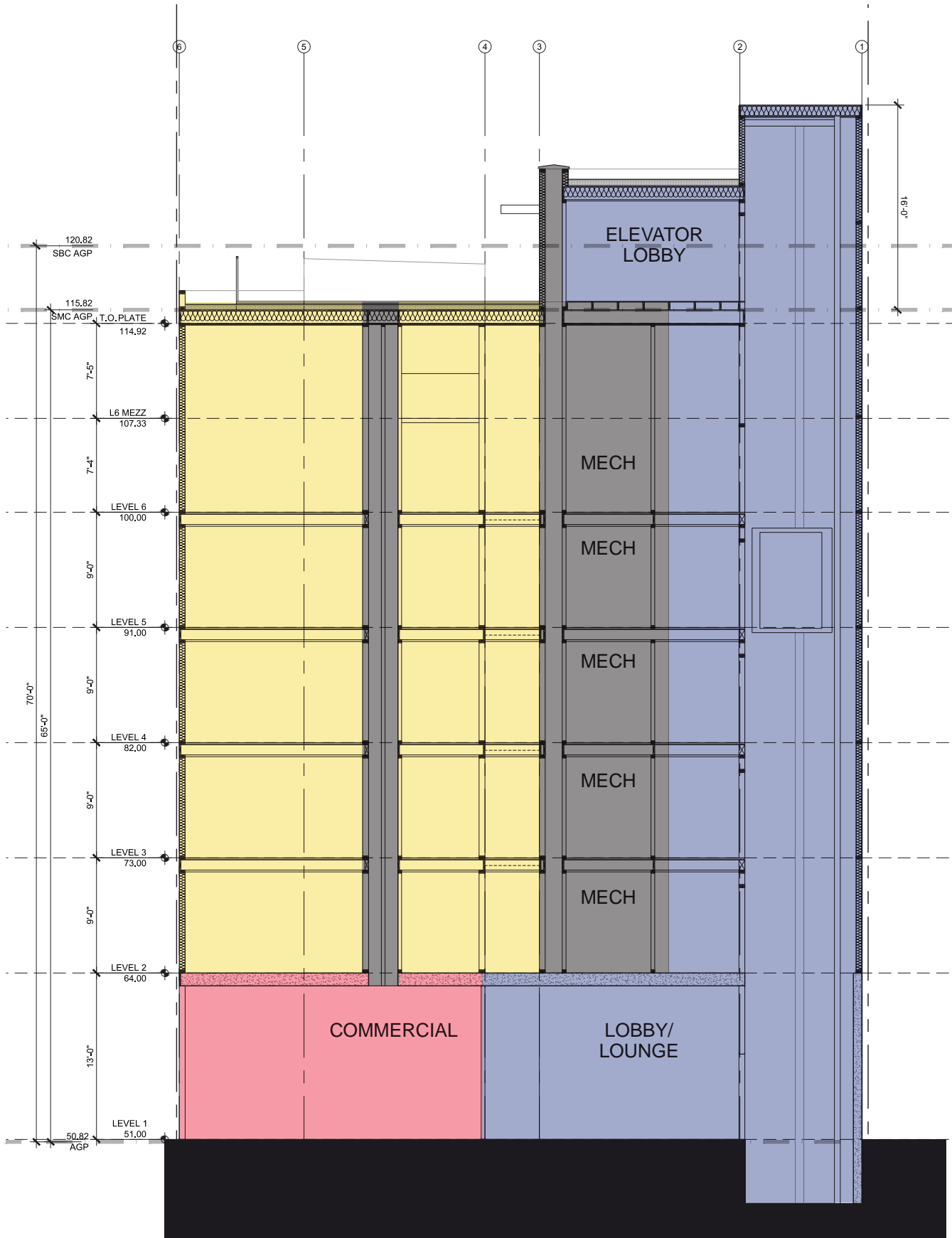


SCALE | 3/32" = 1'-0"

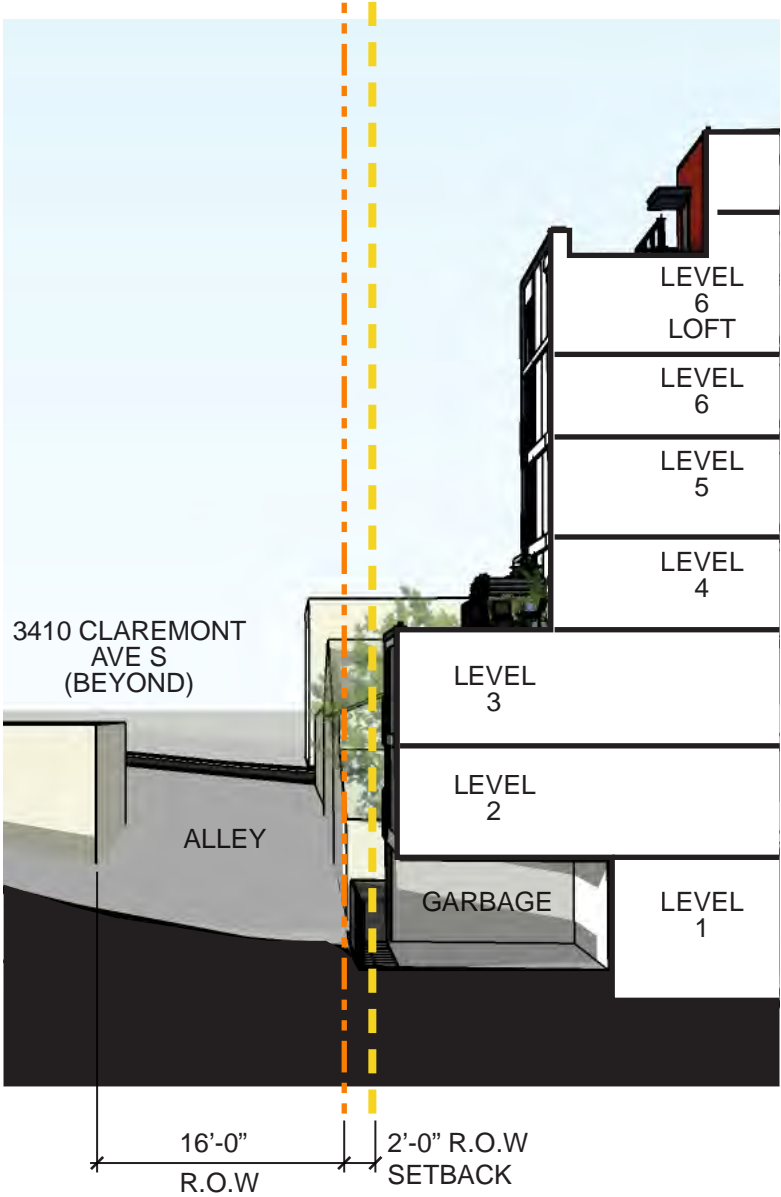
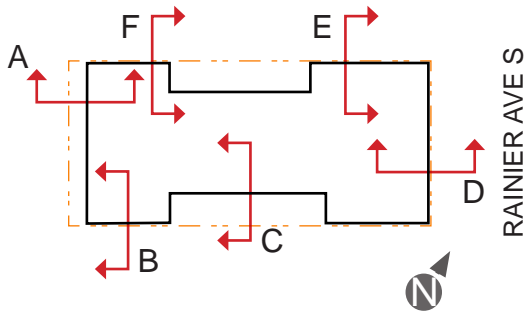
BUILDING SECTION | NORTH/SOUTH

KEY

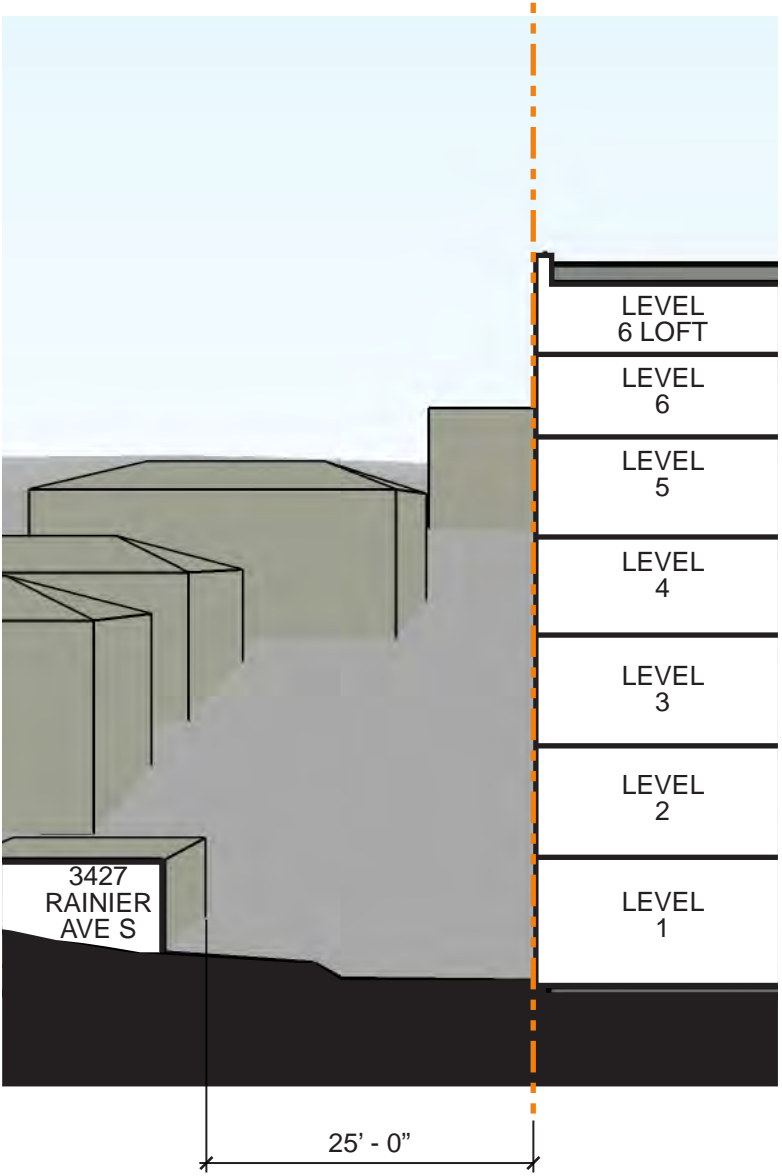
- COMMON/CIRCULATION
- RESIDENTIAL
- SERVICE/UTILITY
- COMMERCIAL



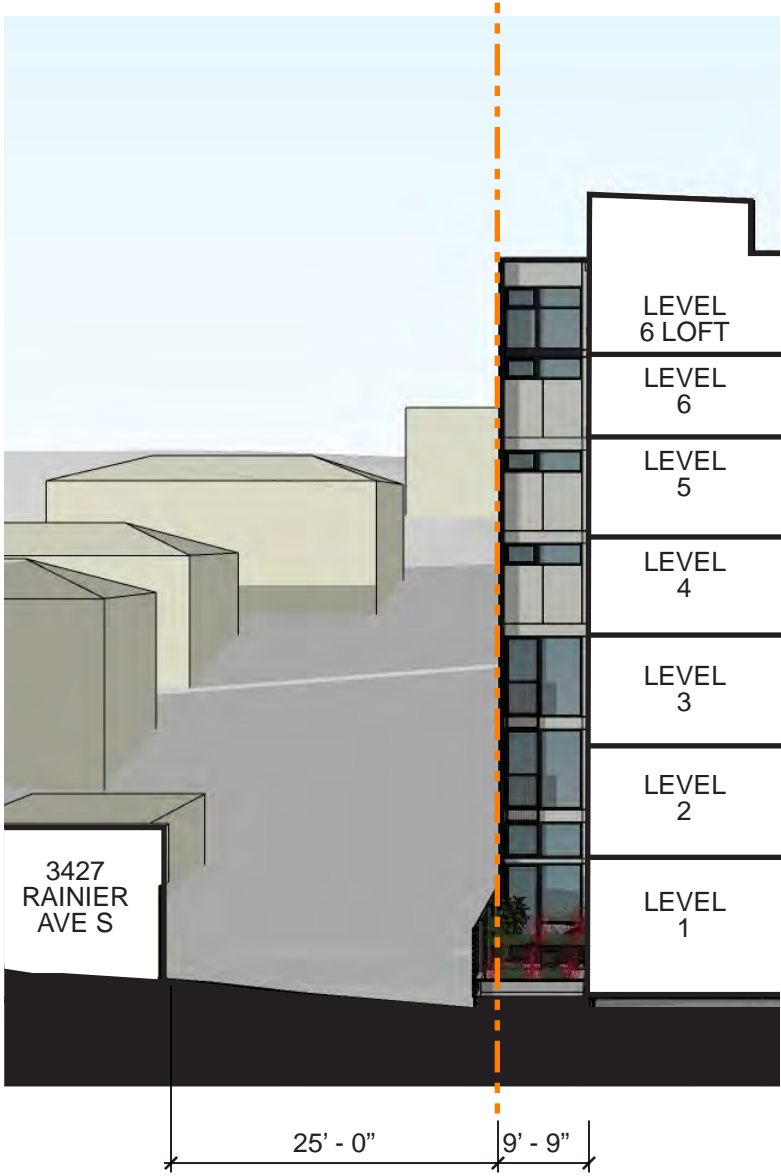
SCALE | 3/32" = 1'-0"



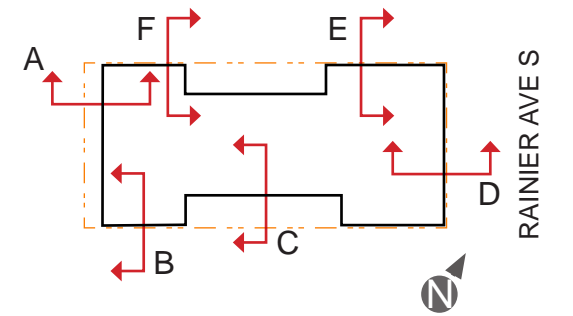
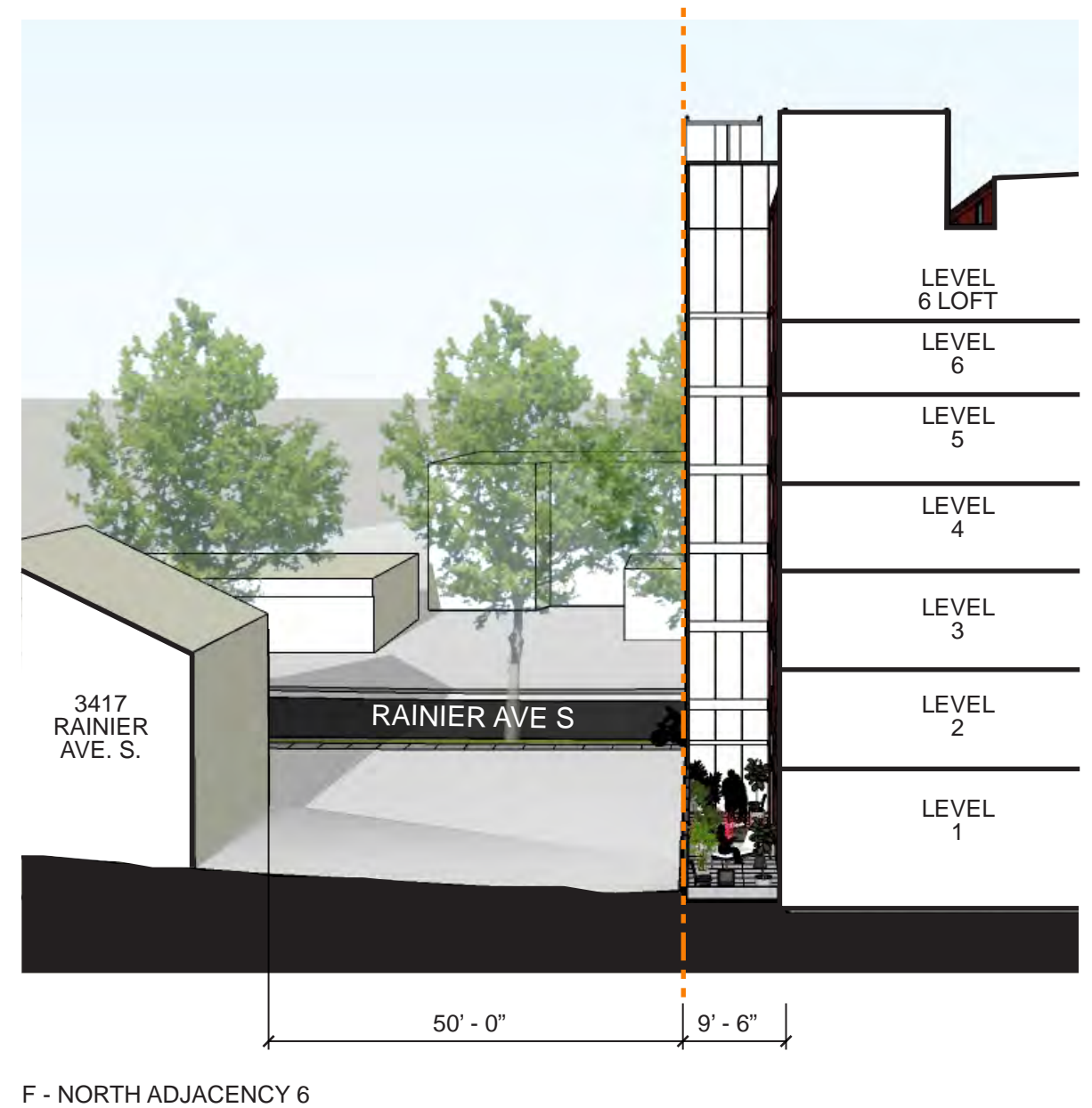
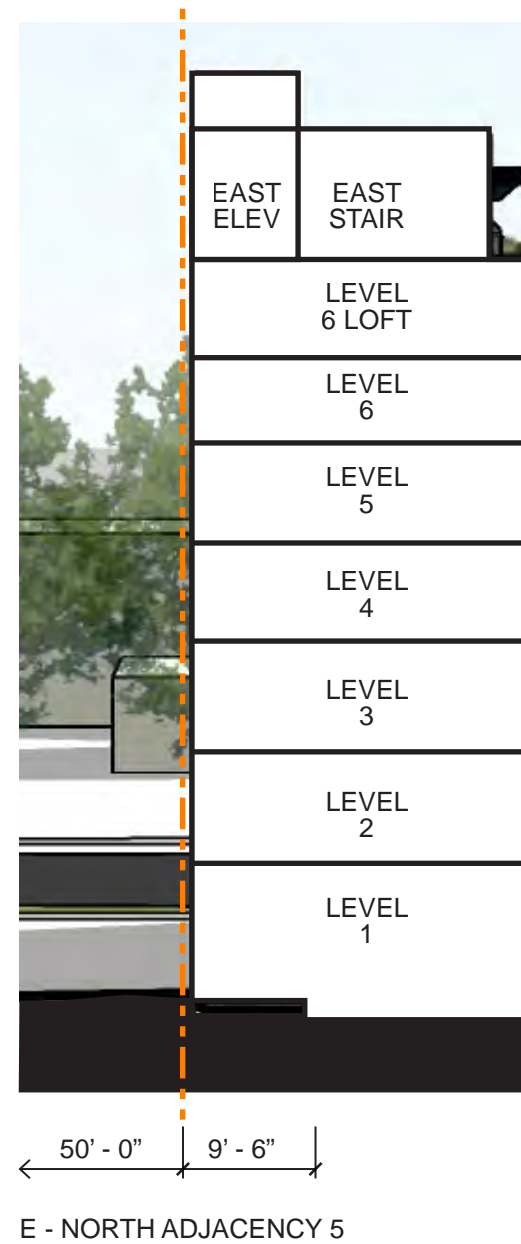
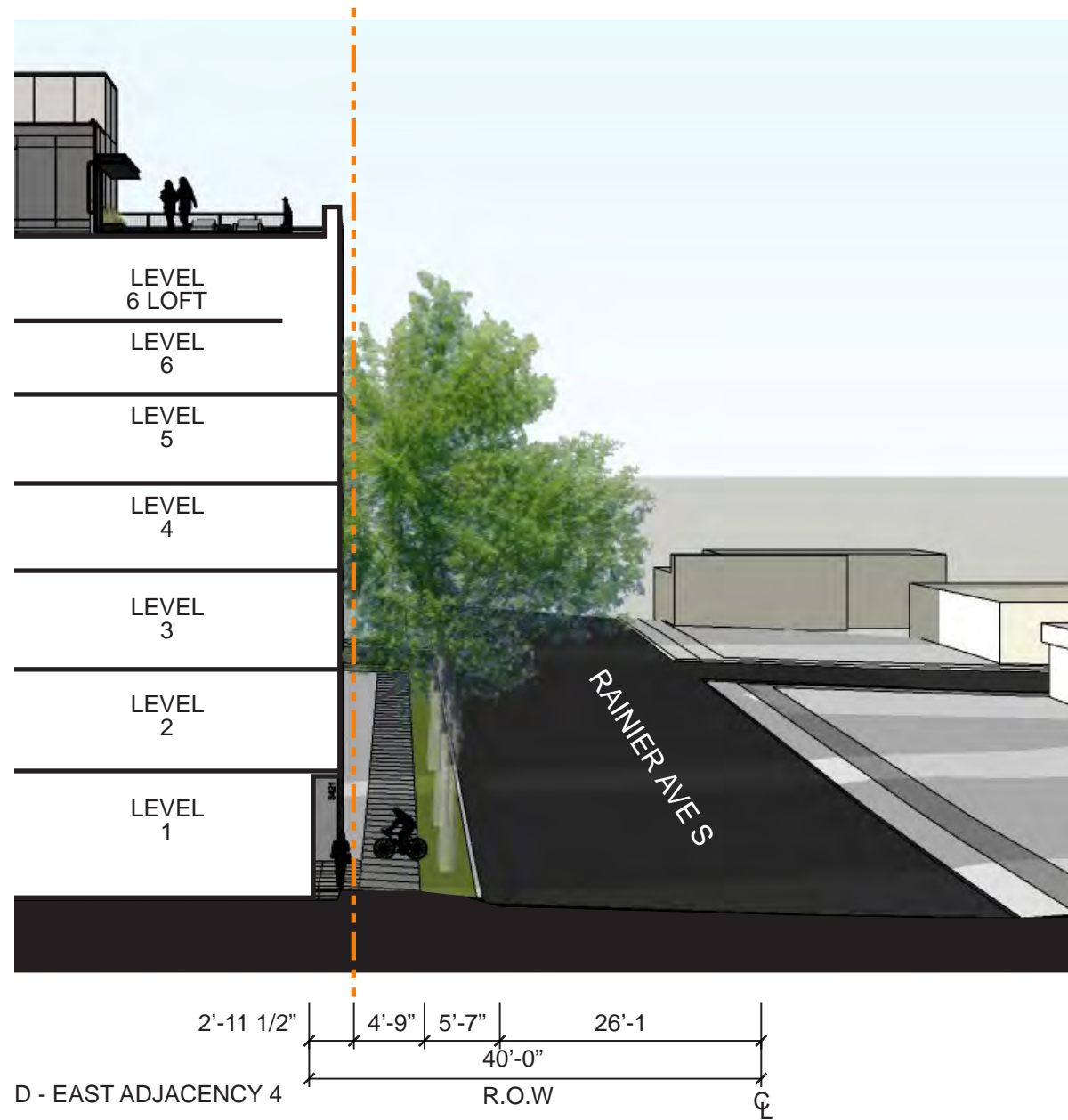
A - WEST ADJACENCY 1

