



# 2ND & BELL

2234 2ND AVE, SEATTLE

SDCI Project #3020027-LU

Recommendation Packet | REC

Meeting Date : MAY 24TH, 2022

. THIS PAGE HAS BEEN INTENTIONALLY LEFT BLANK .



# TABLE OF CONTENTS

SITE INFORMATION ..... 4

CONTEXT ANALYSIS ..... 5

· surrounding buildings

· surrounding uses

ZONING SUMMARY ..... 7

· (zone DMR/R 95/65)

EDG SUMMARY ..... 8

· massing options

ARC SUMMARY ..... 9

· design roadmap

· arc meeting response

EDG RESPONSE..... 12

SITE SURVEY ..... 21

SITE PLAN ..... 22

FLOOR PLAN ..... 23

LANDSCAPE ..... 28

· site plan and level 2

· level 8 and roof plan

ELEVATION ..... 30

MATERIAL AND COLOR..... 34

SITE CONTEXT ..... 35

RENDERINGS ..... 37

LIGHTING ..... 40

· ground floor plan

· roof plan

· west elevation

· north elevation

· south elevation

· visuals

SIGNAGE CONCEPT..... 46

SECTION 1 ..... 47

· south - north

SECTION 2..... 48

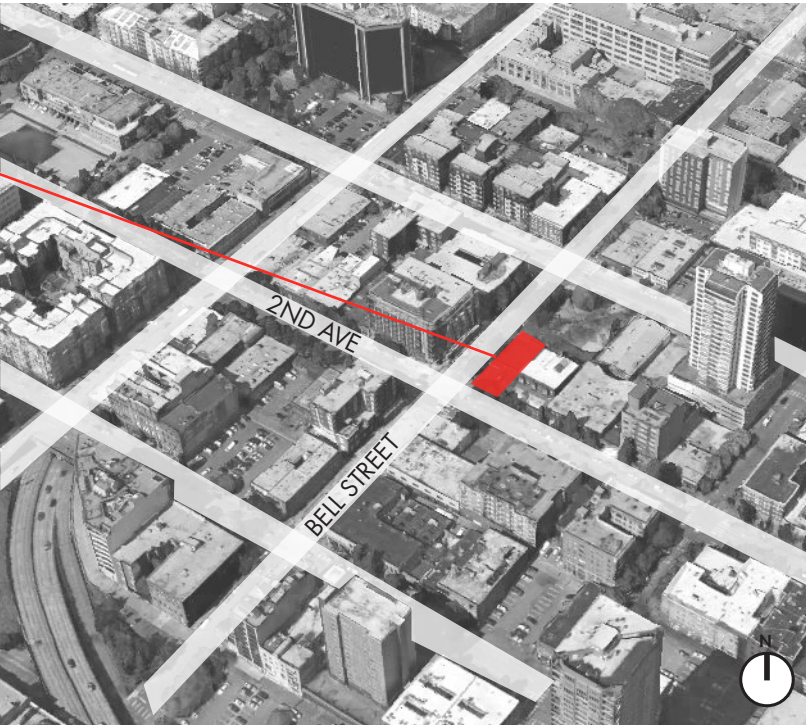