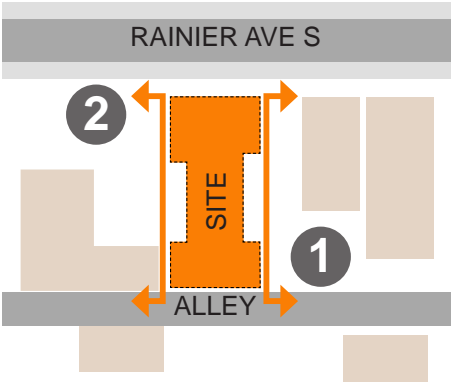


B - SOUTH ADJACENCY 2



C - SOUTH ADJACENCY 3

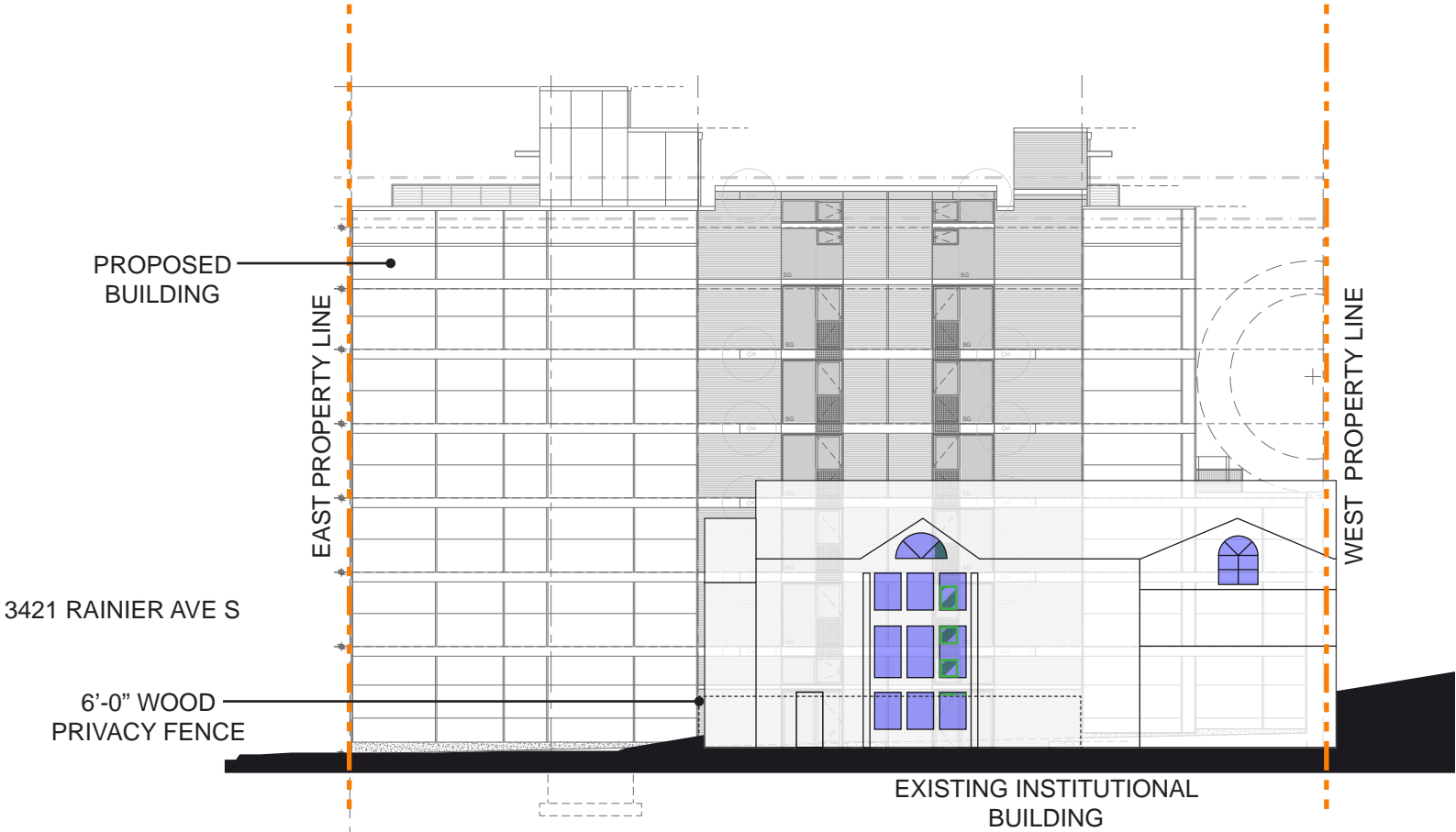




 WINDOW OVERLAP WITH  
NEIGHBORING BUILDING



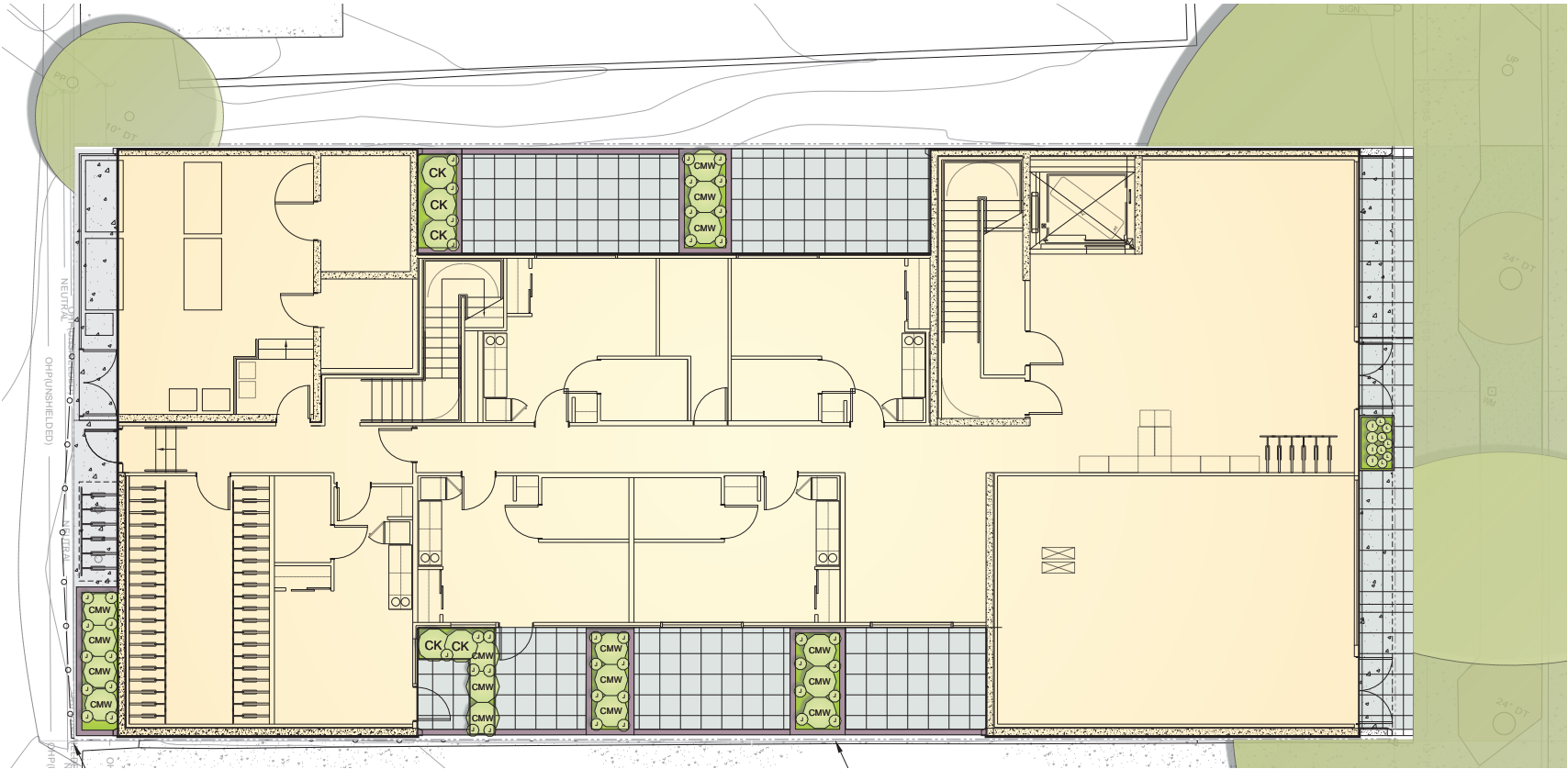
1 ADJACENT WINDOWS ON SOUTH PROPERTY LINE



2 ADJACENT WINDOWS ON NORTH PROPERTY LINE

**CONCLUSION |** The proposed site is adjacent to a single story commercial structure and a four story institutional structure. There is a proposed privacy fence on the north and south side of the proposed building, eliminating much of the potential overlapping views. On the north side of the building there is minimal overlap with much of the adjacent building being set back from the proposed building's property line due to a large parking lot. The back section of the adjacent building to the north, which is closest to the property line has just one window, with no overlap.

LANDSCAPE



LANDSCAPING - LEVEL 1

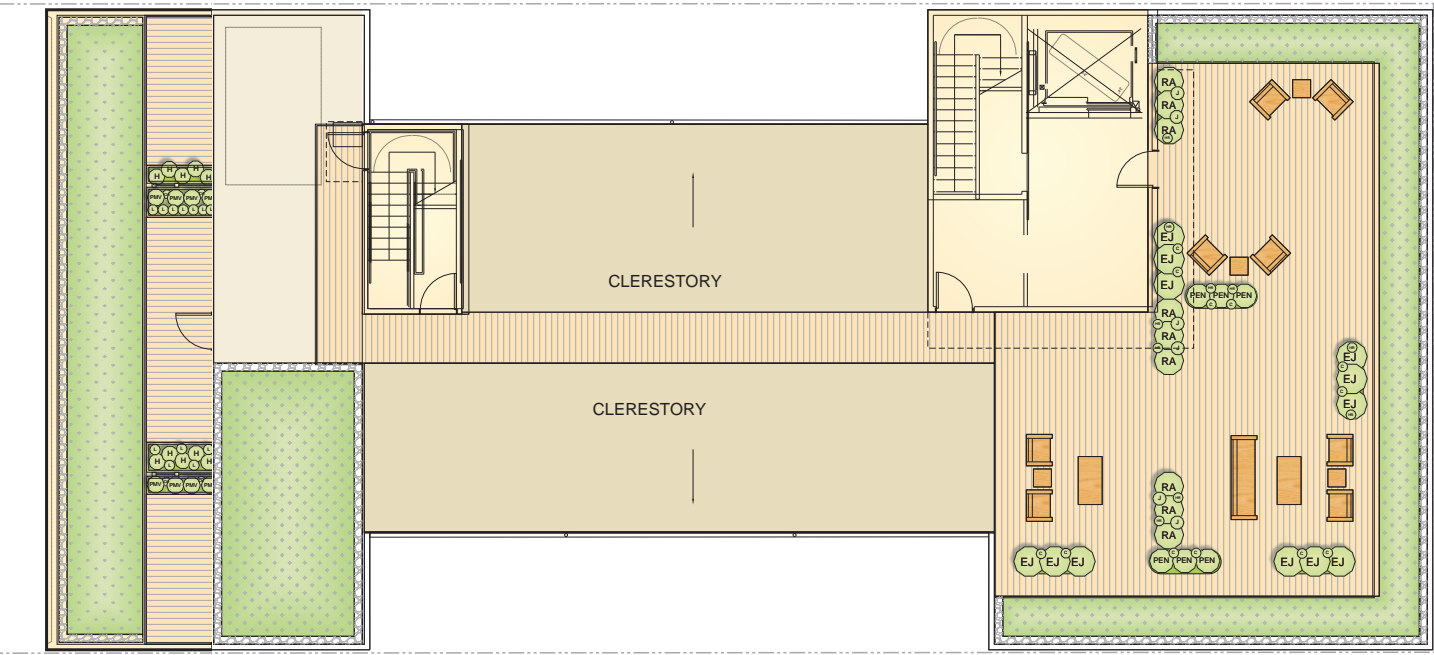


EXISTING OAK STREET TREES TO REMAIN



EXISTING SITE TREE TO REMAIN

Two existing, large Oak street trees are to remain on site, they will be pruned and maintained in coordination with SDOT. These large, established trees will provide shade and protection at the pedestrian realm while maintaining the natural aspects and character of the street. An adjacent tree at the back of the site is also to remain, providing some privacy and screening at the garbage area.



LANDSCAPING - LEVEL 2 - ROOF COMPOSITE

LANDSCAPE | PLANTS



MID WINTER FIRE REDTWIG DOGWOOD



DWARF REDTWIG DOGWOOD



MOONBEAM COREOPSIS



GREEN SPIRE EUONYMUS



BLUE OAT GRASS



DAY LILY HAPPY RETURNS



SILVERY SUNPROOF MONDO GRASS



DWARF FOUNTAIN GRASS



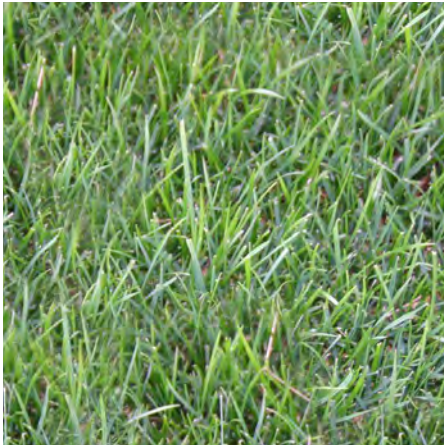
MT VERNON LAUREL



ARP ROSEMARY



WHITE FLOWERING CLEMATIS



PREMIUM RYE GRASS SOD



HONEY BELL HOSTA



SKY PENCIL JAPANESE HOLLY



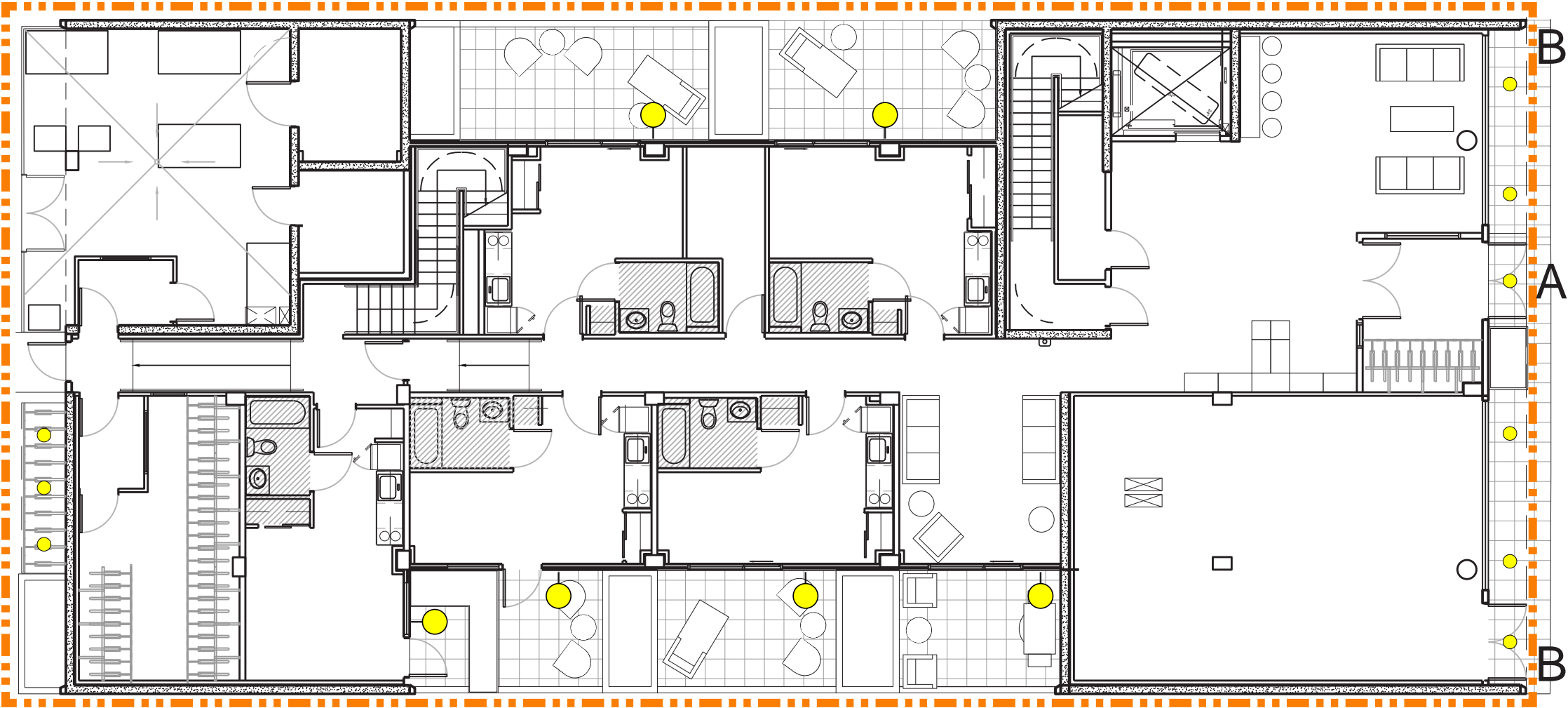
BLUE ARROWS RUSH



SEDUM GREEN ROOF TRAY SYSTEM

The plant palette is diverse with a variety of colors, textures, and patterns that will change throughout the seasons, but maintain a verdant greenscape year round. The plants are chosen with an emphasis on hardy, native plantings that once established will flourish and become a true amenity for both residents and the neighborhood.

LIGHTING



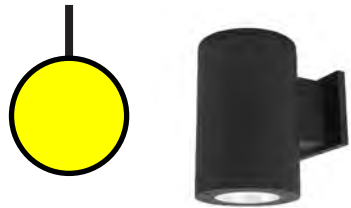
PROPOSED FIXTURES

LED WALL LIGHT | BLACK

MANUFACTURER:  
WAC LIGHTING

DIMENSIONS: 5" W X 3" H

LOCATION(S):  
DECK ENTRIES



DOWNLIGHT | BLACK

MANUFACTURER:  
KICHLER LIGHTING

DIMENSIONS: 8.0" W X 7.3" H

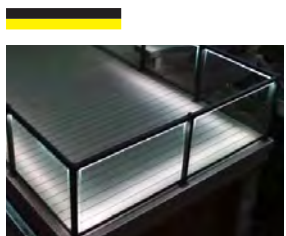
LOCATION: BUILDING ENTRIES/  
CANOPIES



DOWNLIGHT UNDER RAILING

MANUFACTURER:  
TBD / CUSTOM

LOCATION : ROOF DECK



PROPOSED SIGNS



**A**

ADDRESS SIGNAGE

MATERIAL: STEEL

DIMENSIONS: +/- 8" W X 8" H (EACH LETTER)

LOCATION: ABOVE MAIN ENTRY



**B**

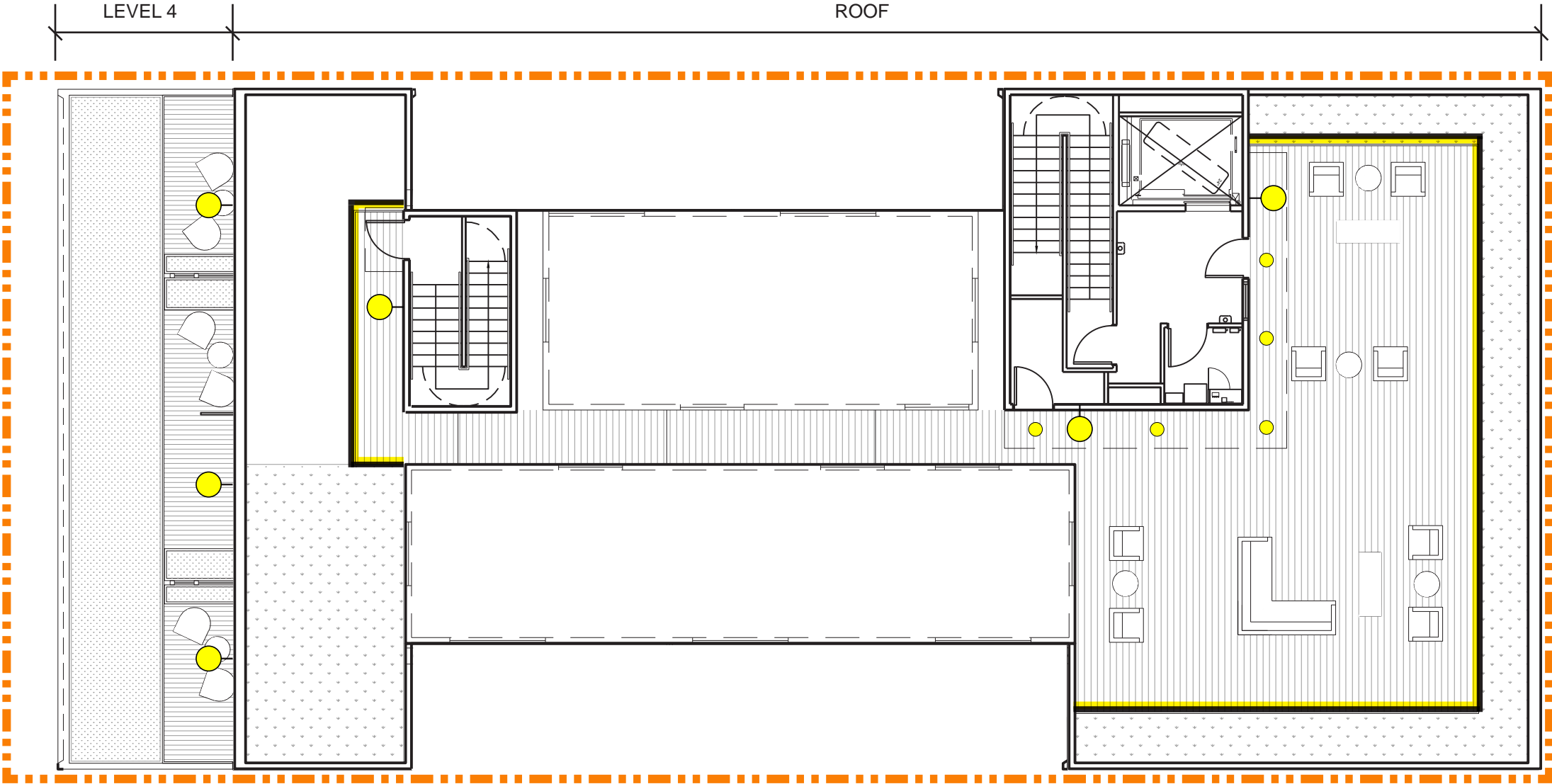
ADDRESS SIGNAGE

MATERIAL: STEEL

DIMENSIONS: +/- 8" W X 8" H (EACH LETTER)

LOCATION: AT NORTH FIN & SOUTH FIN

LIGHTING



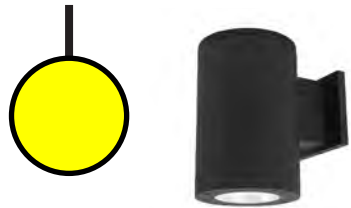
PROPOSED FIXTURES

LED WALL LIGHT | BLACK

MANUFACTURER:  
WAC LIGHTING

DIMENSIONS: 5" W X 3" H

LOCATION(S):  
DECK ENTRIES/ROOF DECK



DOWNLIGHT | BLACK

MANUFACTURER:  
KICHLER LIGHTING

DIMENSIONS: 8.0" W X 7.3" H

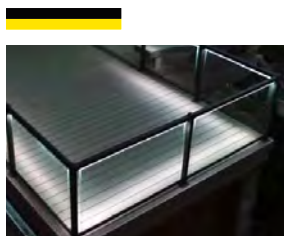
LOCATION: BUILDING ENTRIES/  
CANOPIES



DOWNLIGHT UNDER RAILING

MANUFACTURER:  
TBD / CUSTOM

LOCATION : ROOF DECK



REQUESTED DEPARTURE | REAR LOT LINE SETBACKS - WEST

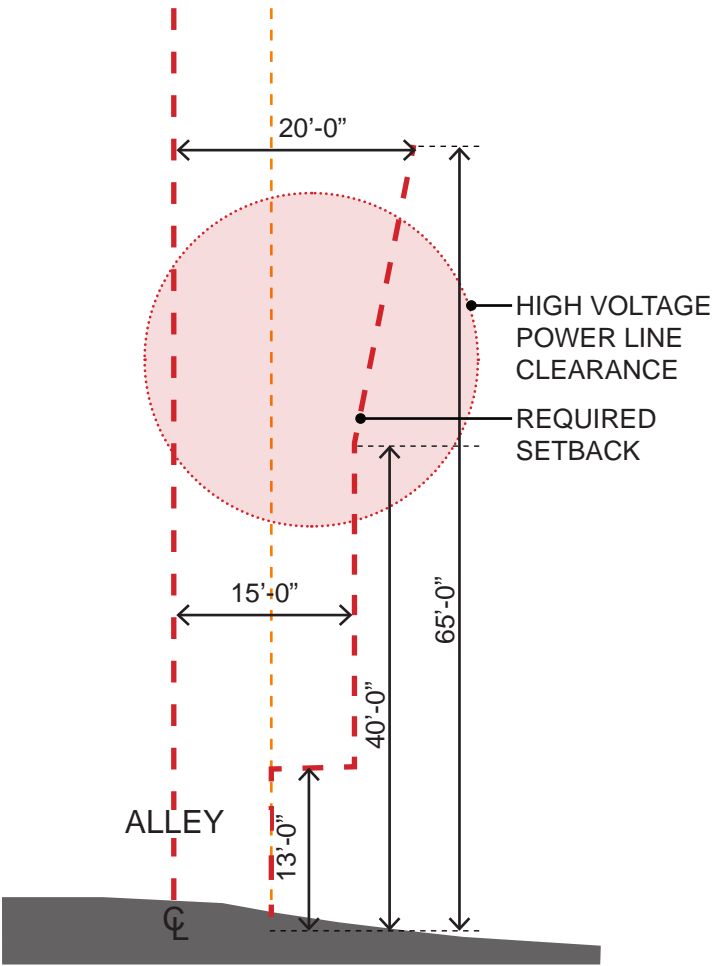
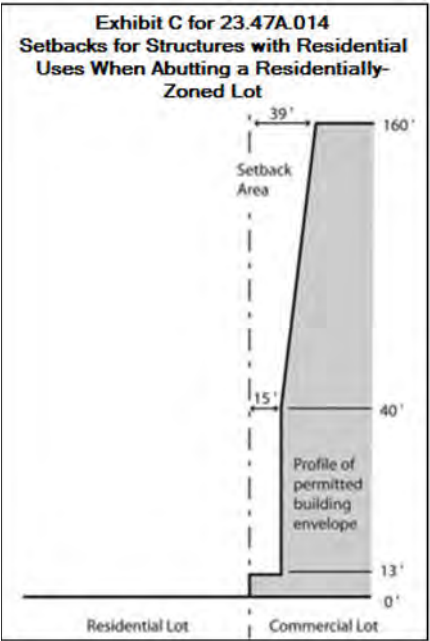
DEPARTURE #1 SMC 23.47A.014

REQUIREMENT | For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone: Fifteen feet (from centerline of the alley) for portions of structures above 13 feet in height to a maximum height of 40 feet. Above 40 feet, additional setback at the rate of 2 feet for every 10 feet by which the height of such portion exceeds 40 feet.

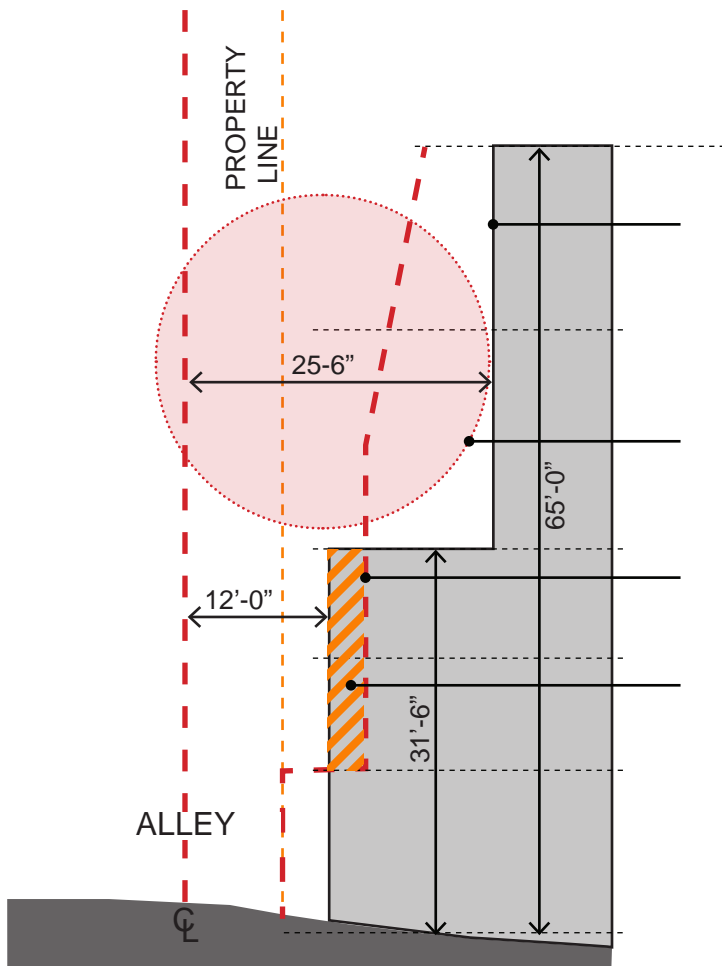
REQUEST | Adjacent to the alley, at the west property line, the code requires no setback below thirteen feet in height, and a fifteen foot setback (from centerline of the alley) above thirteen feet. Proposal is for a 12 foot setback (from centerline of the alley) for the first 31'-6" and then a 25'-6" setback up to the max height of 65'-0".

JUSTIFICATION | This departure would provide an overall design that would better meet the intent of the design guidelines. As the building façade is relatively small, and due to required setbacks from high voltage power lines, additional setbacks/stepping clutters the massing. Additionally, the 31'-6" setback responds to the height limit of the adjacent LR-3 zoning.

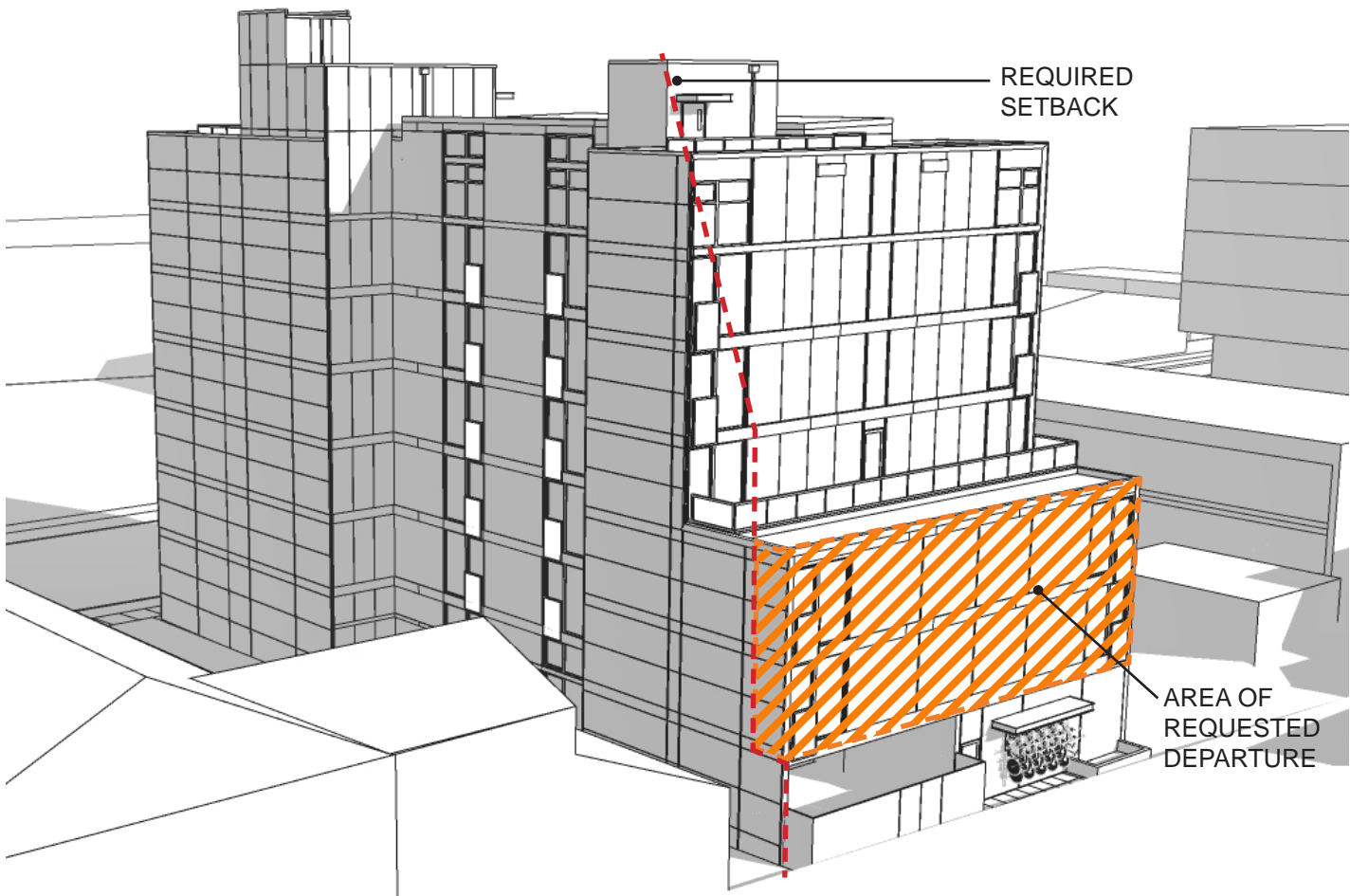
APPLICABLE DESIGN GUIDELINES |  
- CS2.D4 - Massing choices      - CS2.D5 - Respect for Adjacent Sites      - DC2.A1 - Site characteristics and uses



REQUIRED SETBACK DIAGRAM



PROPOSED

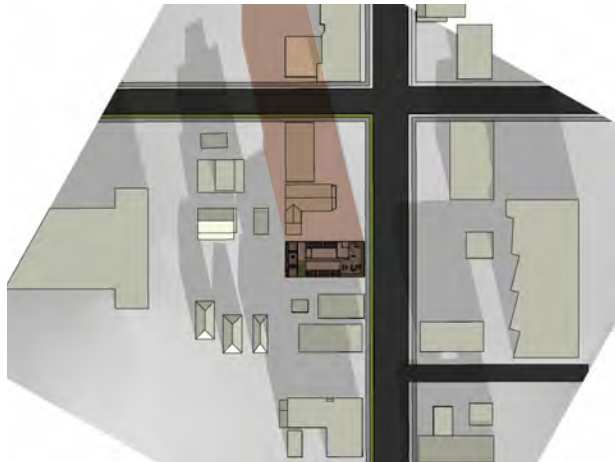


PROPOSED

SHADOW ANALYSIS

The proposed building is oriented in the east / west direction with a courtyard that sets the primary structure back 10’ along the majority of the north property line. This substantially reduces the shadow impact to the adjacent church and parking lot on the north property, when compared to the maximum permitted building envelope, which would allow development up to the property line with no setback along the entire north property line.

WINTER SOLSTICE



WINTER SOLSTICE | 9AM



WINTER SOLSTICE | 12PM



WINTER SOLSTICE | 3PM

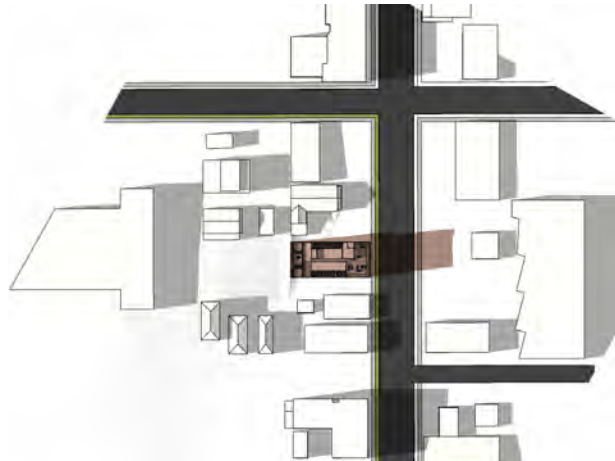
FALL/SPRING EQUINOX



FALL/SPRING EQUINOX | 9AM

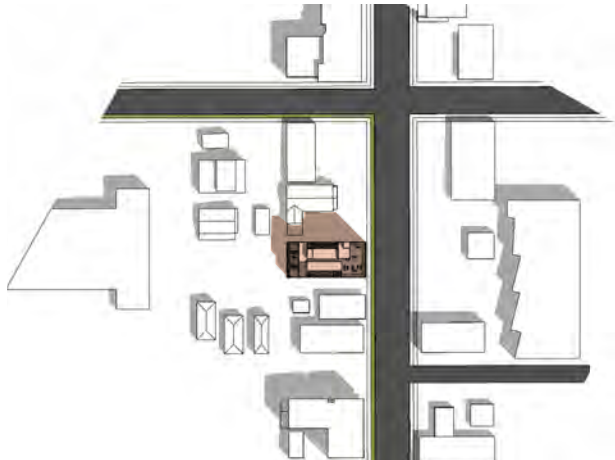


FALL/SPRING EQUINOX | 12PM

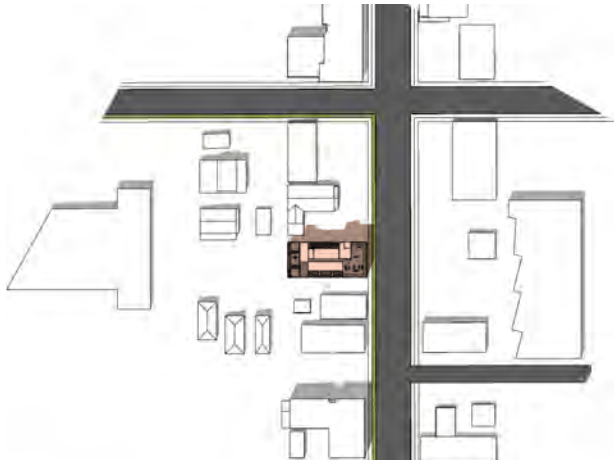


FALL/SPRING EQUINOX | 3PM

SUMMER SOLSTICE



SUMMER SOLSTICE | 9AM



SUMMER SOLSTICE | 12PM



SUMMER SOLSTICE | 3PM

APPLICANT WORK SAMPLES

SKIDMORE JANETTE APD



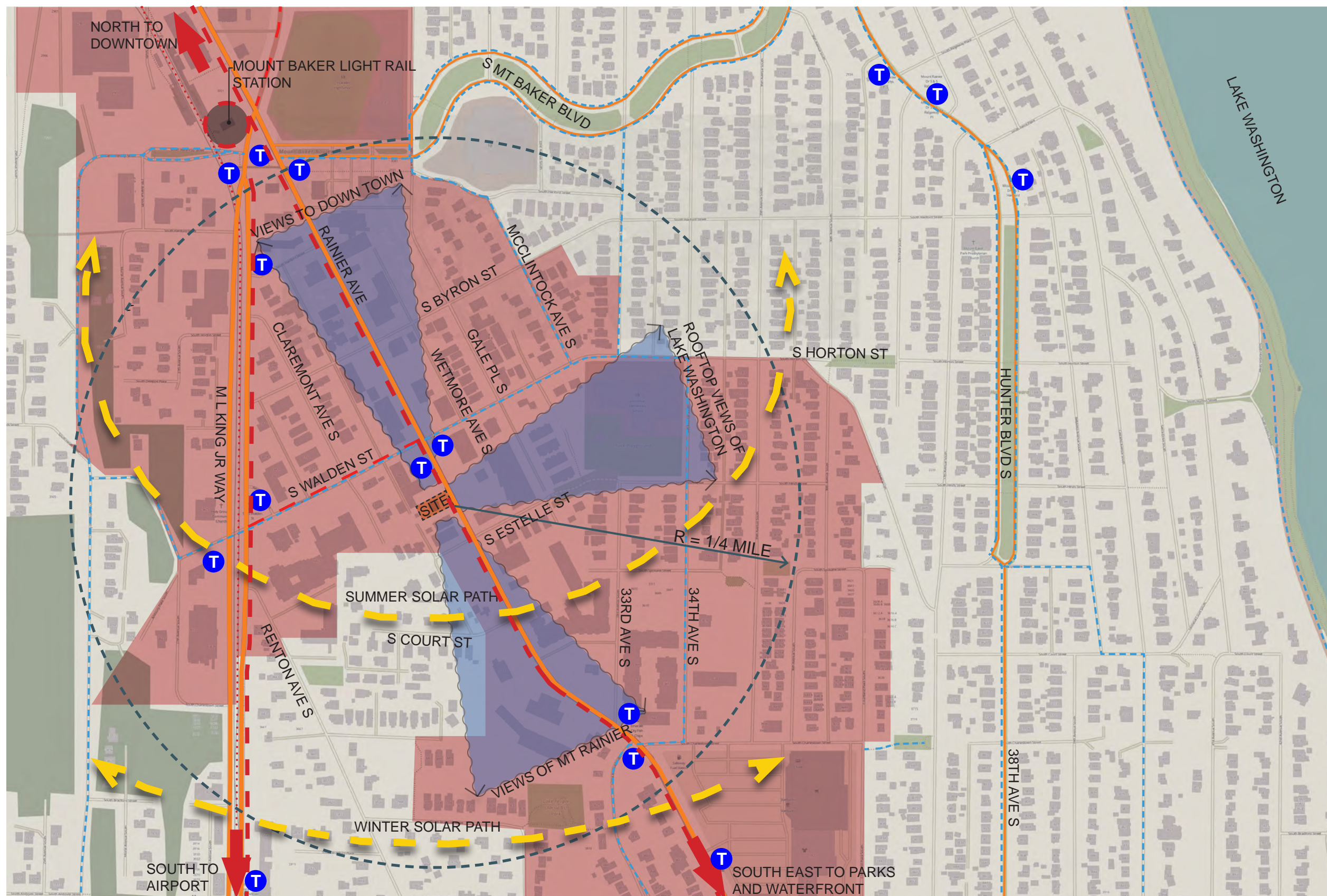
## APPENDIX

## KEY

- TRANSPORTATION |

The site is well served by transit, with bus routes along Rainier Ave S, and nearby M L King Jr Way. The Mount Baker light rail, with service to the airport, downtown Seattle, and the University District is less than 1/2 mile to the north of the site.

Additionally the site is located within the North Rainier Urban village. Per SMC 23.54.015, no parking is required for residential uses or commercial spaces under 1,500 SF. As such, no parking is required or proposed for the project.



NEIGHBORHOOD AMENITIES & OPEN SPACE



1 ESTELLE SUPPORTIVE HOUSING (UNDER CONSTRUCTION)



2 PEA PATCH



3 JOHN MUIR ELEMENTARY & YORK PLAYGROUND



4 FRANKLIN HIGH SCHOOL



5 FRANKLIN HIGH SPORTS FIELD



6 WELLS FARGO



7 MOUNT BAKER LIGHT RAIL STATION



8 SAFEWAY GROCERY STORE

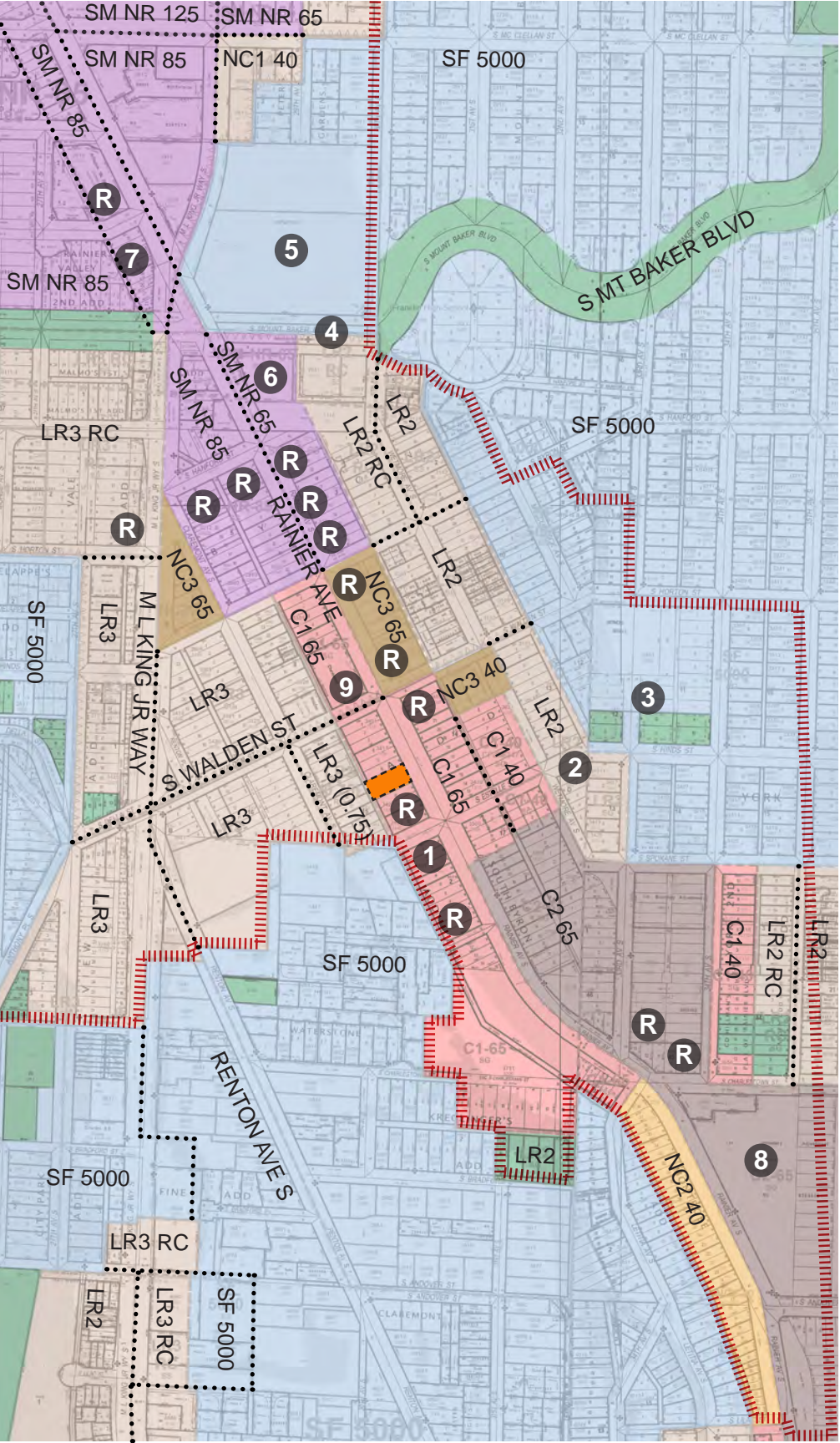


9 FIRED ARTS. DROP IN GLASS & POTTERY STUDIO

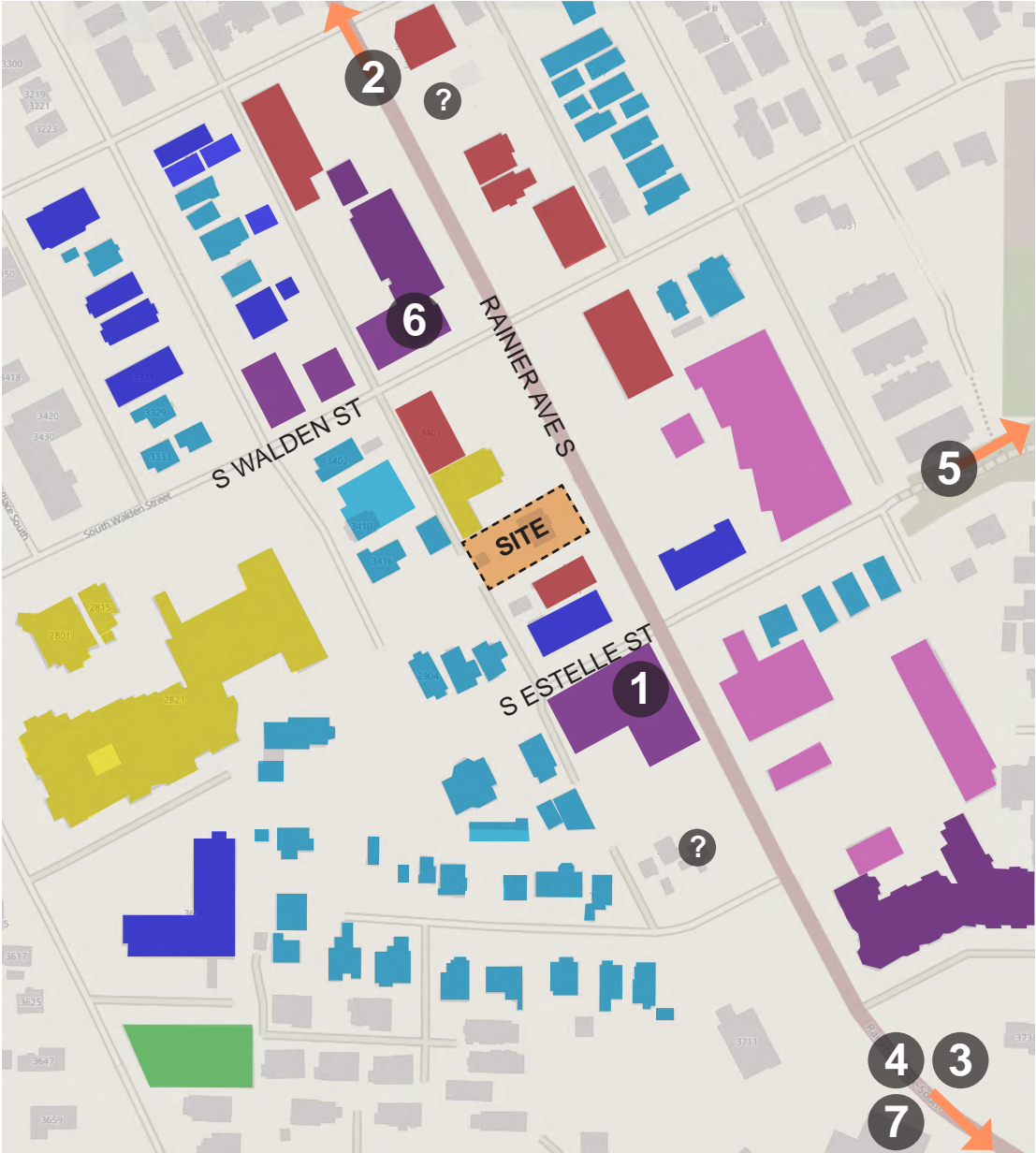
**KEY**

- SF-5000
- LR ZONES
- C1
- C2
- NC2
- NC3
- SITE
- OPEN SPACE
- R RESTAURANT
- NORTH RAINIER URBAN VILLAGE
- BOUNDARIES BETWEEN ZONING

ZONING MAP



ADJACENT USES - PLAN



**KEY**

MIXED USE	PARK / OPEN SPACE	PARKING
MULTI - FAMILY	INSTITUTIONAL	INDUSTRIAL
COMMERCIAL	SINGLE FAMILY	TEMPORARY STRUCTURE, NO ESTABLISHED USE
PHOTOGRAPHED NEIGHBORHOOD ARCHITECTURE (SEE PG 7)		

ADJACENT USES - AERIAL



EXISTING NEIGHBORHOOD ARCHITECTURE



- 1
- CLEAR MASSING VOLUMES DEFINED BY MATERIAL
  - STREET LEVEL TRANSPARENCY
  - MODERN MATERIALS



- 2
- "FIN & GASKET" EXPRESSION
  - CLEAR MASSING VOLUMES DEFINED BY MATERIAL
  - MODERN MATERIALS



- 3
- COLLECTED FENESTRATION
  - CLEAR MASSING VOLUMES DEFINED BY MATERIAL / COLOR
  - MODERN MATERIALS



- 4
- COLLECTED FENESTRATION
  - STREET LEVEL TRANSPARENCY



- 5
- "FIN & GASKET" EXPRESSION
  - COLLECTED FENESTRATION
  - MODERN & NATURAL MATERIALS



- 5
- "FIN & GASKET" EXPRESSION
  - CLEAR MASSING VOLUMES DEFINED BY MATERIAL
  - MODERN & NATURAL MATERIALS

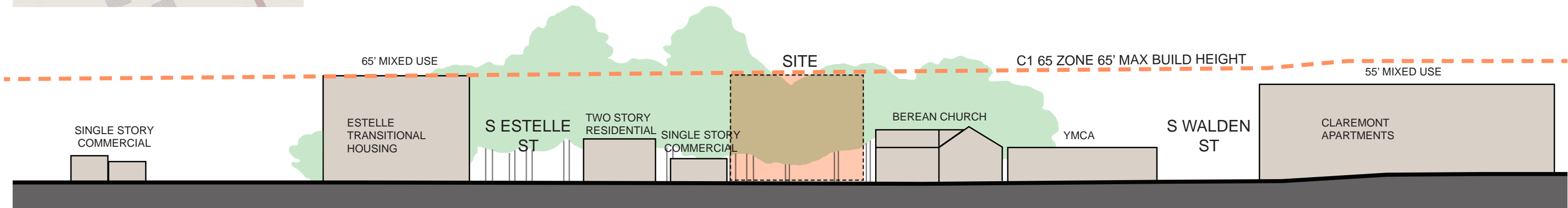
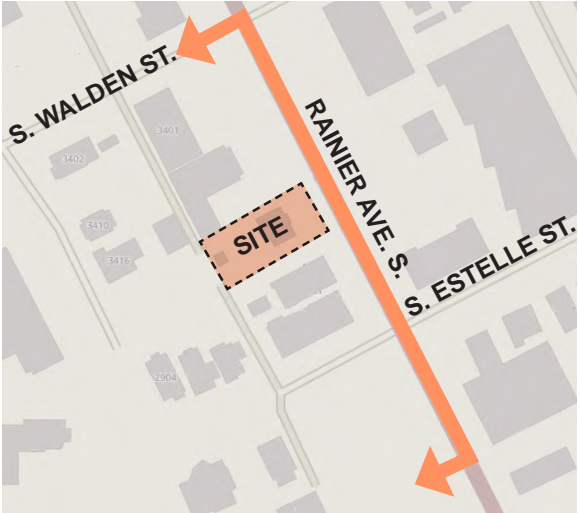


- 6
- OVERHEAD WEATHER PROTECTION



- 7
- OVERHEAD WEATHER PROTECTION
  - STREET-LEVEL TRANSPARENCY

SITE SECTION



SITE PHOTOS



SITE - AERIAL VIEW



1 SITE FROM ACROSS RAINIER AVE



2 VIEW OF SITE LOOKING SOUTH ACROSS RAINIER AVE



3 VIEW OF SITE FROM NORTH



4 LOOKING ACROSS RAINIER FROM SITE



5 SITE EDGE TO THE SOUTH

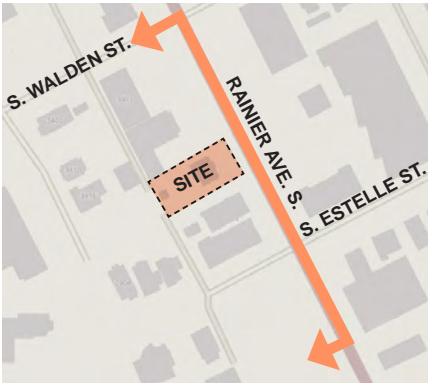


6 LOOKING NORTH ALONG ALLEY



7 SITE EDGE TO THE SOUTH

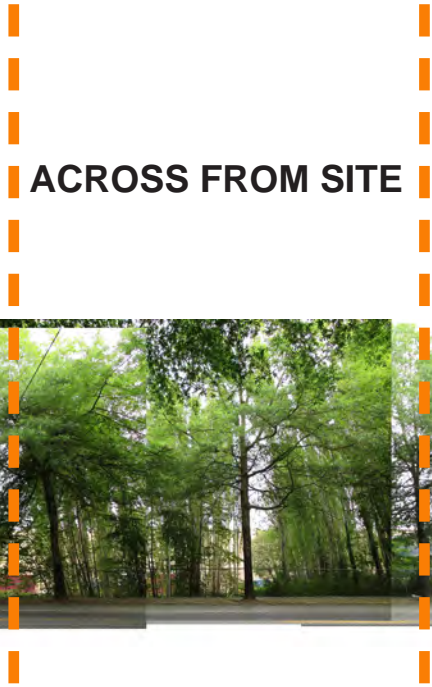
STREETSCAPES



RAINIER AVE. S.  
WEST COMPOSITE



RAINIER AVE. S.  
EAST COMPOSITE



# EXISTING SITE CONDITIONS

## KEY

- PROPERTY LINE
- TOPOGRAPHY CONTOURS
- POWER LINES
- MULTI-FAMILY
- COMMERCIAL
- INSTITUTIONAL
- SINGLE FAMILY
- EXISTING TREES

**SIZE |**  
6,477 SF, 54'-0" X 119'-10"

**RIGHT OF WAYS / STREETS |**  
Site has 54'-0" of frontage along Rainier Ave. S. to the east. The site also has 54'-0" of frontage along a gravel alley to the west.