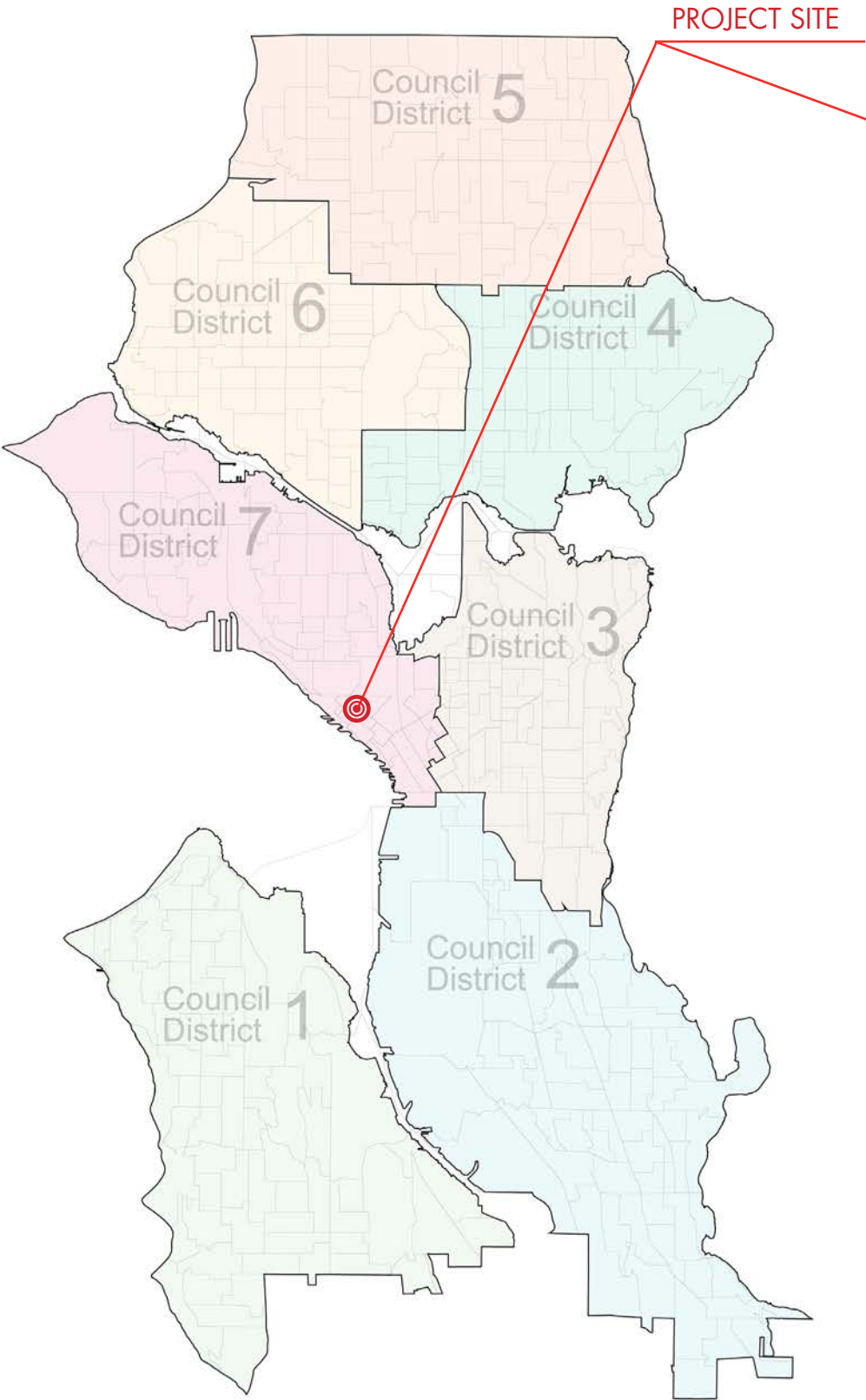
· west - east

DEPARTURE REQUEST..... 49

SUPPLEMENTAL INFORMATION ..... 57

· site analysis

· shadow analysis



## PROJECT TEAM

**OWNER**  
Minglian Realty, LLC

**ARCHITECT**  
Studio19 Architects  
207½ 1<sup>st</sup> Ave S.  
Suite 300  
Seattle, WA 98104  
206.466.1225

**LANDSCAPE ARCHITECT**  
AHBL  
1220 6th Ave, Suite 1620  
Seattle, WA 98101  
206.267.2425



# SITE INFORMATION

**Project Location:**

2234 2nd Ave,  
Seattle WA 98121

**Parcel #:**

0694000035

**Lot Size:**

6,480 SF

**FAR Allowed:**

DMR/R 95/65 Base FAR: 1  
DMR/R 95/65 Max FAR: 1.5  
Note: Residential use exempts from FAR

**Applicable Code:**

Seattle Municipal Code , Title 23 Land Use Code

**Base Zone:**

DMR/R 95/65

**Overlay Zones:**

Belltown Urban Center Village

**Adjacent Zones:**

South West: DMR/C 95/75  
South East: DMC 240/290-440  
North West: DMR/R 280/65  
North East: DMR/R 145/65