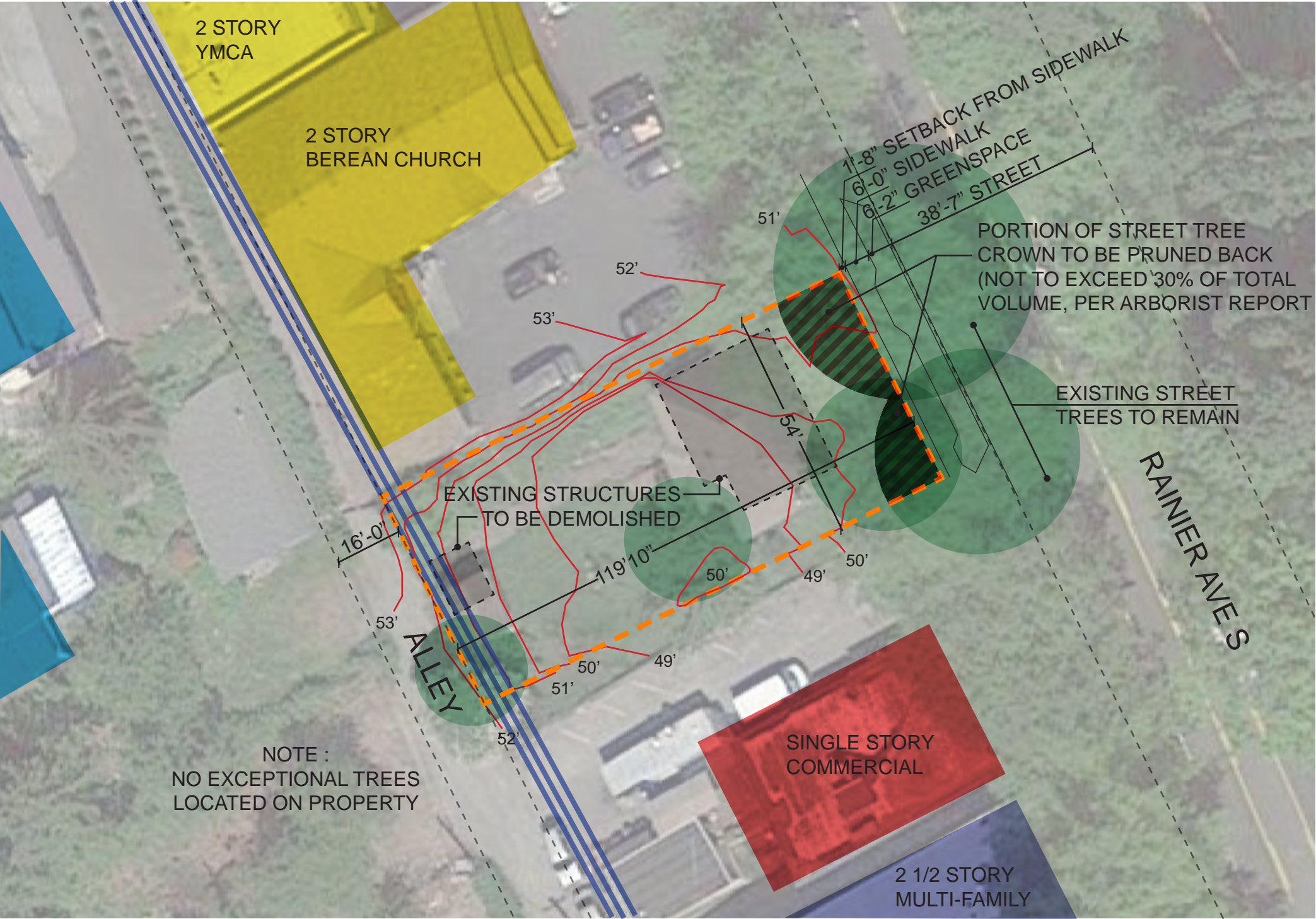
**TOPOGRAPHY |**  
Primarily, the site is relatively level, particularly along Rainier Ave S. There is a modest rise (of about 4 feet) in the northwest corner of the site.

**ADJACENT BUILDINGS / USES |**  
The site shares a side lot line with the Berean Church and it's surface parking lot to the north. Adjacent to the south is a single story restaurant. To the east of the site is another multi-family apartment and a strip of tall trees which obscure buildings behind them. As a whole, the neighborhood is diverse, with everything from single story commercial buildings to gradually taller multi-family apartments further north and south along Rainier Ave. Having Borean Church and YMCA to the north of the site guarantees foot traffic along Rainier Ave. S.

**POWER LINES |**  
There are power lines that run through the alley to the west of the site. The power lines are within the bounds of the site's property, so required clearances will impact the overall massing of the proposed structure.

**VIEWS |**  
The adjacent neighborhood has a mix of building heights, ranging from single story to mid-rises. Many of the regional views (downtown Seattle to the north, Mt. Rainier to the south) will be in view above 2 stories.

**TREES |**  
An arborist report has been completed, and there are no exceptional trees located on the subject property or adjacent private properties. There are two large street trees (*species - red oak*) in the adjacent Rainier Ave S right-of-way that will be preserved and require protection. Per the arborist report, the trees do "not appear to have been pruned in many years and would benefit from having the crowns cleaned out. In addition, developing the lot would require some reduction of the crown spread / raising of the crown on the west sides. Provided the total branch area reduction is no more than 30% of the total area, the pruning would be acceptable and not harm these trees".



**LEGAL DESCRIPTION |**  
LOT 7 EXCEPT THE NORTH 6 FEET THEREOF AND ALL OF LOT 8, BLOCK 15, BYRON ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 6 OF PLATS, PAGE(S) 87, IN KING COUNTY, WASHINGTON;

APN #1282301410

February 12, 2018

Jay Janette  
Skidmore Janette  
5405 Leary Ave. NW Suite 2  
Seattle, WA  
98107

RE: Tree Inventory - 3421 Rainier Ave. S

Jay:

This report is provided to report on the recent tree inventory I conducted on the property at the address of 3421 Rainier Ave. S. in the City of Seattle, WA. The trees have not yet been surveyed so there is no map to accompany this report.

1.0 Site Conditions and Tree Inventory

I conducted visual evaluations of all the trees according to ISA standards and based upon many years conducting such evaluations on trees in the Pacific Northwest. I observed trees up close to inspect conditions of the trunk and from afar to inspect conditions in the crowns. All assessments were conducted according to the methods specified in the ISA Tree Risk Assessment Manual (Dunster, Julian A., E. Thomas Smiley, Nelda Matheny, and Sharon Lily. 2013. Tree Risk Assessment Manual. Champaign, Illinois: International Society of Arboriculture) and on nearly 20 years experience conducting such evaluations.

The investigations involved the gathering of the following information:

- Tree species
- Trunk diameter
- Crown spread diameter
- Location factors
- Health and condition notes (general level of vigor, defects, disease or pest problems)

The City of Seattle’s regulations of trees are provided in DPD Director’s Rule 16-2008.

The property is developed with a single family residence in a neighborhood of properties developed with single and multi-family residences, retail, dining other business uses. There is a total of five trees on the lot and two just off-site to the east within the public right-of-way. Following is information on all of the trees:

# & Species	Dsh	Spread	Condition and Status
1. Saucer magnolia (Magnolia x. soulangeana)	10.5"	32'	Good condition and health. Not exceptional.
# & Species	Dsh	Spread	Condition and Status
2. Apple (Malus domestica)	16"	28'	Good condition and health. Not exceptional.
3. Apple	6"	14'	Good condition and health. Not exceptional.
4. Apple	13"	24'	Good condition and health. Not exceptional.
5. Apple	14"	24'	Good condition and health. Not exceptional.
6. Red oak (Quercus rubra)	24"	64'	Off-site, within ROW. Good condition and health. Required to be retained and protected.
7. Red oak	24"	66'	Off-site, within ROW. Good condition and health. Required to be retained and protected.

None of the trees on the property meet the threshold diameter to be classified as exceptional. There aren’t any trees just off-site on private property that meet the threshold diameter to be classified as exceptional. Therefore, no tree retention or protection is required for trees on the properties and no protection is required for off-site trees.


The two street trees within the planting strip along the frontage of the property will need to be retained and protected through development. These trees appear to not have been pruned in many years and would benefit from having their crowns cleaned out. In addition, developing the lot will likely require some reduction of the crown spread/raising of the crown on the west sides. Provided the total branch area reduction is no more than 30% of the total area, the pruning will be acceptable and will not harm these trees.

2.0 Use of This Report

This report is provided to Skidmore Janette as a means of addressing the existing trees on the lot at the address of 3421 Rainier Ave. S. in the City of Seattle. Trees are dynamic and are affected by environmental changes and impacts. Therefore, this report is not a guarantee that the trees’ health and longevity will not be affected by the proposed impacts. As trees can be damaged by severe weather, Tony Shoffner and Shoffner Consulting cannot be held liable for damage caused by the failure of one of these trees or their parts.

Please call if you have any additional questions.

Cordially,

  
Tony Shoffner  
ISA Certified Arborist #PN-0909A  
CTRA #1759



MAX ZONING ENVELOPE | SHADOW ANALYSIS

WINTER SOLSTICE



MAX ZONING | WINTER SOLSTICE  
9 AM



MAX ZONING | WINTER SOLSTICE  
12 PM

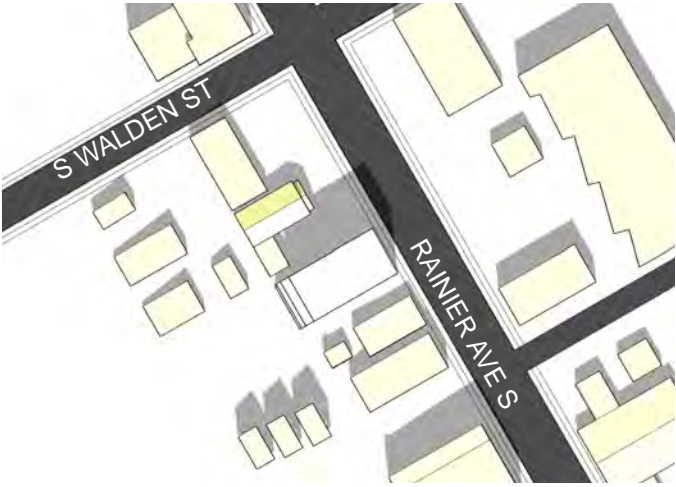


MAX ZONING | WINTER SOLSTICE  
3 PM

FALL/SPRING EQUINOX



MAX ZONING | SPRING/FALL EQUINOX  
9 AM



MAX ZONING | SPRING/FALL EQUINOX  
12 PM



MAX ZONING | SPRING/FALL EQUINOX  
3 PM

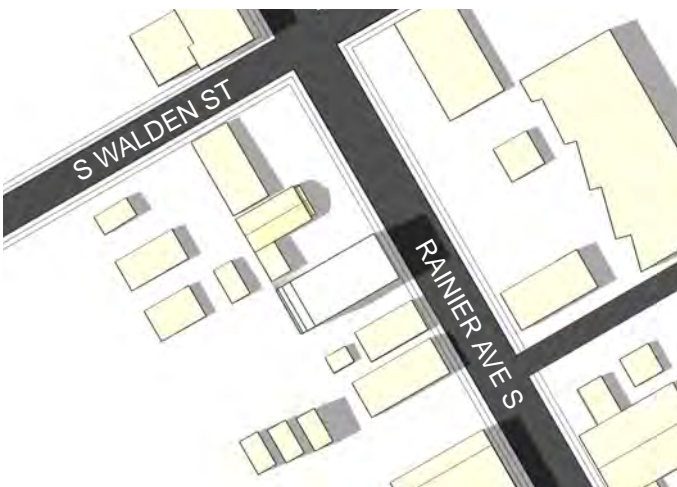
SUMMER SOLSTICE



MAX ZONING | SUMMER SOLSTICE  
9 AM



MAX ZONING | SUMMER SOLSTICE  
12 PM

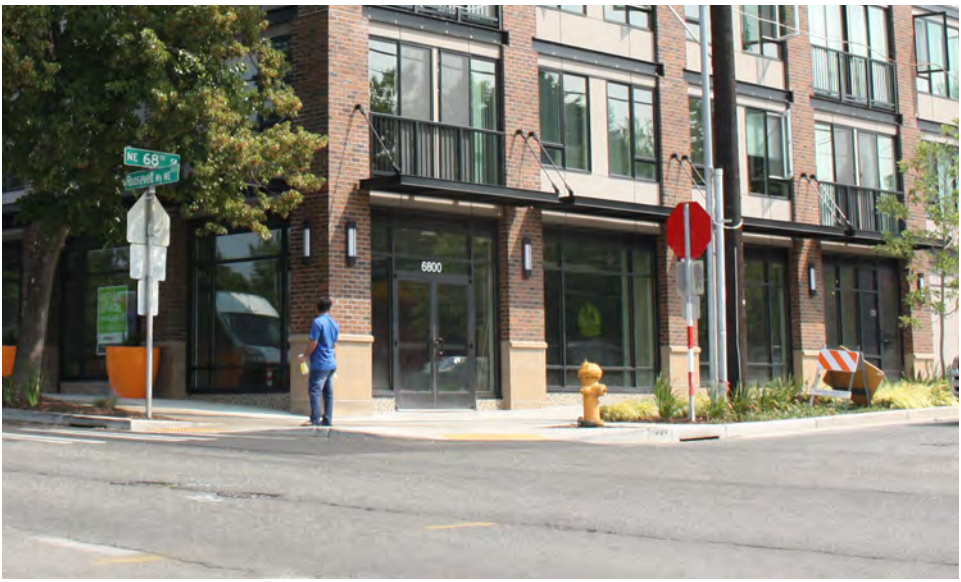


MAX ZONING | SUMMER SOLSTICE  
3 PM

PRIORITY DESIGN GUIDELINES - CONTEXT & SITE



**CS2.A2 | ARCHITECTURAL PRESENCE**  
Evaluate the degree of visibility or architectural presence that is appropriate or desired given the context, and design accordingly. A site may lend itself to a “high-profile” design with significant presence and individual identity, or may be better suited to a simpler but quality design that contributes to the block as a whole. Buildings that contribute to a strong street edge, especially at the first three floors, are particularly important to the creation of a quality public realm that invites social interaction and economic activity. Encourage all building facades to incorporate design detail, articulation and quality materials.



**CS2.B2 | CONNECTION TO THE STREET**  
Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm. Consider the qualities and character of the streetscape - it's physical features (sidewalk, parking, landscape strip, street trees, travel lanes, and other amenities, and its function (major retail street or quieter residential street) - in siting and designing the building.



**CS2.D5 | RESPECT FOR ADJACENT SITES**  
Respect adjacent properties with design and site planning to minimize disrupting the privacy and outdoor activities of residents in adjacent buildings.

The rest of the block is currently underdeveloped, though new projects on the blocks immediately north and south have been recently completed. Establishing a simple, quality design that is appropriate for the neighborhood will be important, as this project will likely serve to inform future development in the immediate vicinity. Engaging the sidewalk and pedestrian realm is an important aspect of all three proposed designs, and will be a critical precedent for future development.

The proposed building’s connection to Rainier Ave S will be important to both the design and function of the project. Establishing a high transparency ground floor with a clearly indicated residential entry will allow the building to engage the neighborhood.

The project site abuts a gravel alley to the west, with residential zoning and uses directly across the alley. Setting back the upper levels of the building will provide additional privacy, while also minimizing the structure’s impact on the light and air of the adjacent residences. By locating the main entrance along Rainier Ave S, all the design options “face” the busy street, further preserving the residential nature of the adjacent properties to the west.

PRIORITY DESIGN GUIDELINES - PUBLIC LIFE



PL1.A2 | ADDING TO PUBLIC LIFE

Seek opportunities to foster human interaction through an increase in the size and/or quality of project-related open space available for public life. Consider features such as widened sidewalks, recessed entries, curb bulbs, courtyards, plazas, or through-block connections, along with place-making elements such as trees, landscape, art, or other amenities, in addition to the pedestrian amenities listed in PL1.B3.

In the preferred option semi-public entry plazas along the north and south property lines provide additional open space at the ground floor, adjacent to the public sidewalk. Existing mature street trees and planting strip add to a pleasant pedestrian experience.



PL3.A | ENTRIES

Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street. Scale and detail them to function well for their anticipated use and also to fit with the building of which they are a part, differentiating residential and commercial entries with design features and amenities specific to each.

Common entries to multi-story residential buildings need to provide privacy and security for residents but also be welcoming and identifiable to visitors. Design features emphasizing the entry as a semi-private space are recommended and may be accomplished through signage, low walls and/or landscaping, a recessed entry area, and other detailing that signals a break from the public sidewalk.

All of the proposed designs include a prominent residential entry along Rainier Ave S. The residential entry will have visual cues, including signage and overhead weather protection, to make it identifiable. The preferred option also includes a commercial entry, as well as semi-public access to the live / work units on the north and south facades.



PL2.B | SAFETY AND SECURITY

Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies and street-level uses.

Ensure transparency of street-level uses (for uses such as nonresidential uses or residential lobbies), where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways. Choose semi-transparent rather than opaque screening.

The proposed designs all feature high transparency at street level uses, both commercial and residential lobby areas, in order to improve the visual reciprocity between users / residents and the neighborhood. In the preferred option, the semi-public entry plazas for the live / work units will be delineated by a fence gate, but visual transparency will be maintained between the plazas and sidewalk.

PRIORITY DESIGN GUIDELINES - DESIGN CONCEPT



DC2.A | MASSING

Arrange the mass of the building taking into consideration the characteristics of the site and the proposed uses of the building and its open space. In addition, special situations such as very large sites, unusually shaped sites, or sites with varied topography may require particular attention to where and how building massing is arranged as they can accentuate mass and height.

Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies, bay windows, porches, canopies or other elements; and/or highlighting building entries.

The narrow site, powerlines adjacent to the rear alley, and access to light and air for all units are critical factors in determining the project's massing. A strong street presence along Rainier Ave S is a consistent element among all three options. The preferred option utilizes side setbacks to grant additional access to light and air for the units, as well as ground level amenity space that is accessible from the sidewalk. Bays and other secondary architectural elements provide visual interest and break up the massing of the street facing facade.



DC2.C | SECONDARY ARCHITECTURAL FEATURES

Add depth to facades where appropriate by incorporating balconies, canopies, awnings, decks, or other secondary elements into the facade design. Add detailing at the street level in order to create interest for the pedestrian and encourage active street life and window shopping (in retail areas). Detailing may include features such as distinctive door and window hardware, projecting window sills, ornamental tile or metal, and other high-quality surface materials and finishes.

Use design elements to achieve a successful fit between a building and its neighbors, such as:

- a. considering aspects of neighboring buildings through architectural style, roof line, datum line detailing, fenestration, color or materials,
- b. using trees and landscaping to enhance the building design and fit with the surrounding context, and/or
- c. creating a well-proportioned base, middle and top to the building in locations where this might be appropriate. Consider how surrounding buildings have addressed base, middle, and top, and whether those solutions—or similar ones—might be a good fit for the project and its context.

As the suggested design options develop beyond large massing moves, further articulation of the building will occur through material distribution, fenestration patterns, and other architectural elements such as Juliette railings and balconies to provide shade, shadow and relief on the building's facades. In the selection of these secondary elements, the project will look for context in the surrounding neighborhood.



DC3.B | OPEN SPACE USES AND ACTIVITIES

Plan the size, uses, activities, and features of each open space to meet the needs of expected users, ensuring each space has a purpose and function.

Design common and private open spaces in multifamily projects for use by all residents to encourage physical activity and social interaction. Some examples include areas for gardening, children's play (covered and uncovered), barbeques, resident meetings, and crafts or hobbies.

Open space for the all three options occurs at both the roof and ground level, in varying configurations. Amenity spaces will be designed with landscaping, seating, and space for gatherings. Care will be taken to design and locate the open space where it has access to light and views, where possible.

ZONING & LAND USE SUMMARY C1-65| COMMERCIAL ZONING (SMC 23.47A) WITHIN MT. BAKER (HUB URBAN VILLAGE)

23.47A.004 | PERMITTED USES

Residential use (apartments) are permitted outright, per table A 23.47A.004.

23.47A.005 | STREET-LEVEL USES

No limitation on residential uses at street level per SMC 23.47A.005.C - not in a pedestrian-designated zone.

23.47A.008 | STREET-LEVEL DEVELOPMENT STANDARDS

The provisions of this subsection 23.47A.008.A apply to: Structures that contain a residential use in C zones. Blank segments of the street-facing facade between 2 and 8 feet above the sidewalk may not exceed 20 feet in width. The total of all blank facade segments may not exceed 40 percent of the width of the facade of the structure along the street Non-residential uses at street level requirements:

- 60 percent of the street-facing facade between 2 and 8 feet above the sidewalk shall be transparent.
- Non-residential-uses shall extend an average depth of at least 30 feet and minimum depth of 15 feet from the street-level, street-facing facade.
- Non-residential uses at street level shall have a floor to floor height of at least 13 feet.

Where residential uses are located along a street-level street-facing facade, the following requirements apply:

- At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry
- The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4 feet above or below sidewalk grade or set back at least 10 feet from the sidewalk.

23.47A.012 | STRUCTURE HEIGHT

The height limit for structures in C1-65 is 65 feet.

Applicable height exceptions are:

- Open railings, planters, clerestories, greenhouses, solariums, parapets, and firewalls may extend up to 4 feet above the otherwise applicable height limit.
- The following rooftop features may extend up to 15 feet above the applicable height limit, as long as the combined total coverage of all features does not exceed 20 percent (25 percent if the total includes stair or elevator penthouses)

Solar collectors  
mechanical equipment,  
stair and elevator penthouses (may extend up to 16 feet above the applicable height limit)

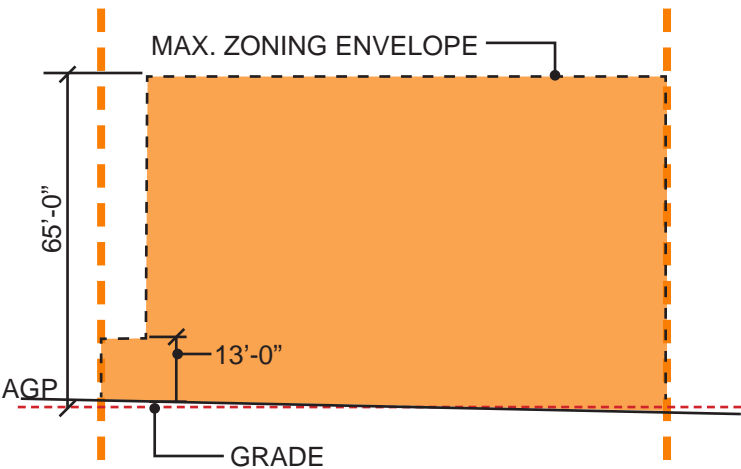
- Solar collectors, planters, clerestories & non-firewall parapets shall be located at least 10 feet from the north lot line unless a shadow diagram is provided that demonstrates that locating such features within 10 feet of the north lot line would not shade property to the north on January 21st at noon more than would a structure built to the maximum permitted height & FAR.

23.47A.013 | FAR LIMITS

The maximum FAR in a C1 zone with a 65 foot height limit for a single (residential or non-residential use is **4.25**, per table A 23.47A.013, item 1. The maximum FAR for a structure with both residential and non-residential uses is **4.75**, as long as neither use exceeds 4.25, per table A 23.47A.013, item 3.

Applicable FAR exemptions are:

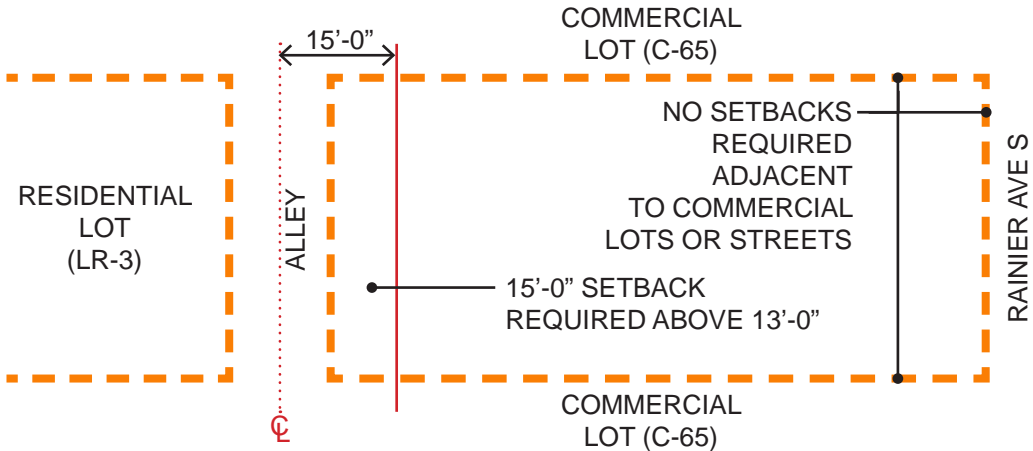
- All underground stories
- Portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access.



23.47A.014 | SETBACKS & SEPARATIONS

Setbacks for lots abutting or across an alley from residential zones, if containing a residential use

Front (street-facing) : **none required** Side, interior lot line (abutting commercial zone) : **none required**  
Rear (abutting or across an alley from residential zones, if containing a residential use) : **15'-0" (above 13'-0")**



23.47A.016 | LANDSCAPE STANDARDS

Green Factor of **0.3 or greater** is required  
Street trees are required, in consultation with SDOT.

23.47A.022 | LIGHT AND GLARE STANDARDS

Exterior lighting shall be shielded and directed away from adjacent properties.

23.47A.024 | AMENITY AREA

The required amount of amenity area in C zones is equal to **5%** of the total gross floor area of the structure in residential use, with the following conditions:

- All residents shall have access to a common or private amenity area.
- Amenity areas shall not be enclosed.
- Common Amenity areas: 250 sf min, no horizontal dimension less than 10 feet
- Private Amenity areas : 60 sf min, no horizontal dimension less than 6 feet.

23.54.015 | PARKING REQUIREMENTS

- Per table B SMC 23.54.015 Item M, there is **no minimum parking requirement** for residential uses in multifamily zones within urban villages if the residential use is located within 1,320 ft of a street with frequent transit service.
- Bicycle parking requirements : **1 per 4 dwelling units and/or .75 per SEDU**, per table D SMC 23.54.015 item D.2. Required bicycle parking shall be provided in a safe, accessible, and convenient location. Bicycle parking hardware shall be installed so that it can perform to it's manufacturer's specifications and any design criteria promulgated by the Director of Transportation, allowing adequate clearance for bicycles and their riders. Bicycle parking required for small efficiency dwelling units and congregate residence sleeping rooms is required to be covered for weather protection. If the required, covered bicycle parking is located inside the building that contains small efficiency dwelling units or congregate residence sleeping rooms, the space required to provide the required bicycle parking shall be exempt from Floor Area Ratio (FAR) limits. Covered bicycle parking that is provided beyond the required bicycle parking shall not be exempt from FAR limits.

23.54.040 | SOLID WASTE AND RECYCLABLES

A minimum required square footage of **375 SF** shall be provided for solid waste and recycling storage, per table A, SMC 23.54.040.

For developments with 9 dwelling units or more, the minimum horizontal dimension of required storage space is 12 feet. The floor of the storage space shall be level and hard-surfaced.

If located outdoors, the storage space shall be screened from public view and designed to minimize light and glare impacts. The storage space shall not be located between a street facing facade of the structure and the street.

Containers to be manually pulled shall be placed no more than 50 feet from a curb cut or collection location.

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**CONCEPTUAL DESIGN OPTIONS**



**OPTION A**  
**“BARBELL”**



60 UNITS | 58 SEDU, 2 L/W  
1,150 SF Commercial Space

Departures |  
None, Code Compliant

**PROS |**

- No departures required, code compliant
- Larger commercial space than preferred option

**CONS |**

- “Pinched” center massing creates zero lot line facade condition near front of site, limiting fenestration options and creating a “blank wall” condition



**OPTION B**  
**“CROISSANT”**



65 UNITS | 63 SEDU, 2 L/W  
1,100 SF Commercial Space

Departures |  
None, Code Compliant

**PROS |**

- No departures required, code compliant
- Larger commercial space than preferred option
- Large south facing amenity space at ground level

**CONS |**

- “Pinched” center massing creates zero lot line facade condition near front of site, and along entire north property line, limiting fenestration option and creating a “blank wall” condition



**OPTION C | PREFERRED**  
**“RADIATOR”**



74 UNITS | 69 SEDU, 4 L/W  
575 SF Commercial Space

Departures |  
SMC 23.47A.014 - Setback Requirements

**PROS |**

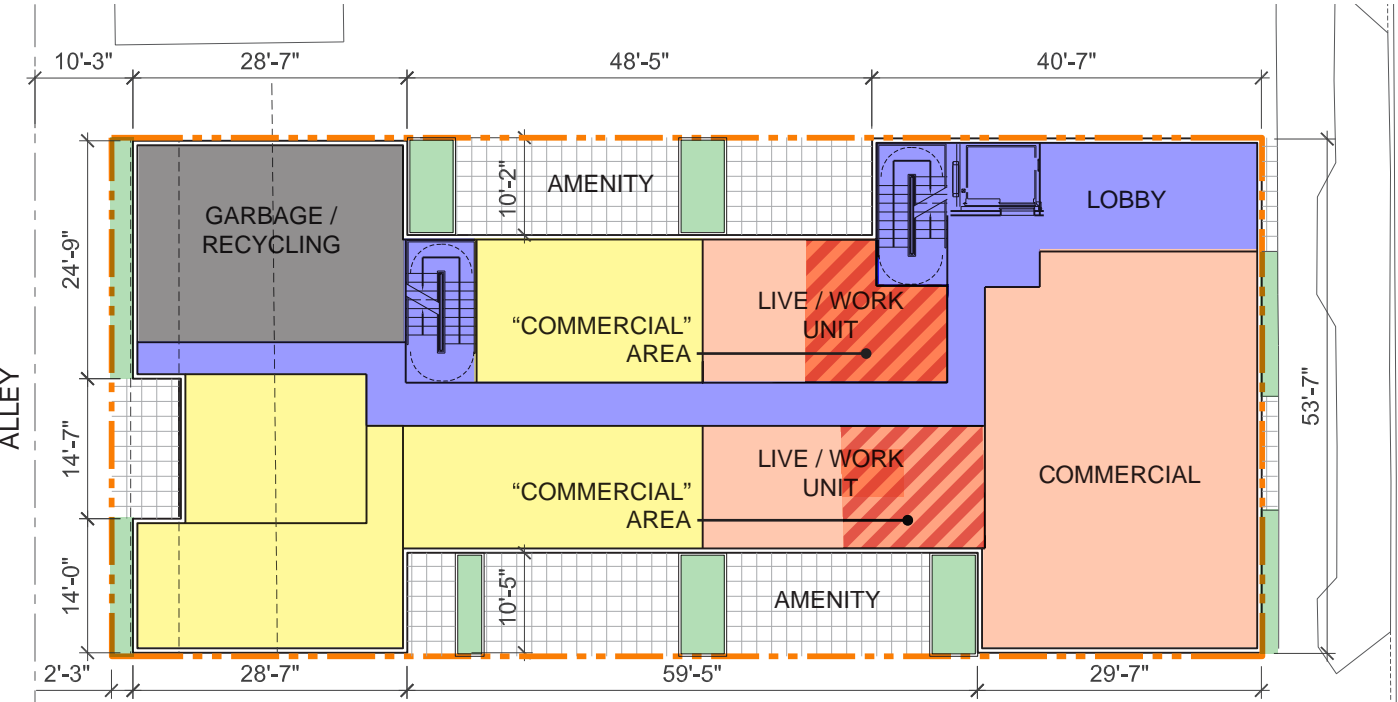
- Entry plazas have access to street
- Smaller single commercial space is offset by multiple live / work units with exterior access to street
- Access plazas create setback, allowing for fenestration / modulation along north & south property lines

**CONS |**

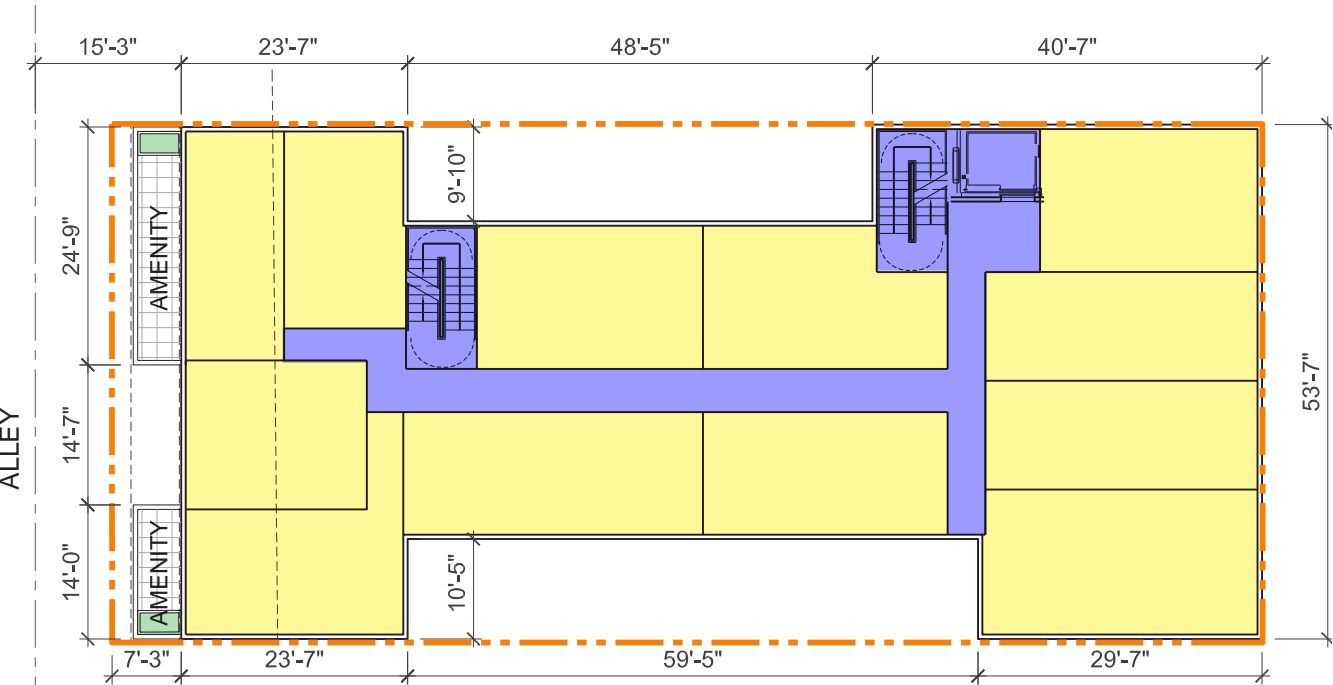
- Narrower design along Rainier Ave S creates less commercial frontage along sidewalk

OPTION A | PLANS  
"BARBELL"

FAR | 4.25  
SEDU | 58    LIVE/WORK | 2    TOTAL | 60  
COMMERCIAL SPACE | 1,150 SF



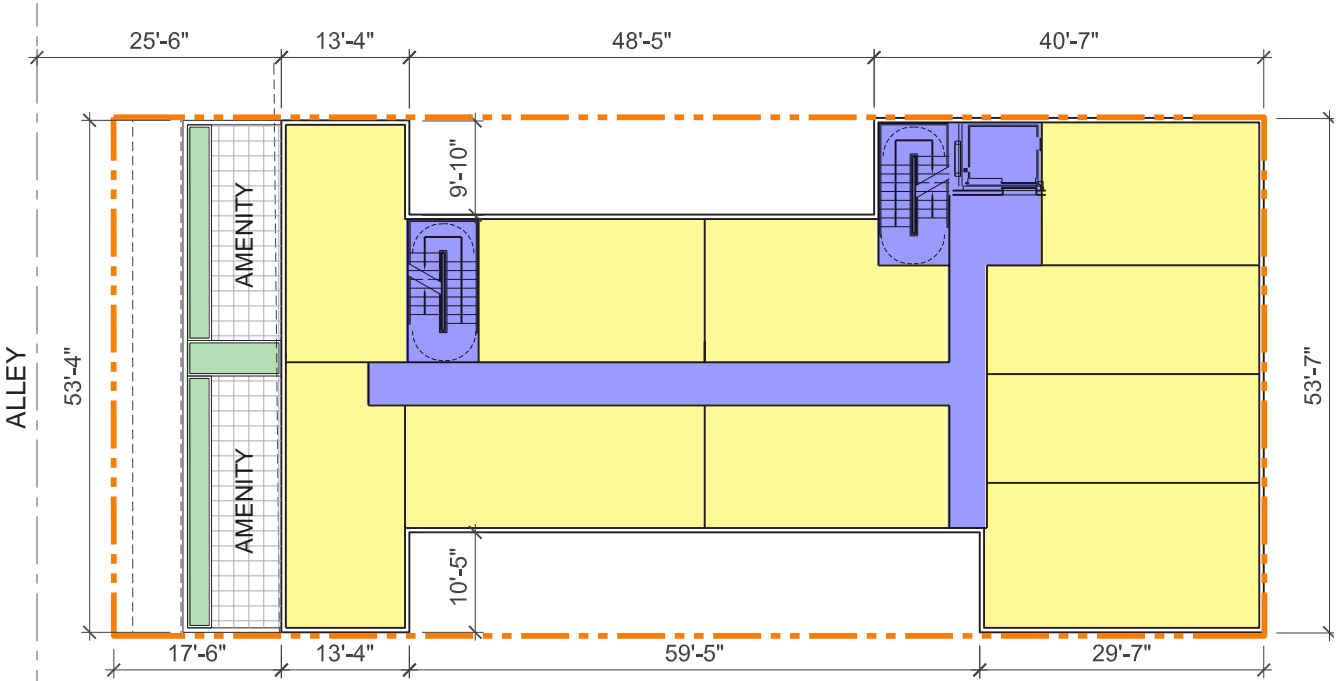
LVL 1  
2 L/W UNITS | 4 DWELLING UNITS | 1,150 SF COMMERCIAL SPACE



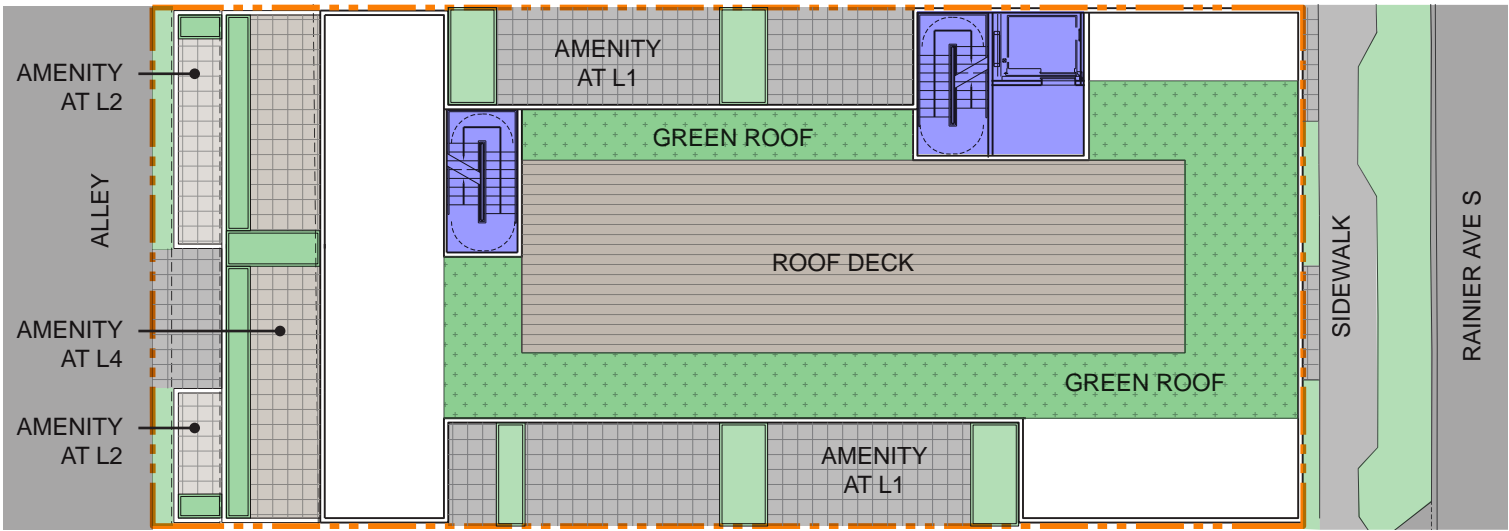
LVLS 2 & 3  
12 UNITS

KEY

- RESIDENTIAL
  - COMMERCIAL
  - LANDSCAPE / GREEN ROOF
  - COMMON / CIRCULATION
  - SERVICE
- N 1 : 20 SCALE



LVLS 4 - 6  
10 UNITS



ROOF / LANDSCAPE COMPOSITE

**OPTION A | MASSING**  
**“BARBELL”**

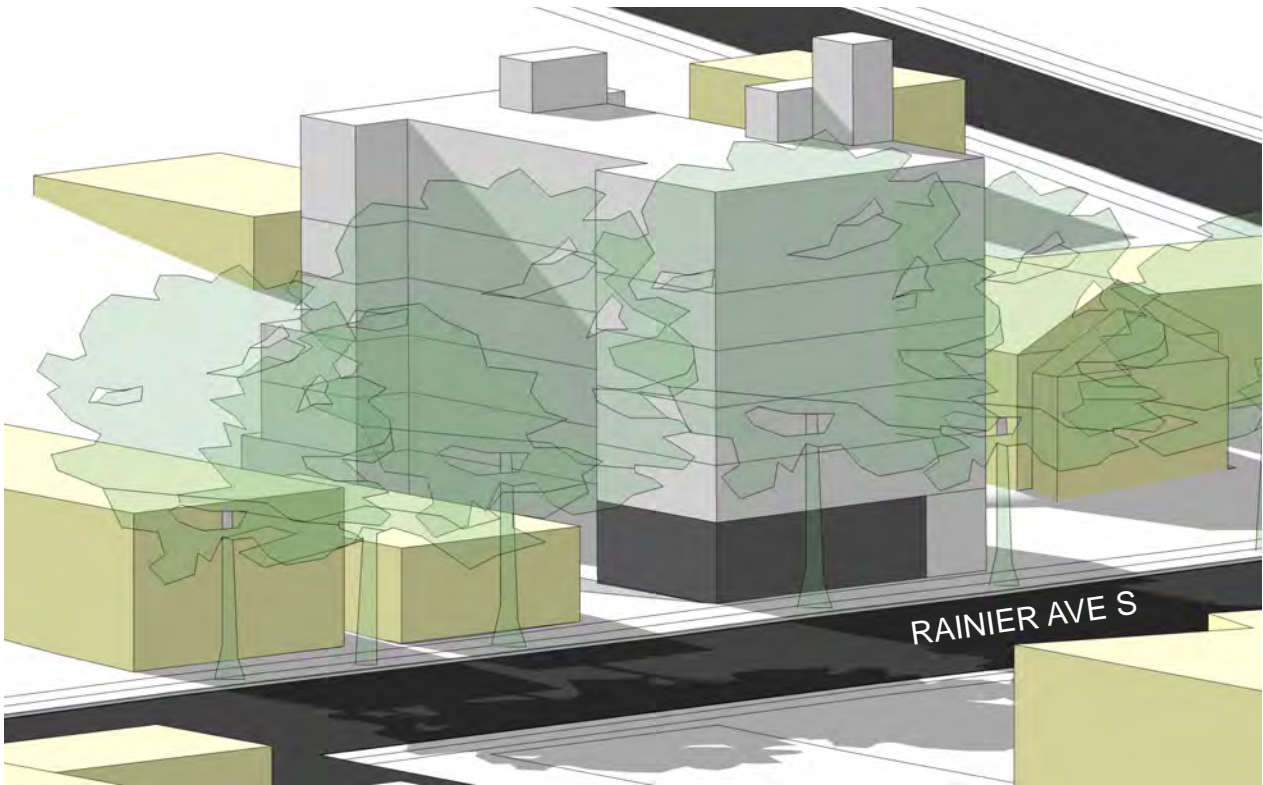


- PROS |**
- No departures required, code compliant
  - Larger commercial space than preferred option

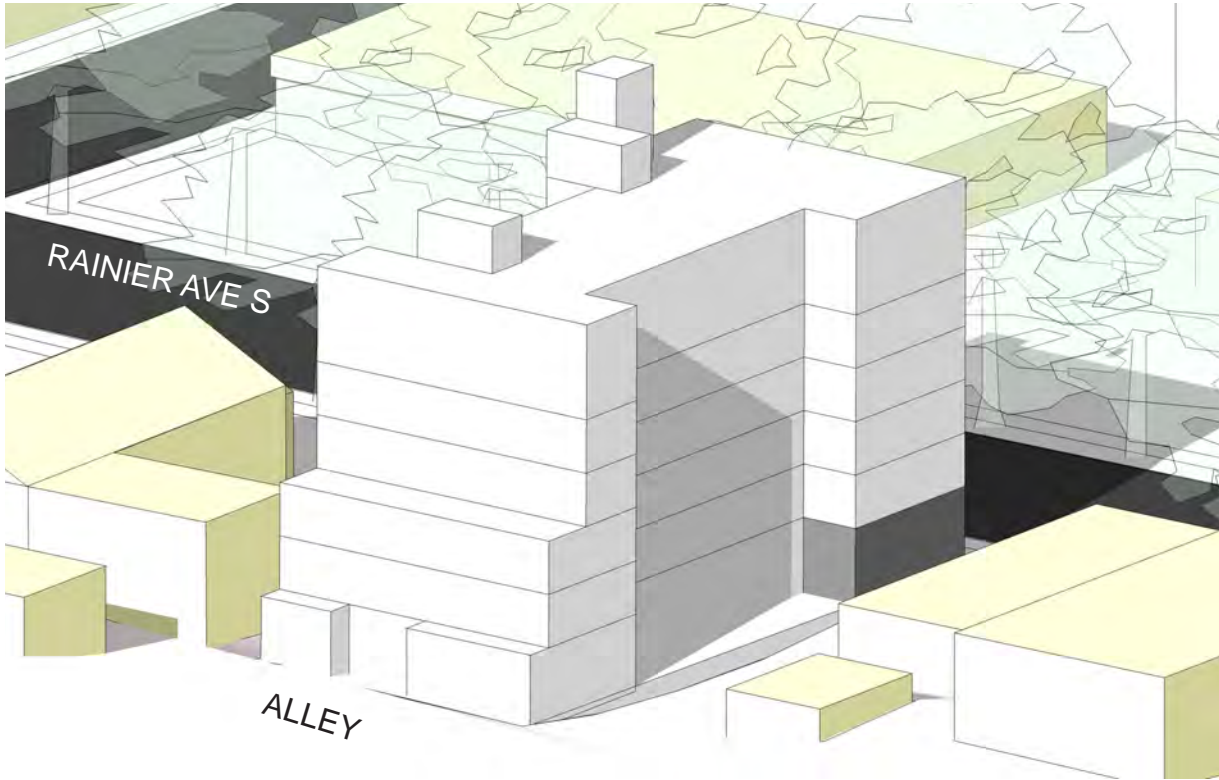
- CONS |**
- “Pinched” center massing creates zero lot line facade condition near front of site, limiting fenestration options and creating a “blank wall” condition



LOOKING SOUTH WEST ACROSS RAINIER AVE S



LOOKING NORTH WEST ACROSS RAINIER AVE S



LOOKING NORTH EAST



LOOKING SOUTH EAST

OPTION A | SHADOW ANALYSIS

WINTER SOLSTICE



OPTION A | WINTER SOLSTICE  
9 AM



OPTION A | WINTER SOLSTICE  
12 PM



OPTION A | WINTER SOLSTICE  
3 PM

FALL/SPRING EQUINOX



OPTION A | SPRING/FALL EQUINOX  
9 AM



OPTION A | SPRING/FALL EQUINOX  
12 PM



OPTION A | SPRING/FALL EQUINOX  
3 PM

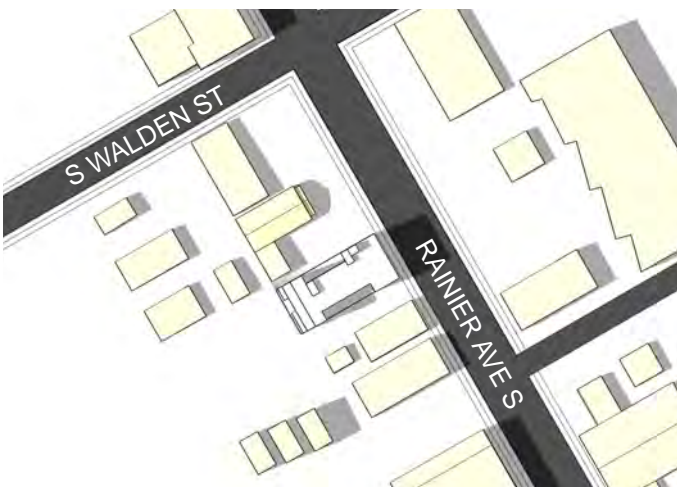
SUMMER SOLSTICE



OPTION A | SUMMER SOLSTICE  
9 AM

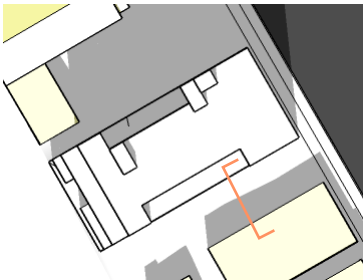
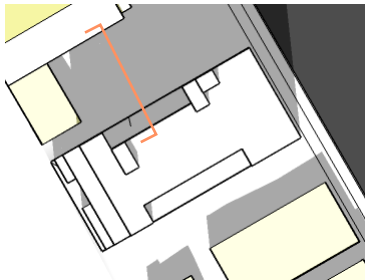
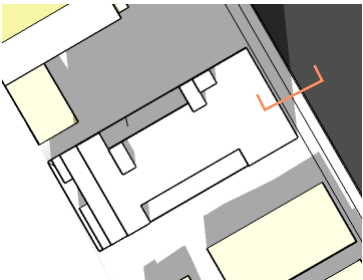