**Street Frontage:**

2nd Ave, Bell Street, Alley

**Design Guidelines:**

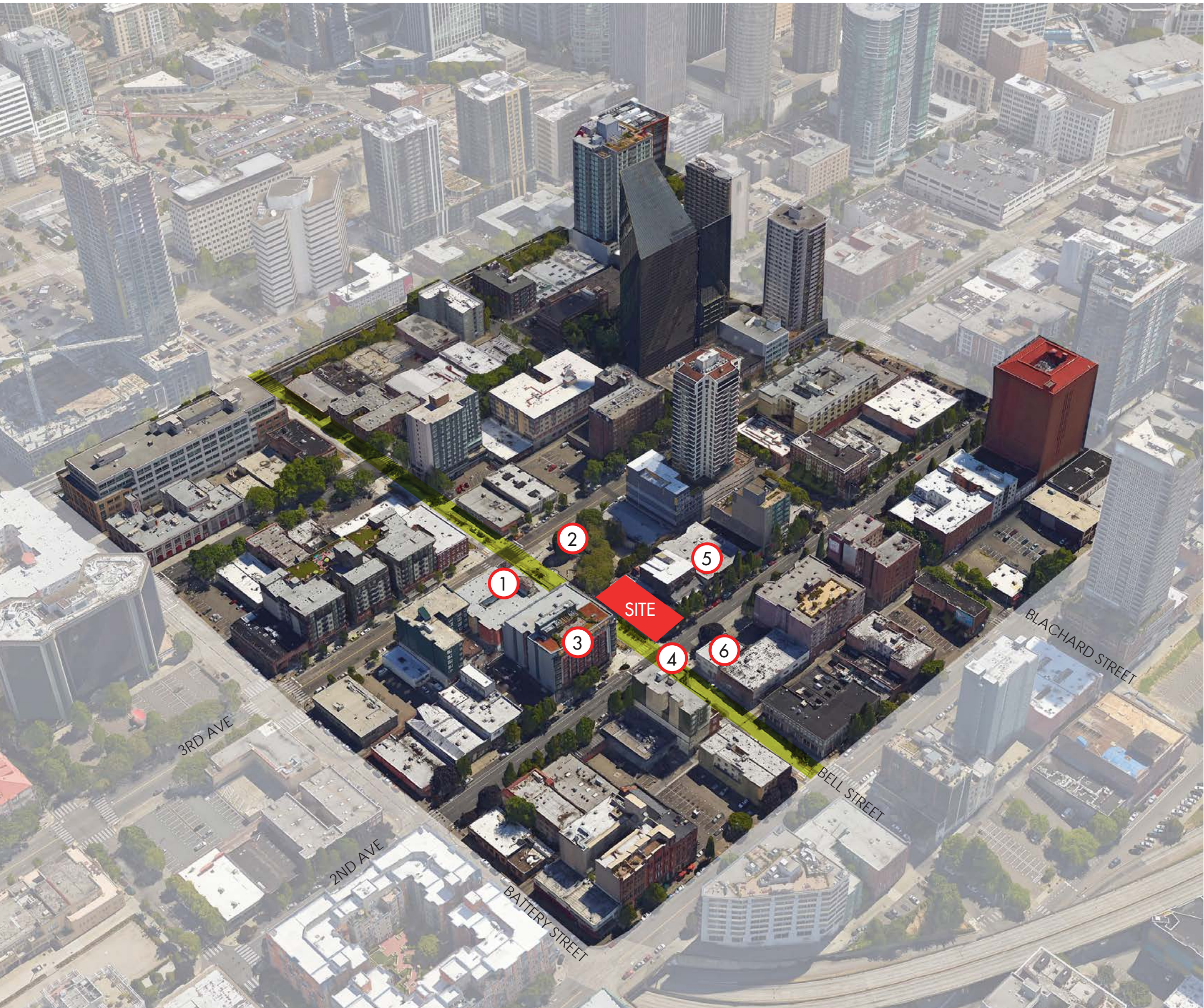
Belltown Urban Center Village Guideline