OPTION A | SUMMER SOLSTICE  
12 PM

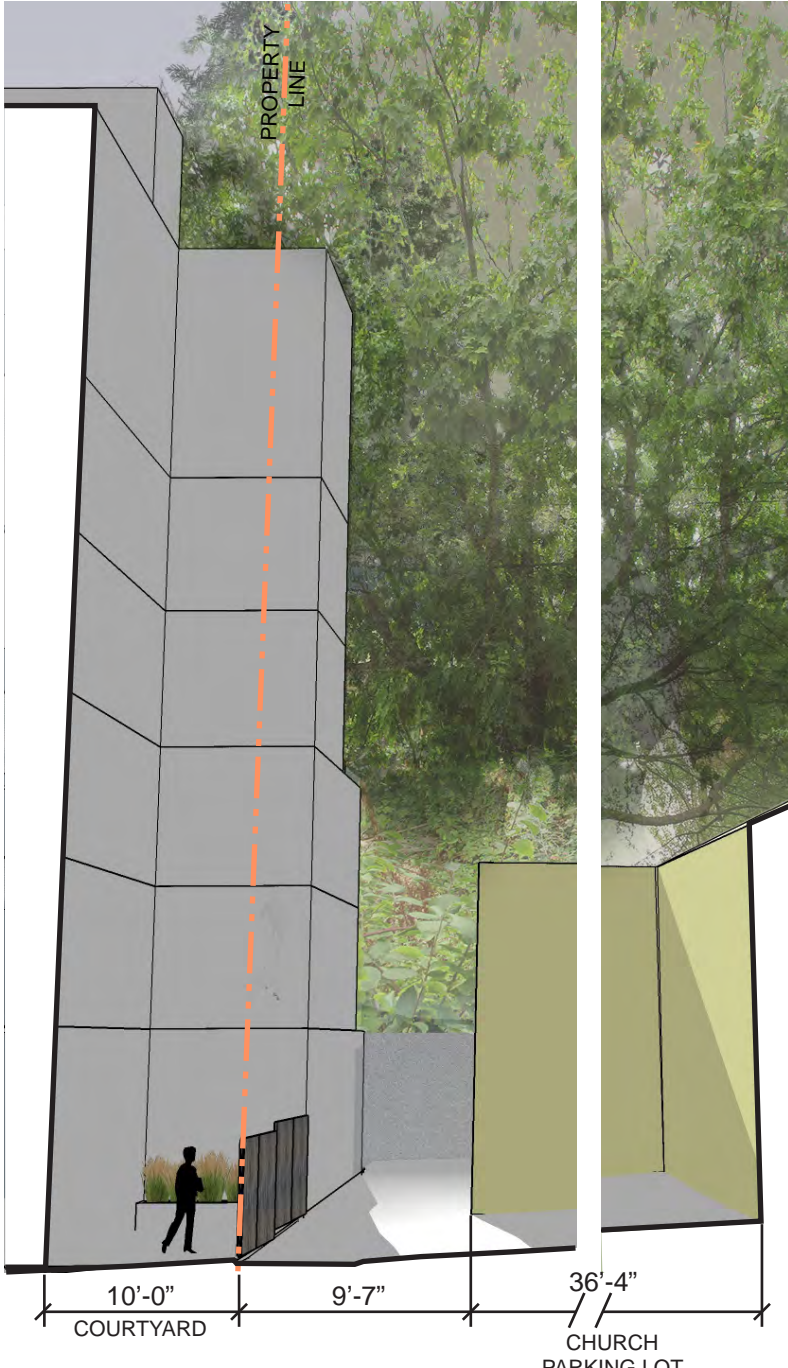


OPTION A | SUMMER SOLSTICE  
3 PM

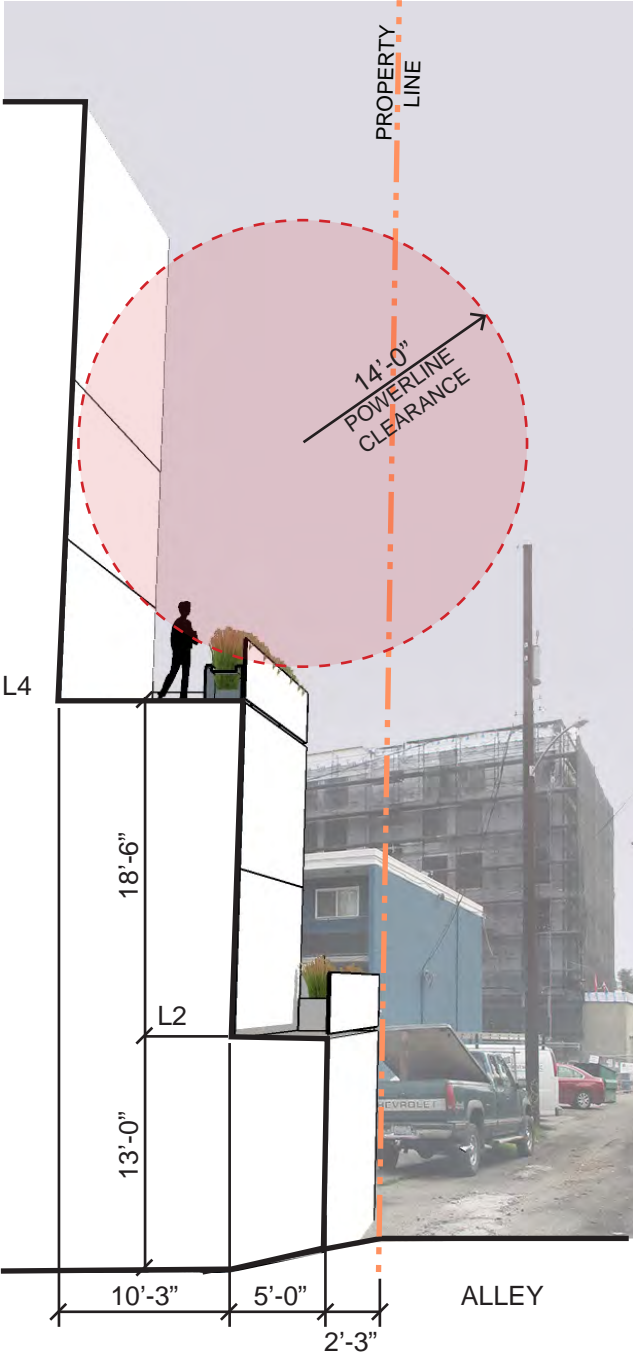
OPTION A | SITE EDGE ANALYSIS



SECTION 1



SECTION 2



SECTION 3



SECTION 4

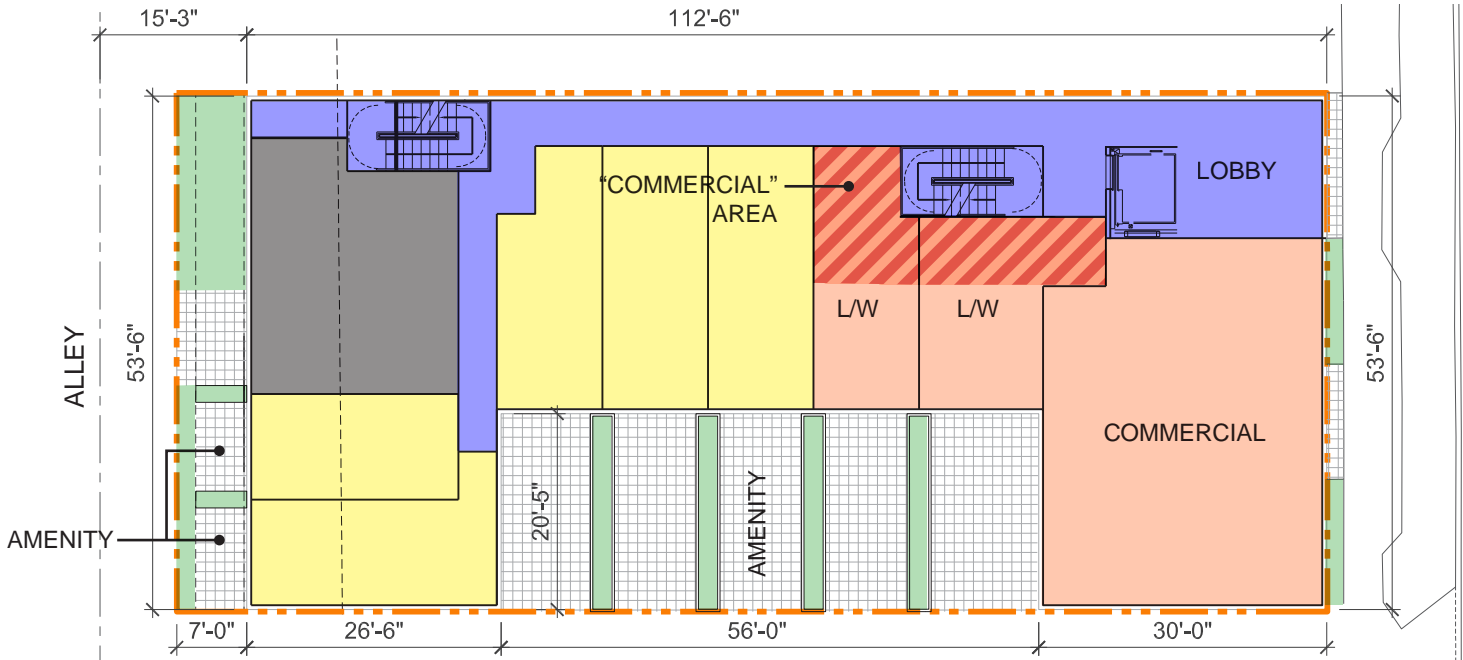
OPTION B | PLANS  
"CROISSANT"

FAR | 4.18  
SEDU | 63    LIVE/WORK | 2    TOTAL | 65  
COMMERCIAL SPACE | 1,100 SF

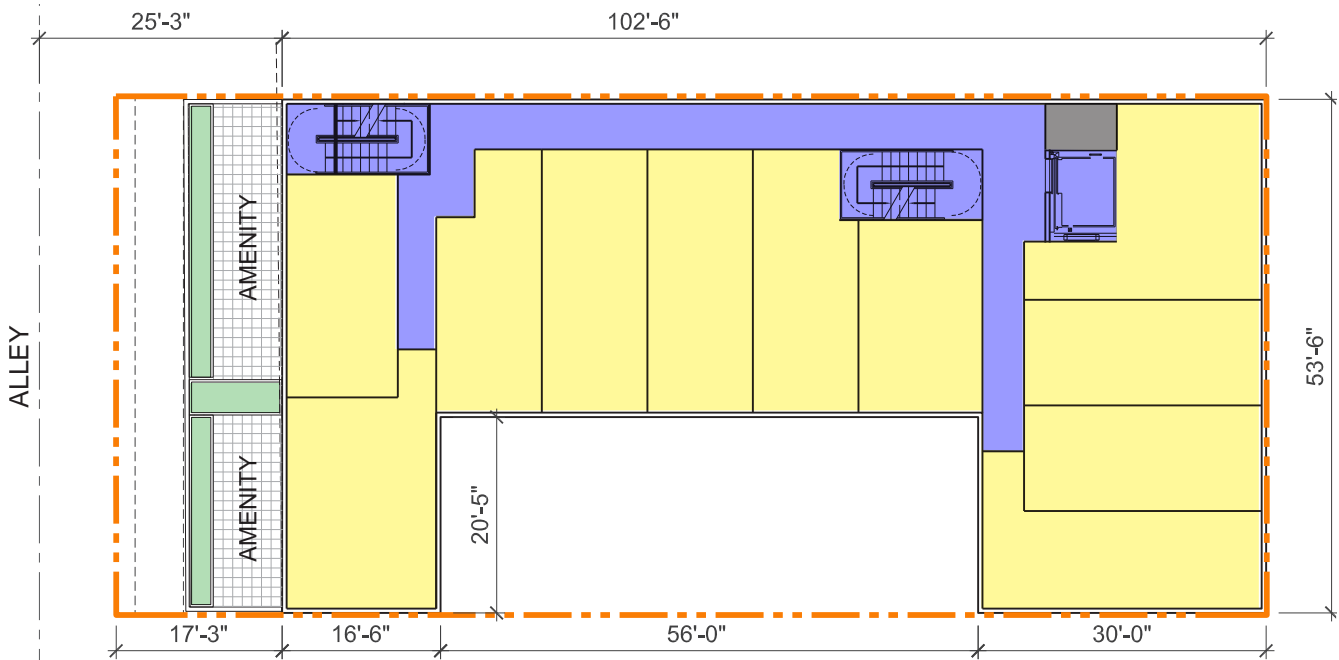


KEY

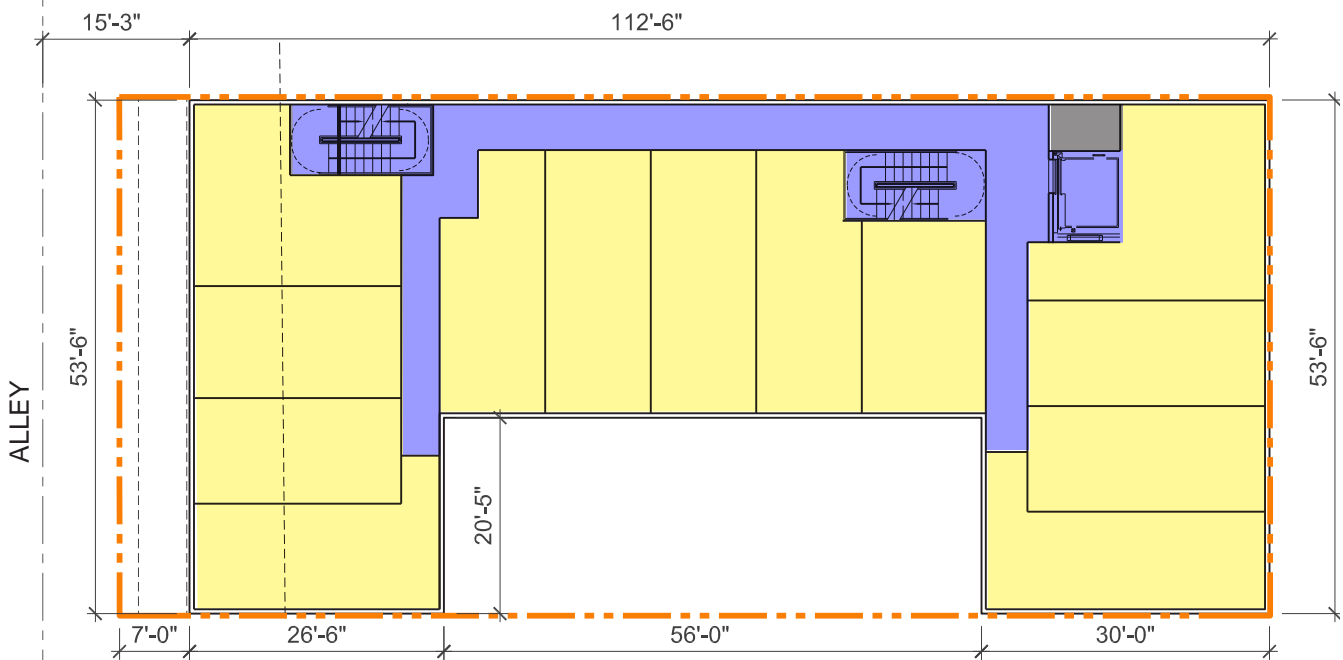
- RESIDENTIAL
- COMMERCIAL
- LANDSCAPE / GREEN ROOF
- COMMON / CIRCULATION
- SERVICE
- N 1 : 20 SCALE



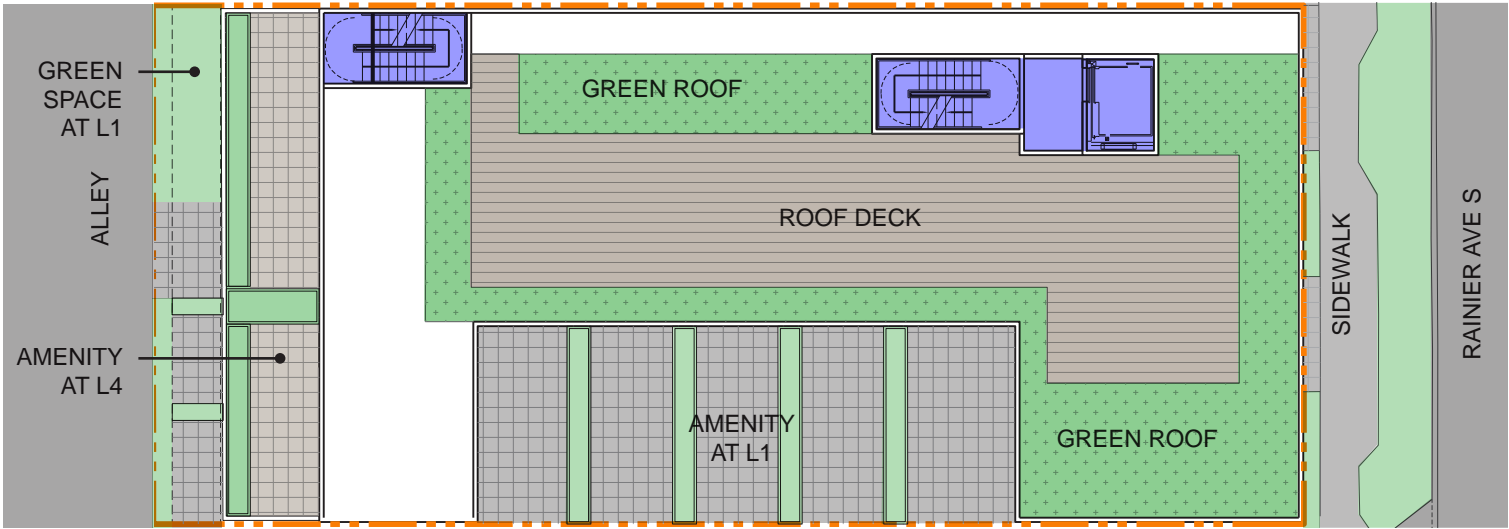
LVL 1  
2 L/W UNITS | 4 DWELLING UNITS | 1,100 SF COMMERCIAL SPACE



LVLS 4 - 6  
11 UNITS



LVLS 2 & 3  
13 UNITS



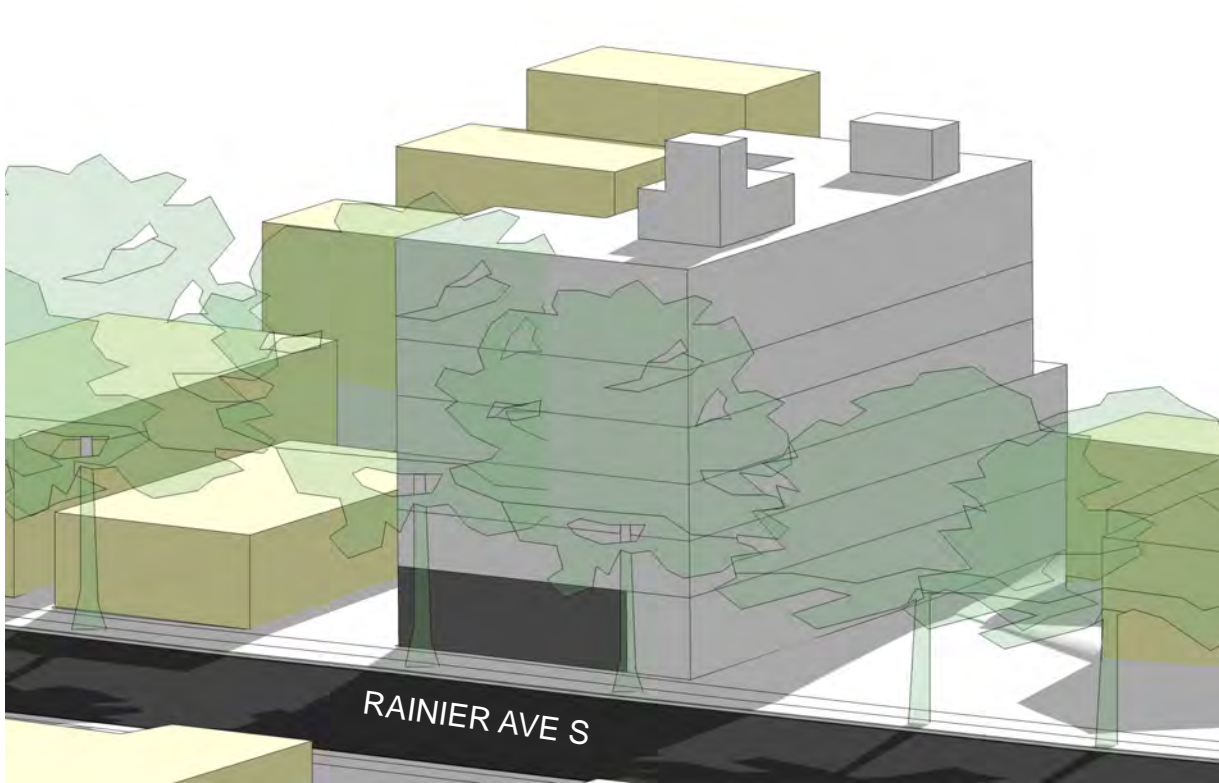
ROOF / LANDSCAPE COMPOSITE

**OPTION B | MASSING**  
**“CROISSANT”**

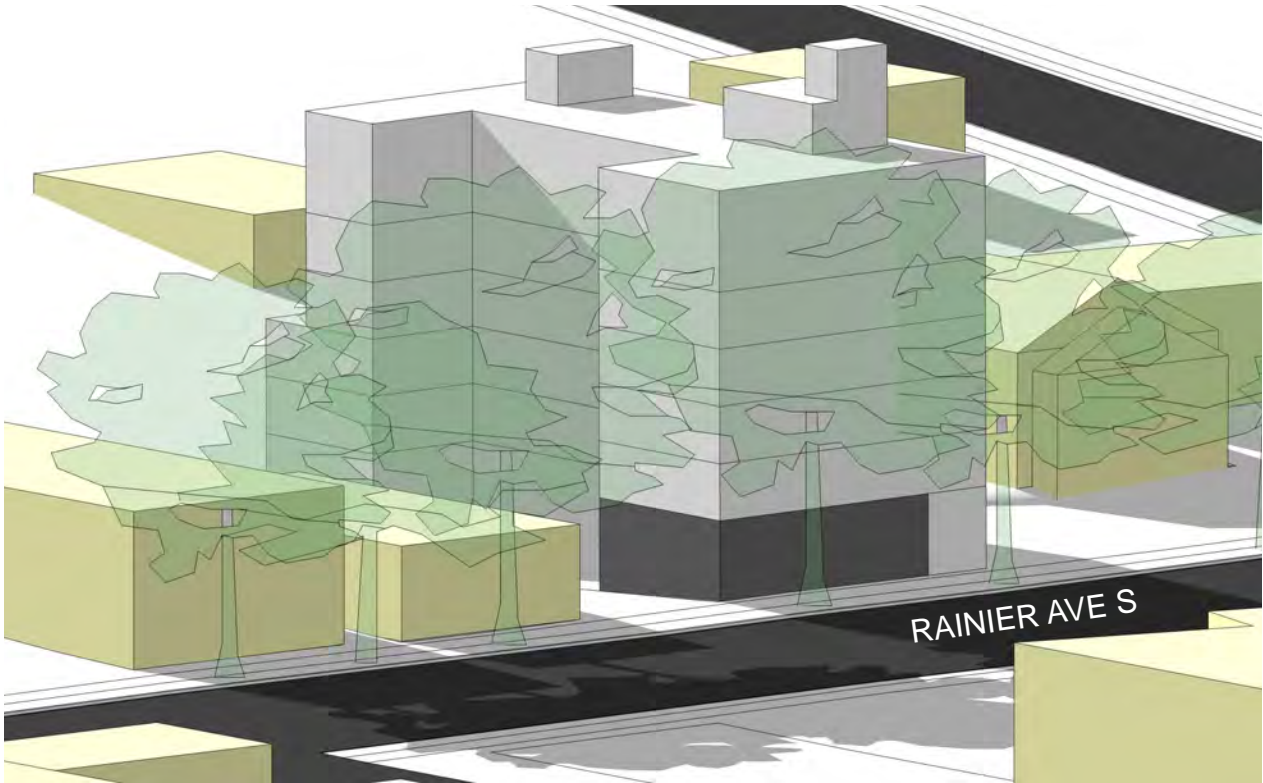


- PROS |**
- No departures required, code compliant
  - Larger commercial space than preferred option
  - Large south facing amenity space at ground level

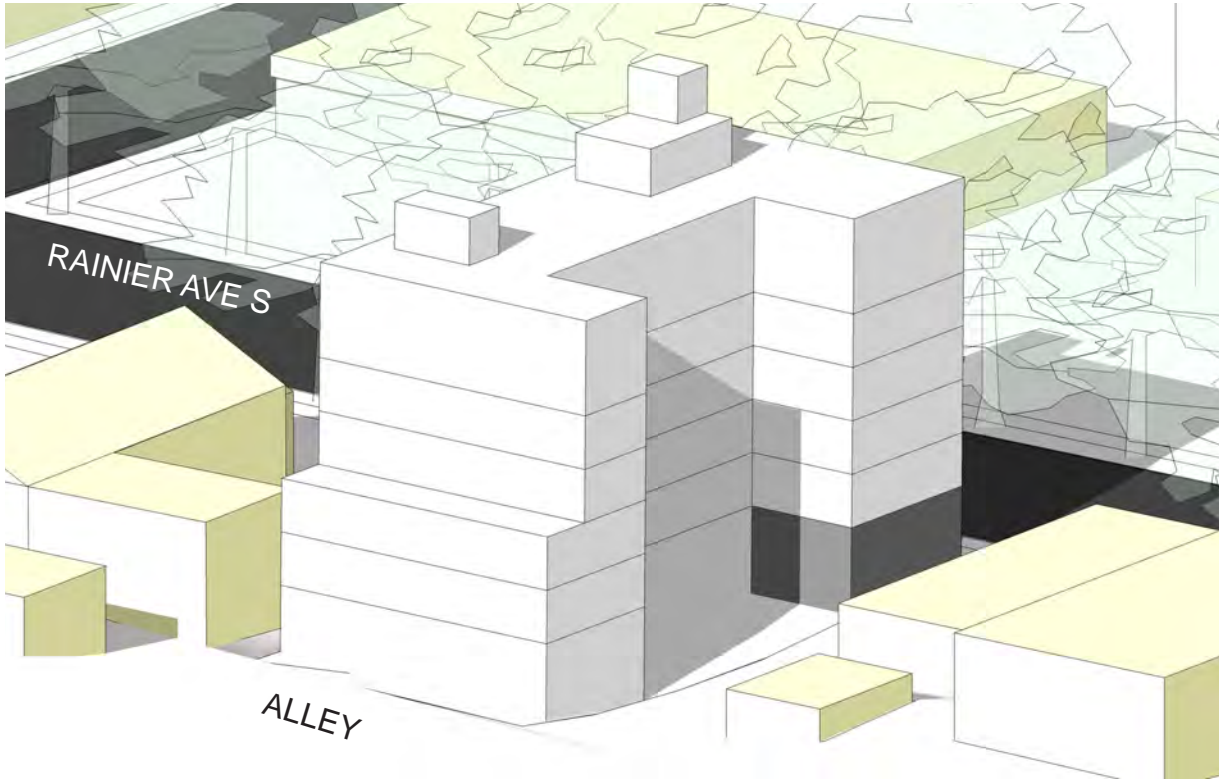
- CONS |**
- “Pinched” center massing creates zero lot line facade condition near front of site, and along entire north property line, limiting fenestration option and creating a “blank wall” condition



LOOKING SOUTH WEST ACROSS RAINIER AVE S



LOOKING NORTH WEST ACROSS RAINIER AVE S



LOOKING NORTH EAST



LOOKING SOUTH EAST

OPTION B | SHADOW ANALYSIS

WINTER SOLSTICE



OPTION B | WINTER SOLSTICE  
9 AM



OPTION B | WINTER SOLSTICE  
12 PM

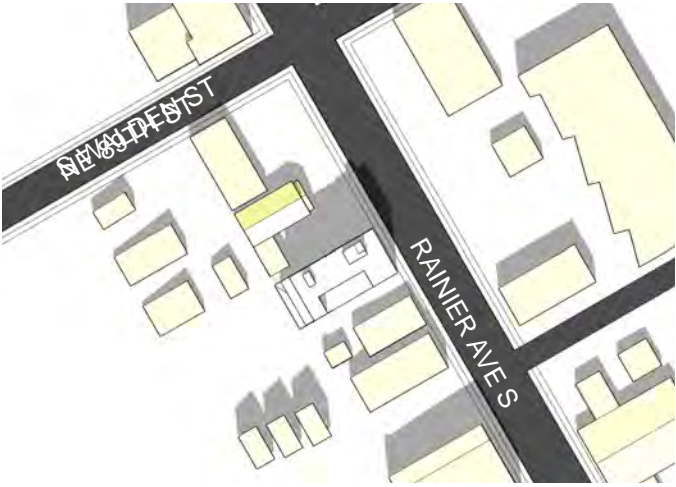


OPTION B | WINTER SOLSTICE  
3 PM

FALL/SPRING EQUINOX



OPTION B | SPRING/FALL EQUINOX  
9 AM



OPTION B | SPRING/FALL EQUINOX  
12 PM



OPTION B | SPRING/FALL EQUINOX  
3 PM

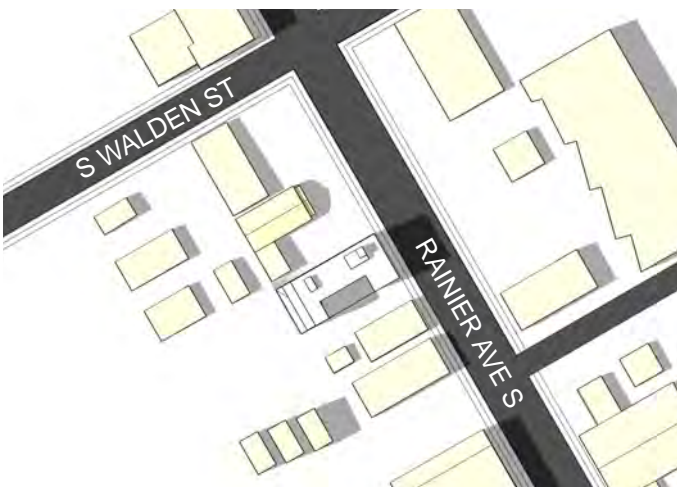
SUMMER SOLSTICE



OPTION B | SUMMER SOLSTICE  
9 AM

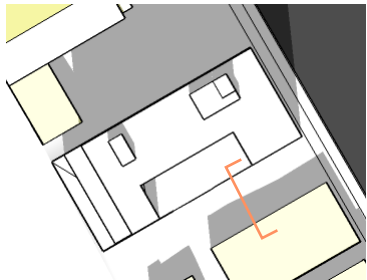
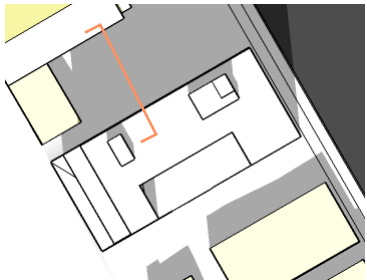
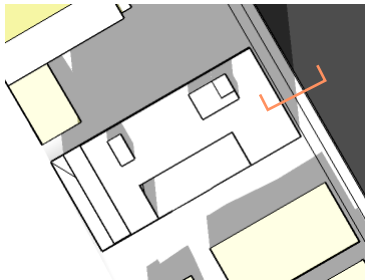


OPTION B | SUMMER SOLSTICE  
12 PM



OPTION B | SUMMER SOLSTICE  
3 PM

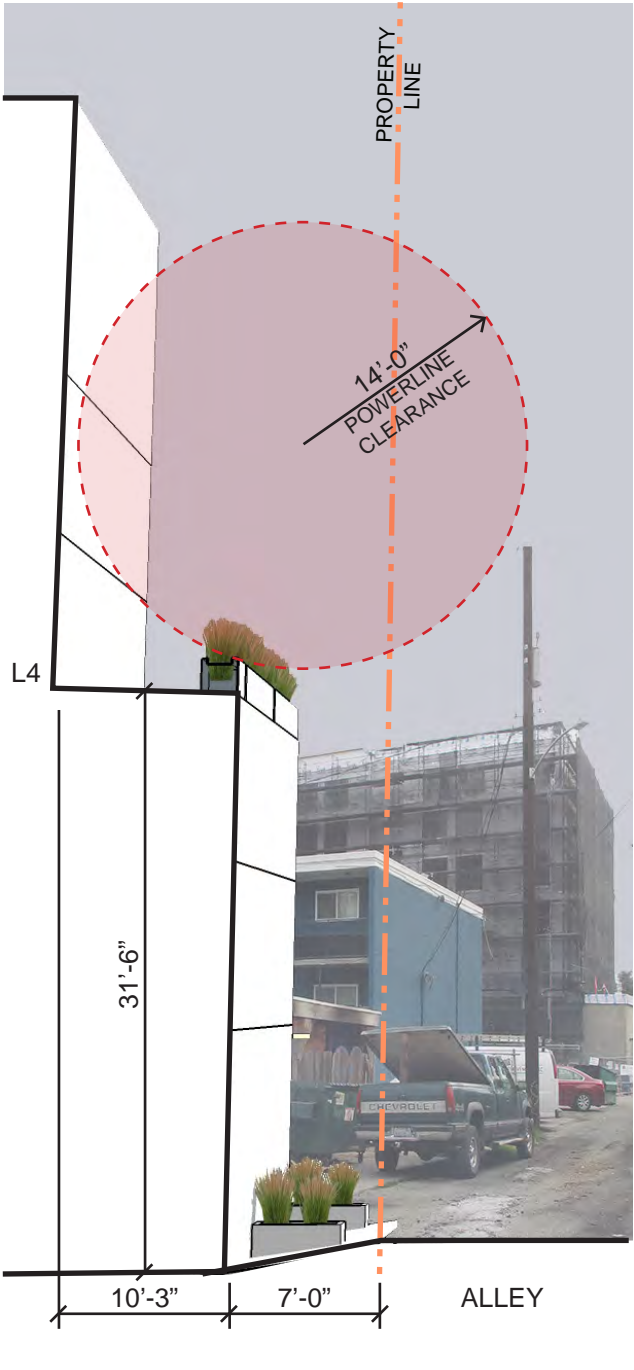
OPTION B | SITE EDGE ANALYSIS



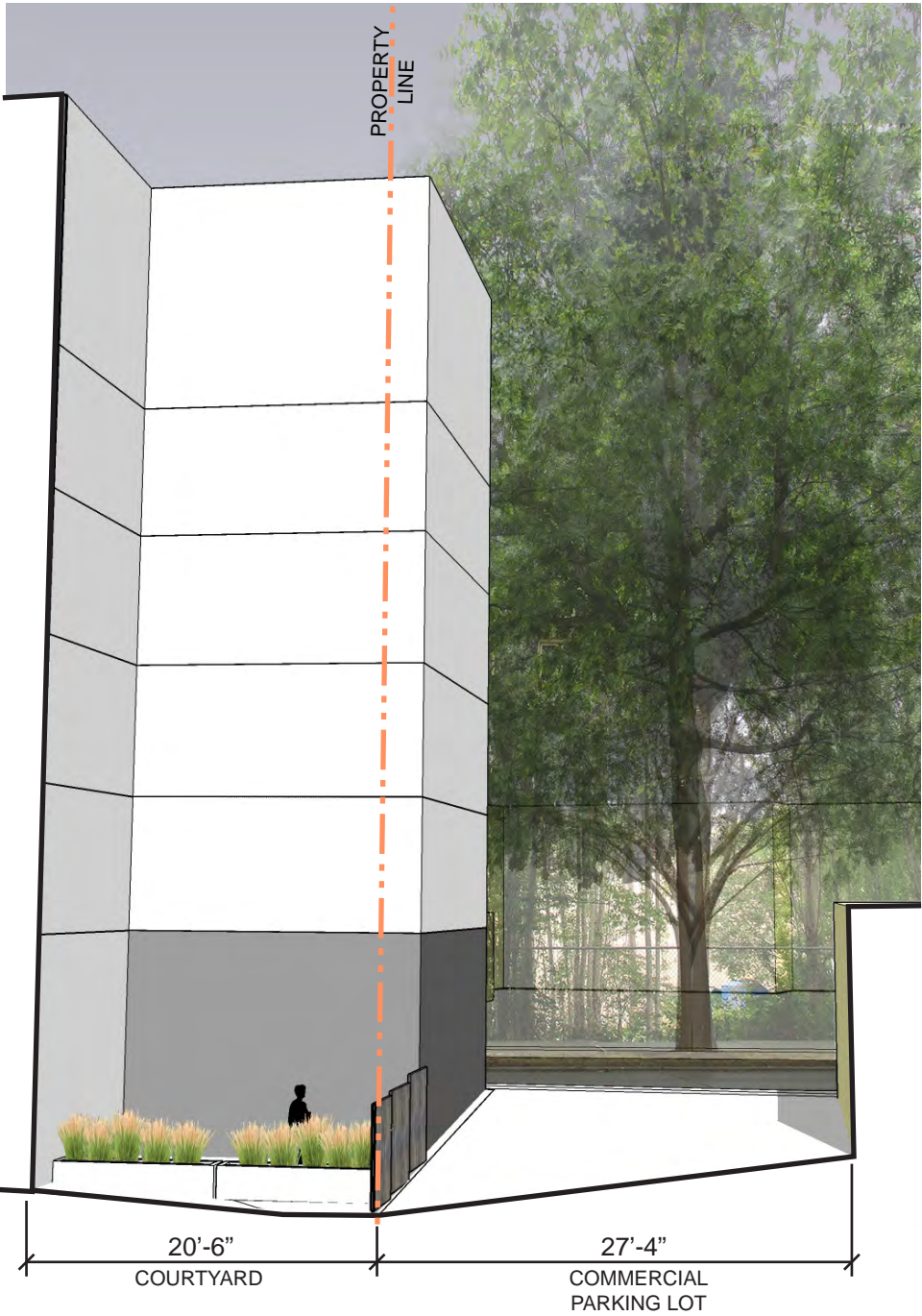
SECTION 1



SECTION 2



SECTION 3



SECTION 4

OPTION C | **PREFERRED** | PLANS  
"RADIATOR"

FAR | 4.25  
SEDU | 69    LIVE/WORK | 4  
COMMERCIAL SPACE | 575 SF  
TOTAL | 73

KEY

RESIDENTIAL

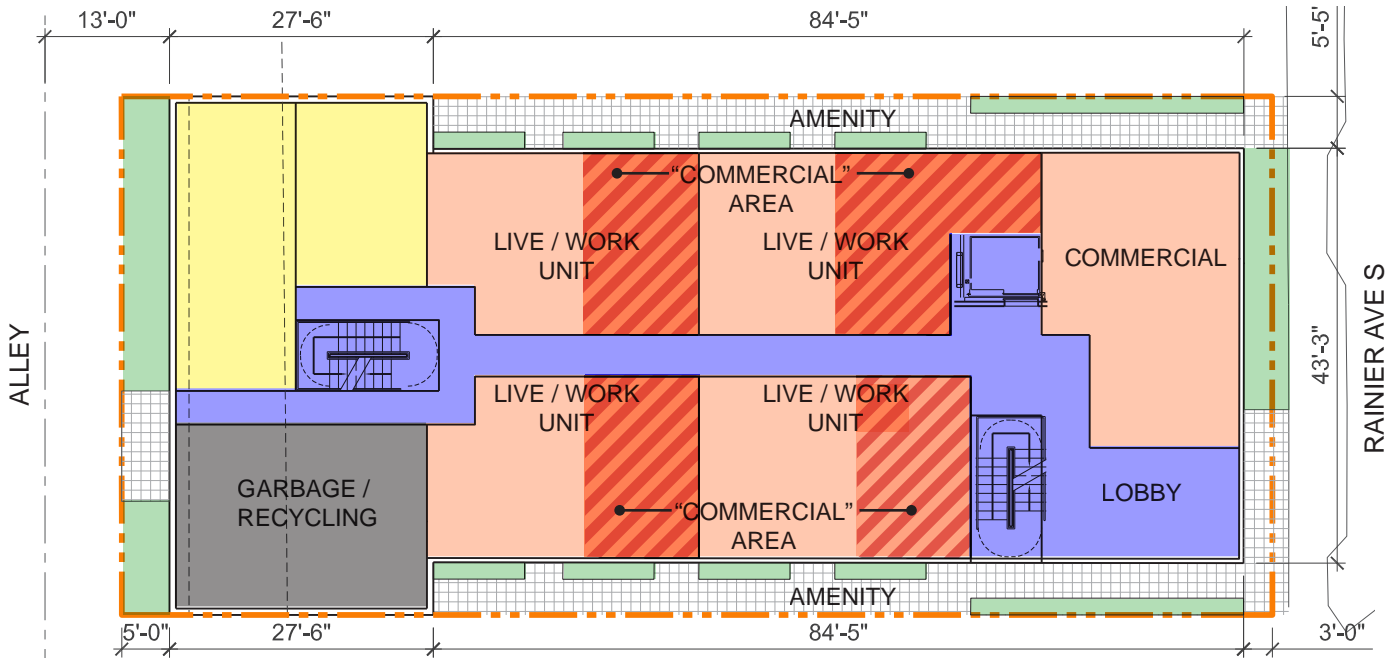
COMMON / CIRCULATION

COMMERCIAL

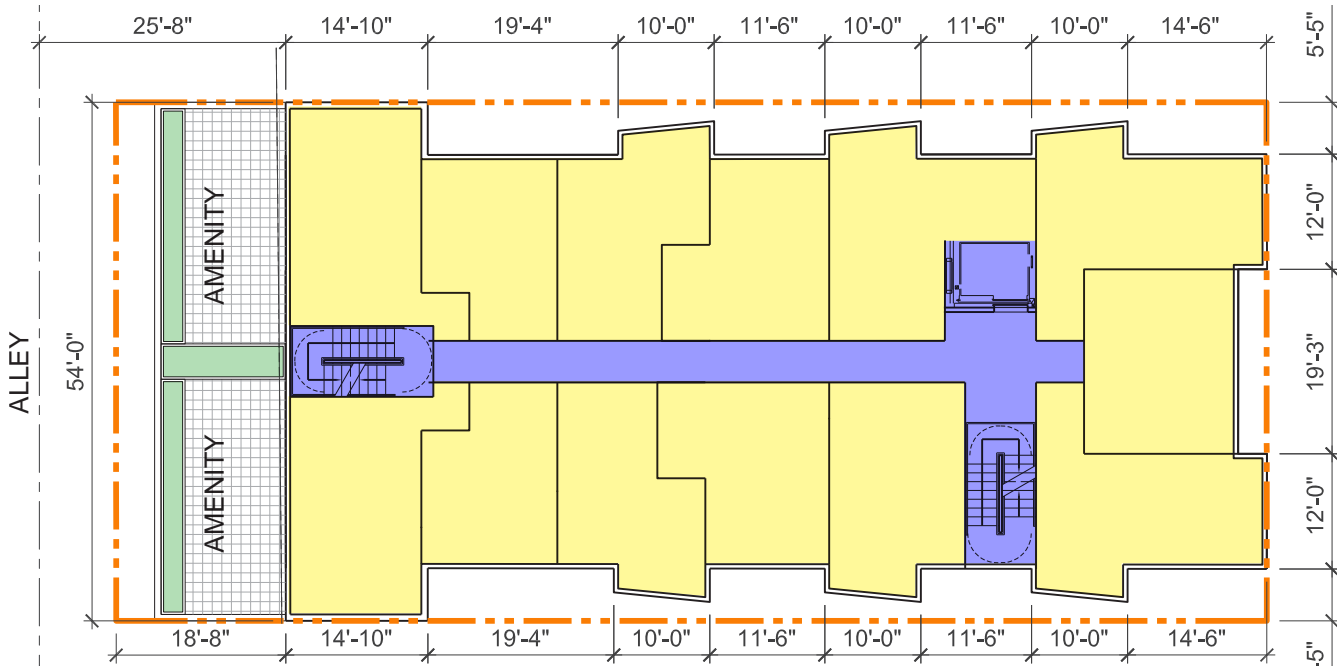
SERVICE

LANDSCAPE / GREEN ROOF

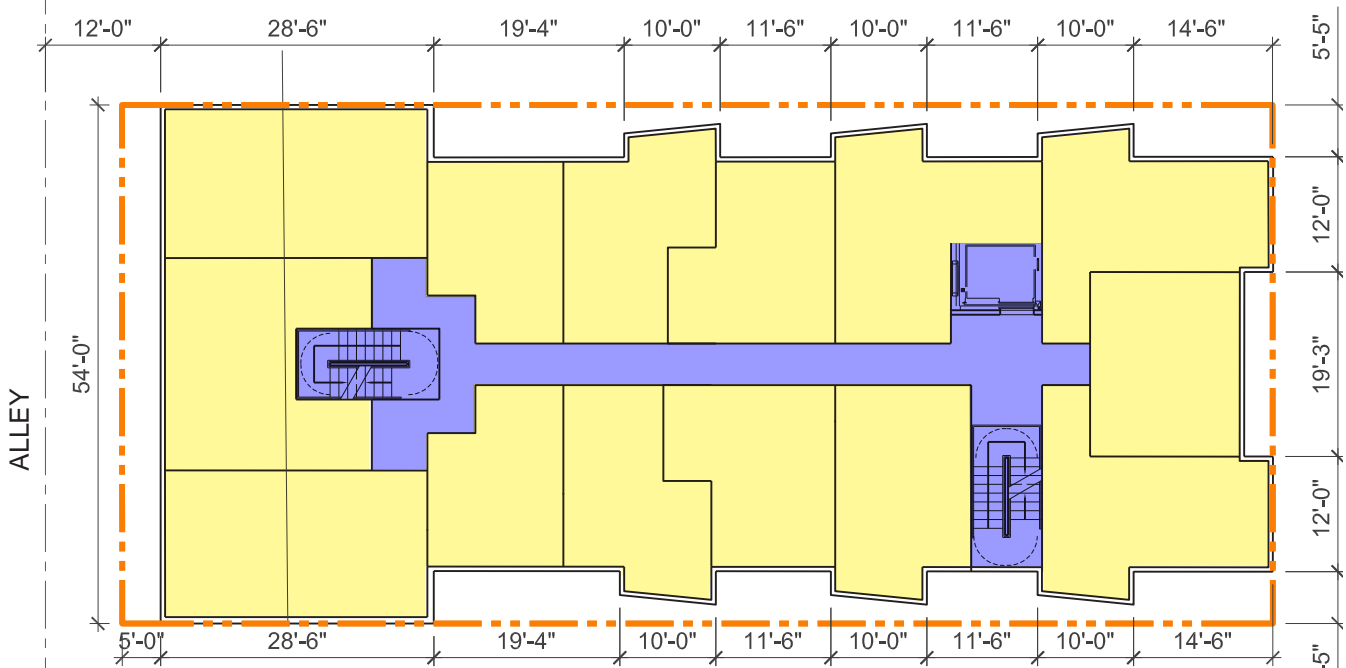
N 1 : 20 SCALE



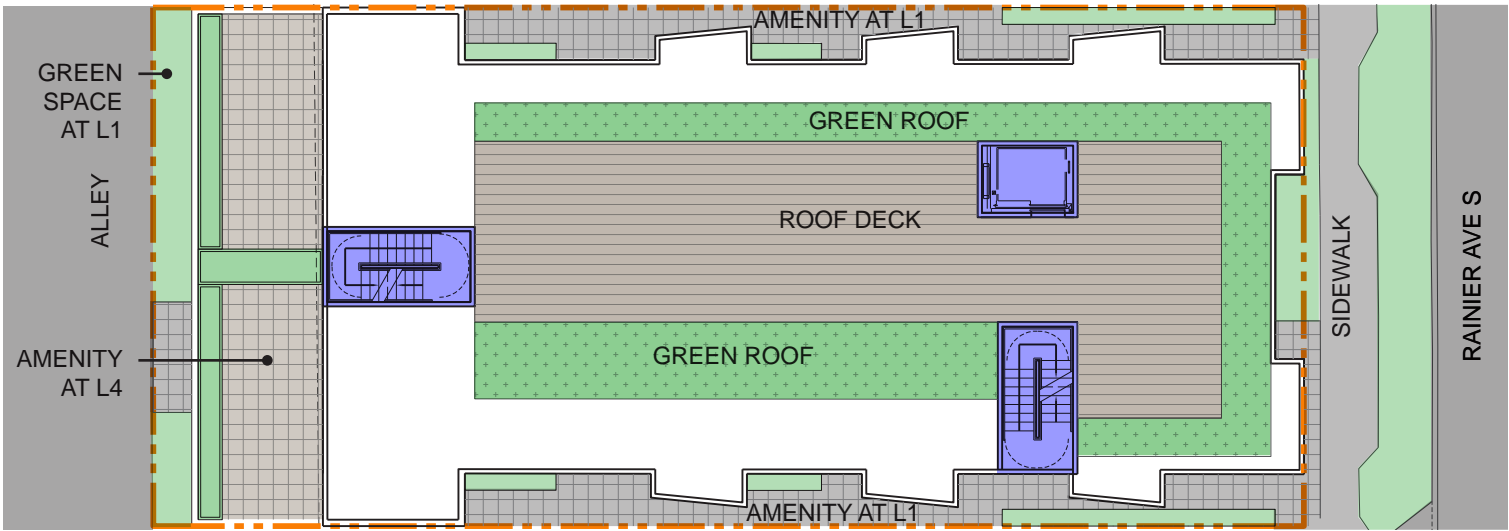
LVL 1  
4 L/W UNITS | 2 DWELLING UNITS | 575 SF COMMERCIAL SPACE



LVLS 4 - 6  
13 UNITS



LVLS 2 & 3  
14 UNITS



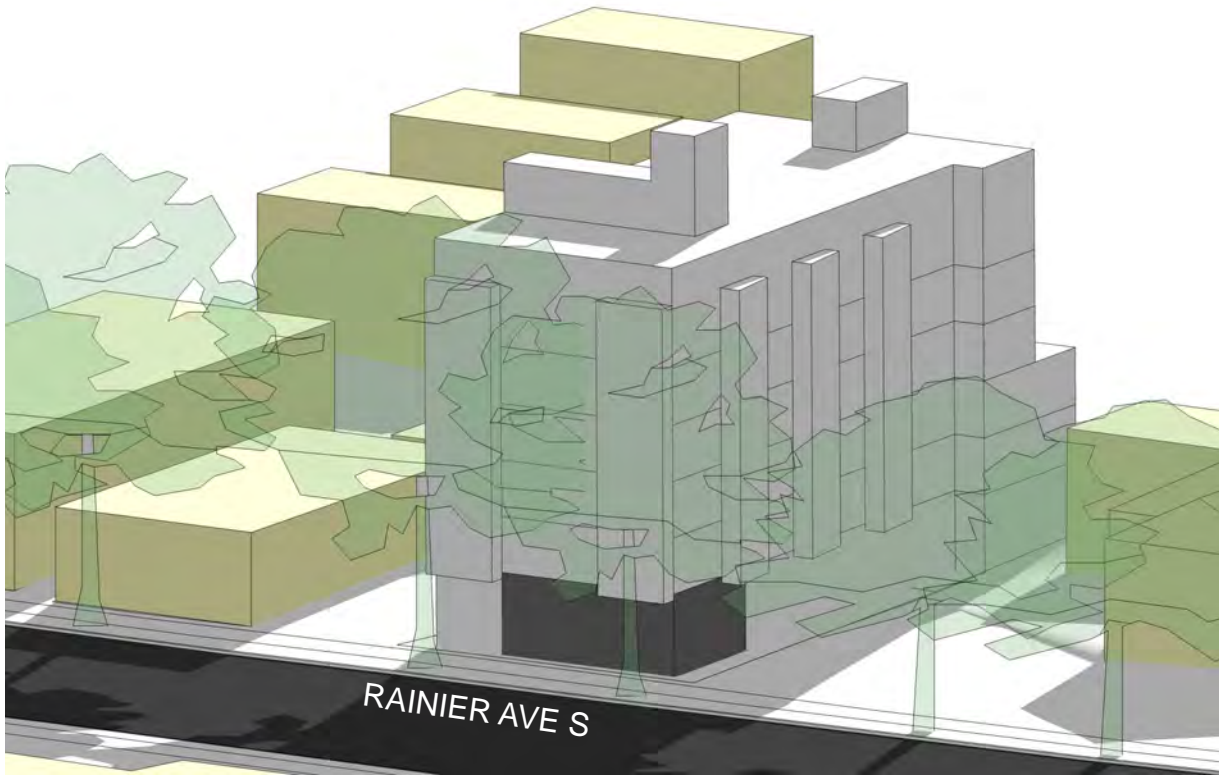
ROOF / LANDSCAPE COMPOSITE

OPTION C | **PREFERRED** | MASSING  
 "RADIATOR"

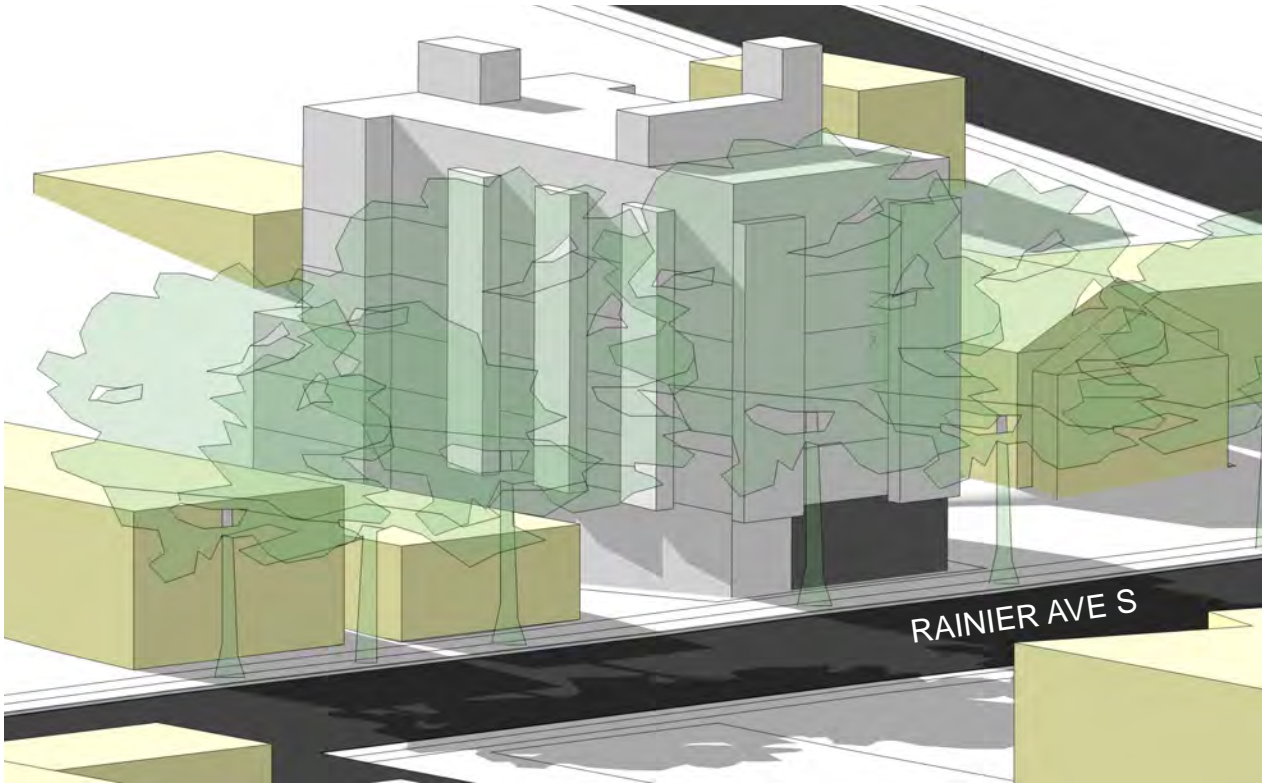


- PROS |**
- Entry plazas have access to street
  - Smaller single commercial space is offset by multiple live / work units with exterior access to street
  - Access plazas create setback, allowing for fenestration / modulation along north & south property lines

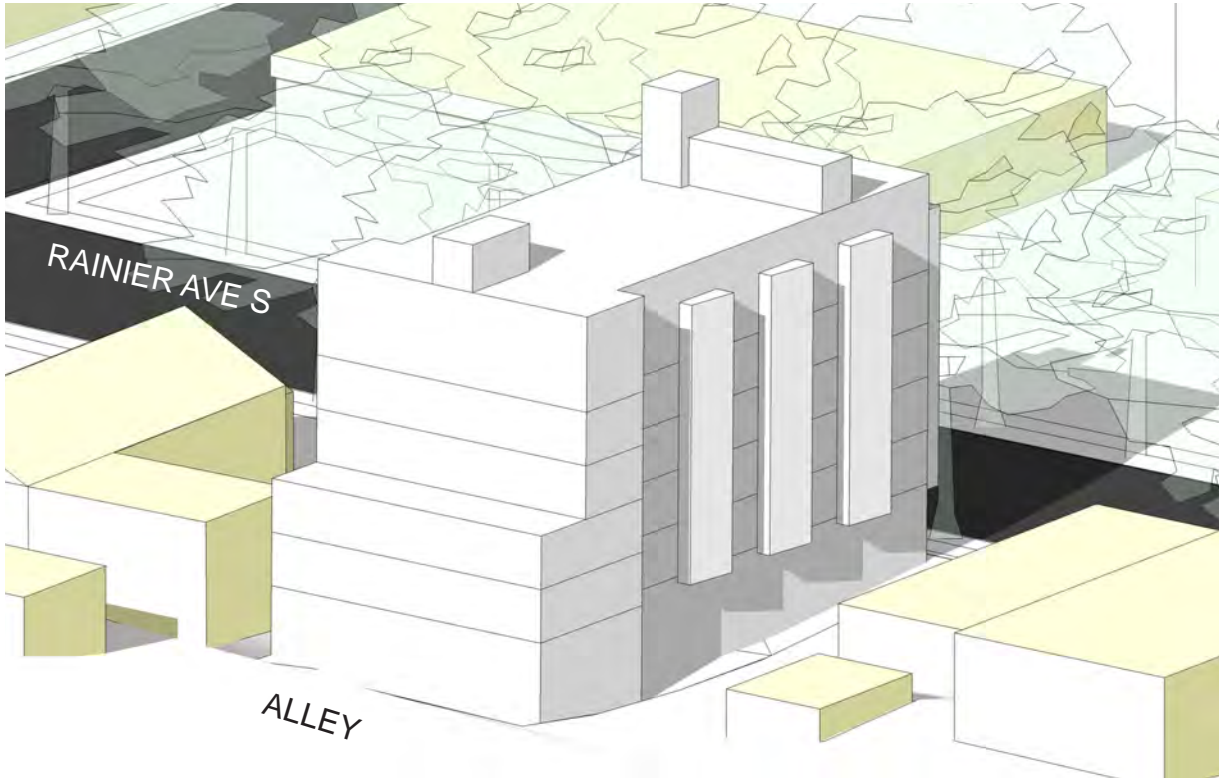
- CONS |**
- Narrower design along Rainier Ave S creates less commercial frontage along sidewalk



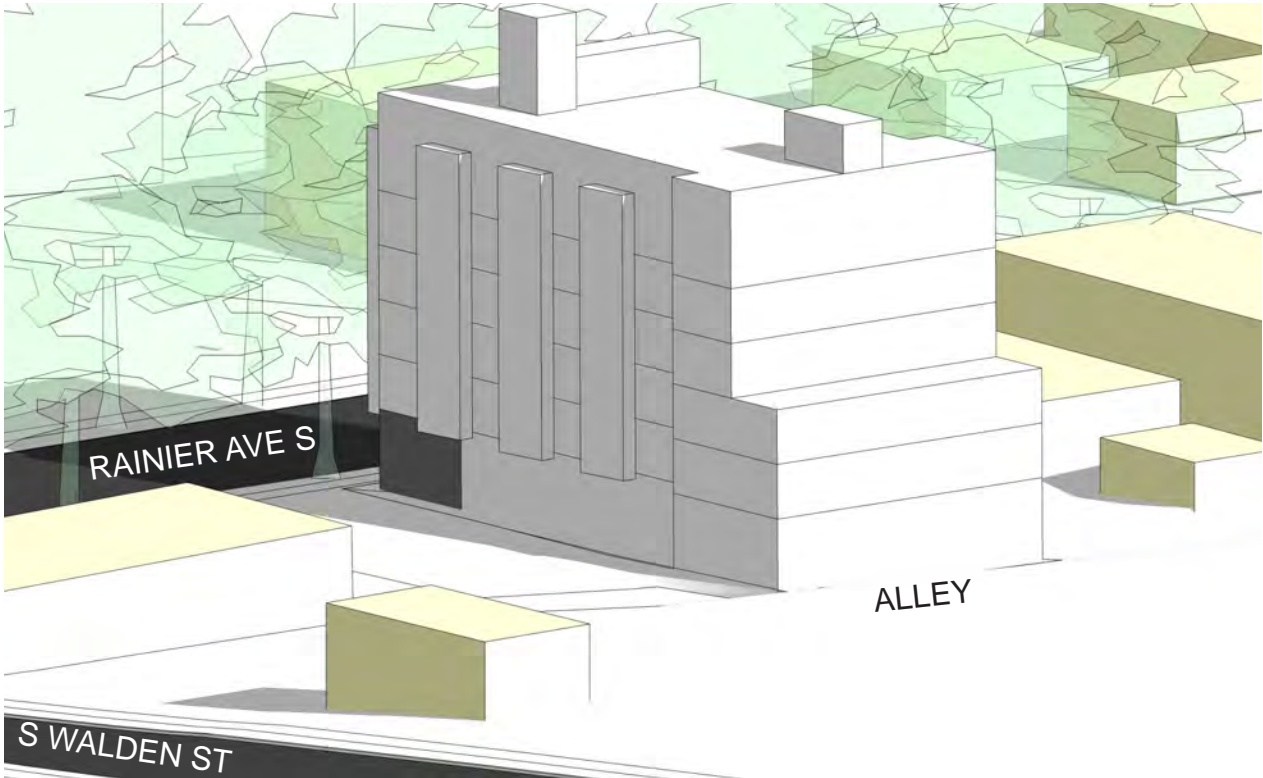
LOOKING SOUTH WEST ACROSS RAINIER AVE S



LOOKING NORTH WEST ACROSS RAINIER AVE S



LOOKING NORTH EAST



LOOKING SOUTH EAST

OPTION C | **PREFERRED** | SHADOW ANALYSIS

WINTER SOLSTICE



OPTION C | WINTER SOLSTICE  
9 AM

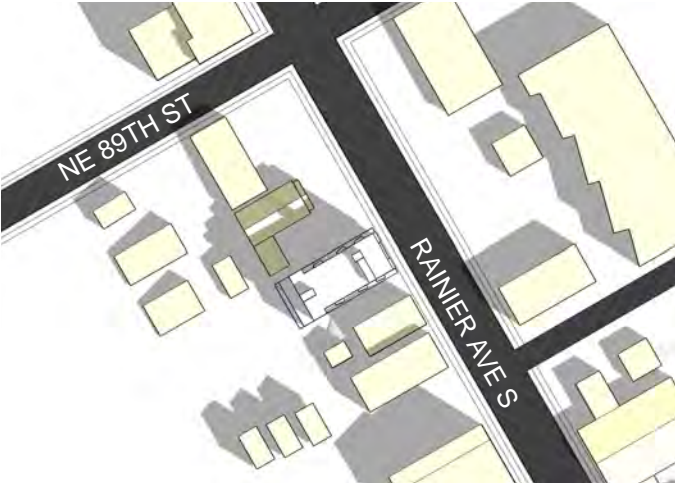


OPTION C | WINTER SOLSTICE  
12 PM

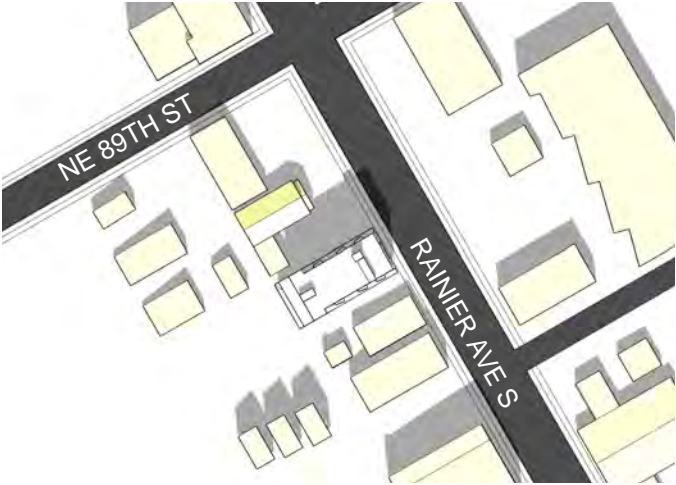


OPTION C | WINTER SOLSTICE  
3 PM

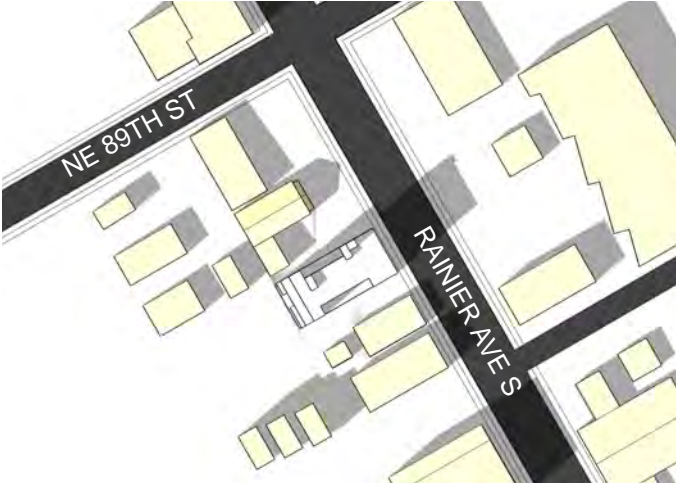
FALL/SPRING EQUINOX



OPTION C | SPRING/FALL EQUINOX  
9 AM

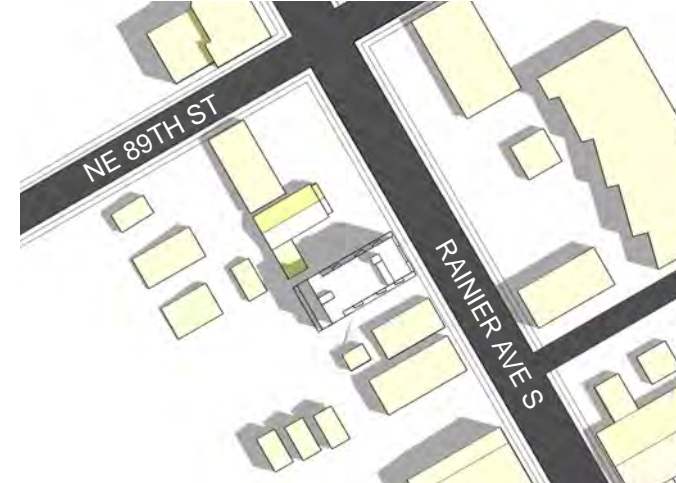


OPTION C | SPRING/FALL EQUINOX  
12 PM



OPTION C | SPRING/FALL EQUINOX  
3 PM

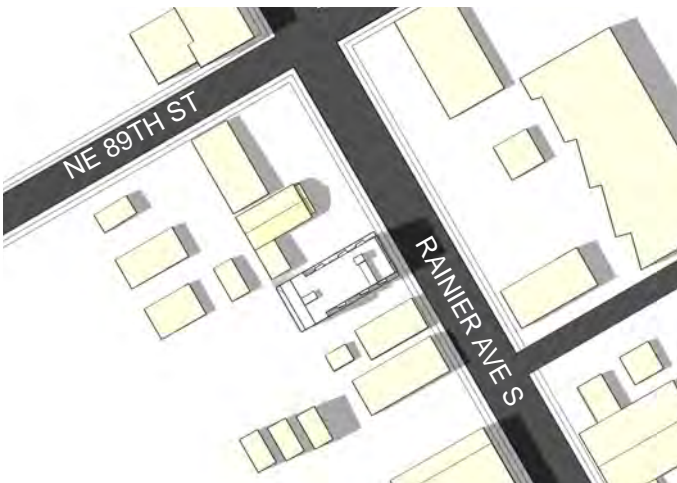
SUMMER SOLSTICE



OPTION C | SUMMER SOLSTICE  
9 AM

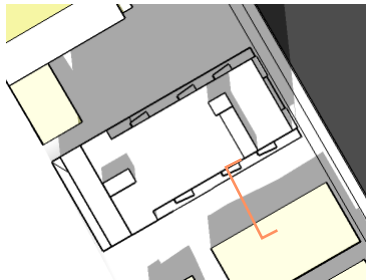
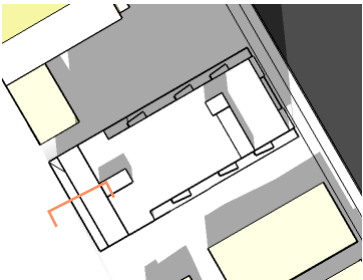
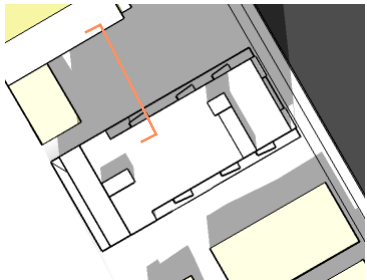
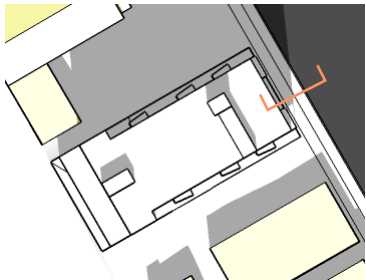


OPTION C | SUMMER SOLSTICE  
12 PM

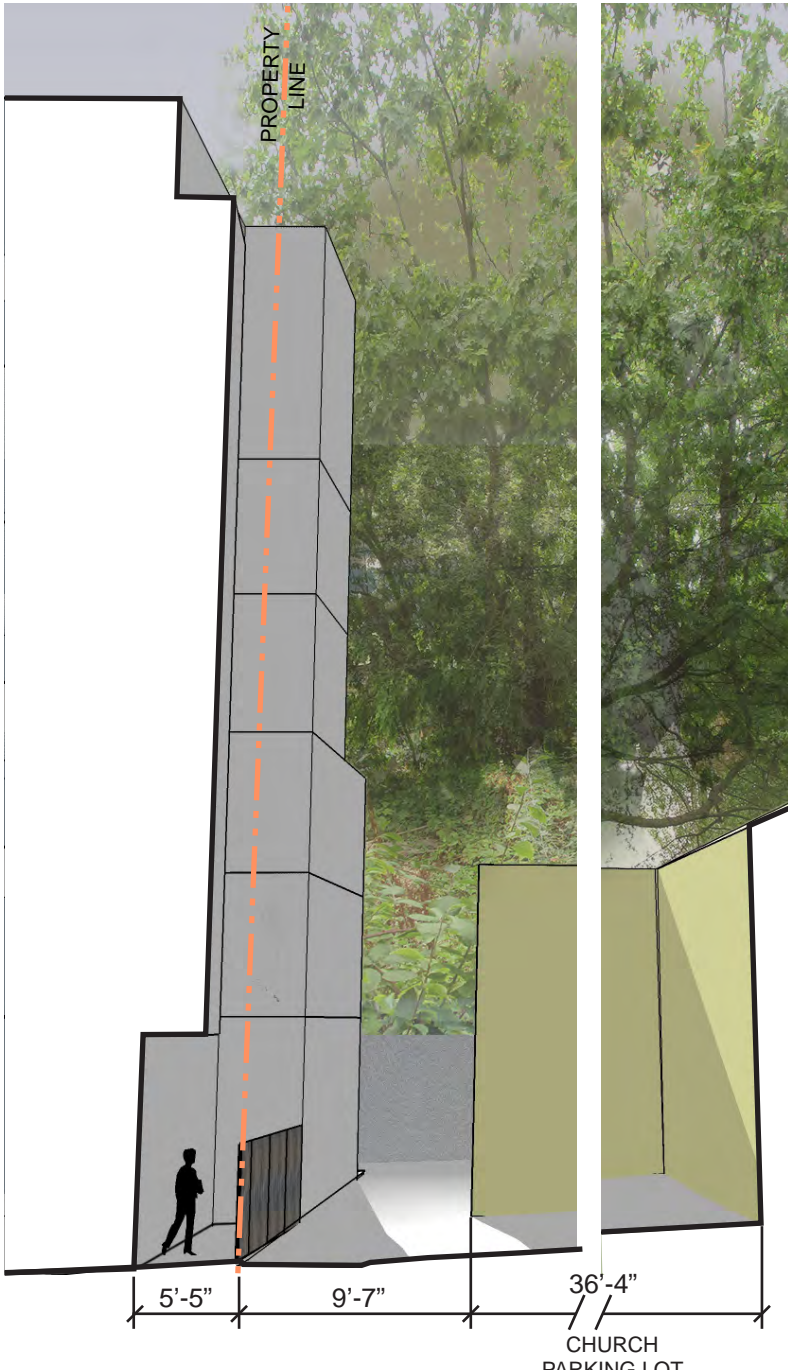


OPTION C | SUMMER SOLSTICE  
3 PM

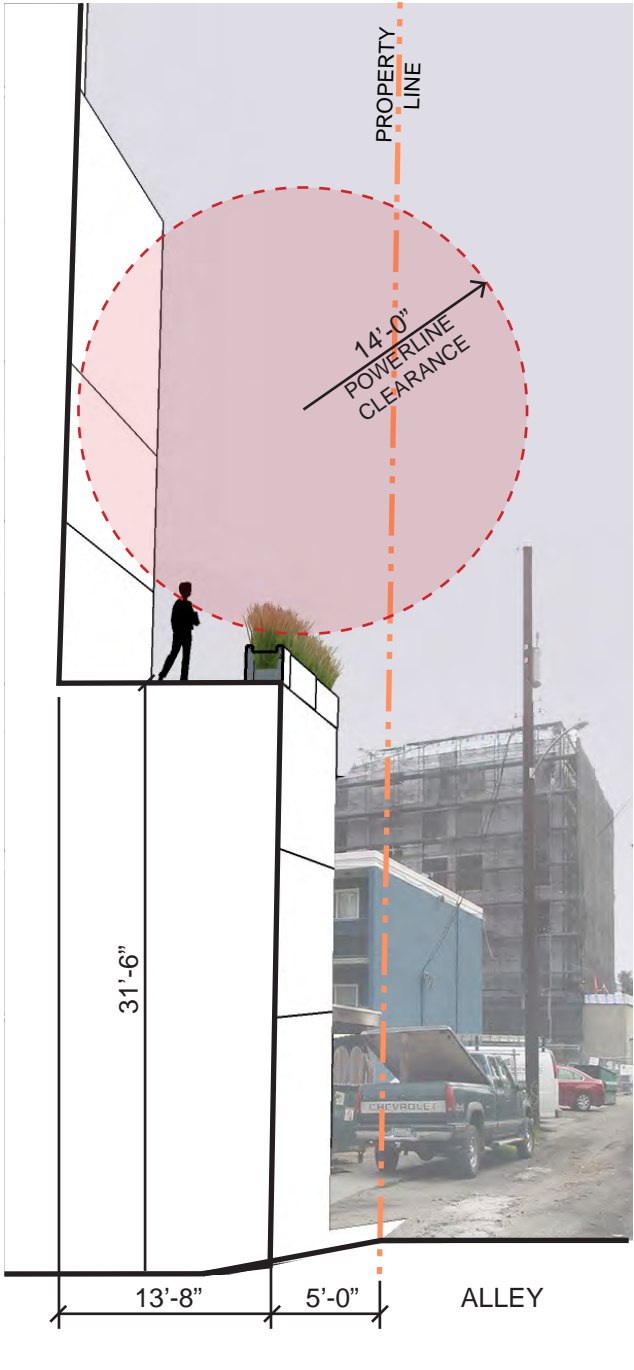
OPTION C | **PREFERRED** | SITE EDGE ANALYSIS



SECTION 1



SECTION 2



SECTION 3



SECTION 4

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