**Project Summary:**

Units : 59  
Commercial SF : 1,155 SF  
FAR : 0.31

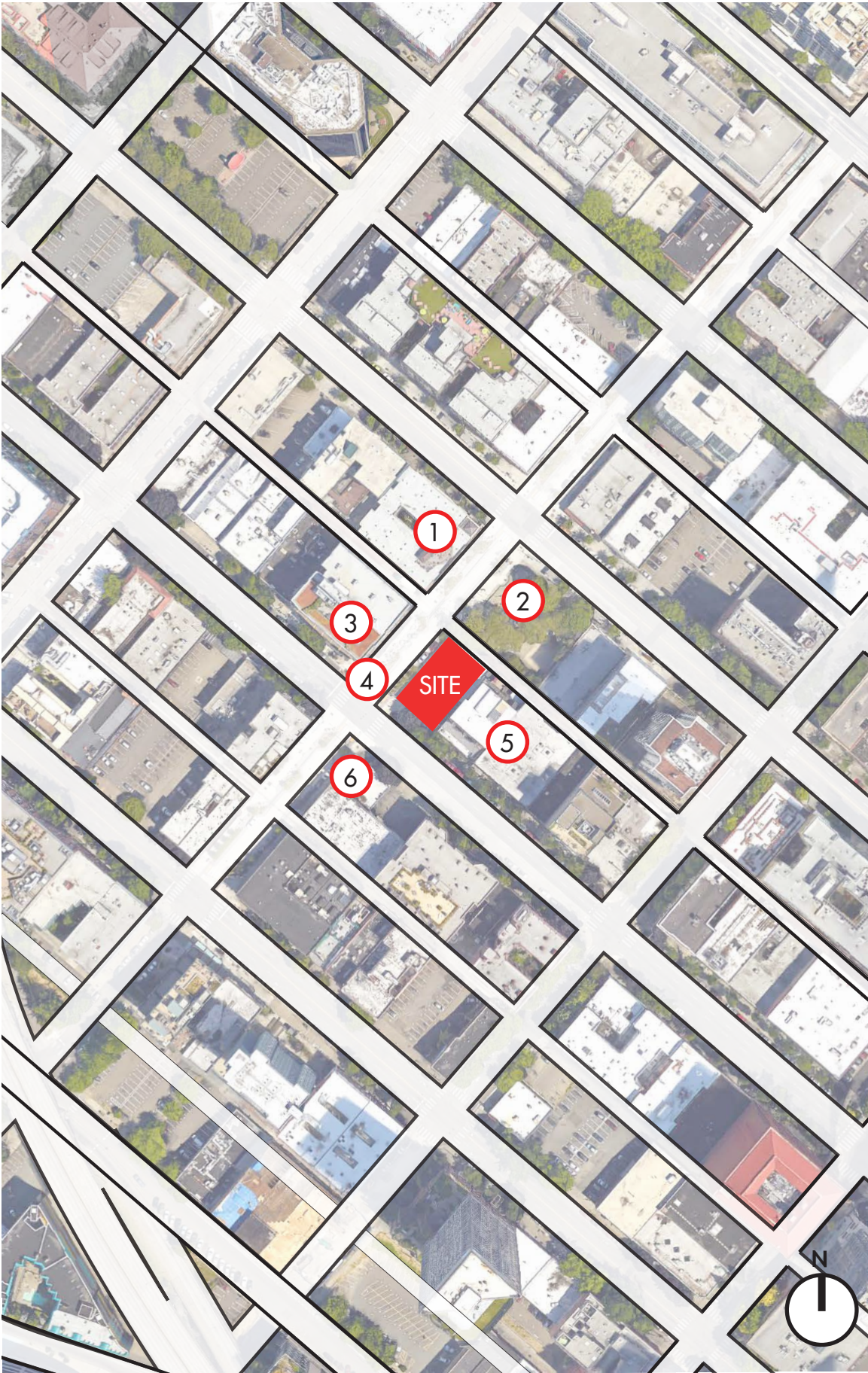
**Project Description:**

The 2nd and Bell mixed-use apartments project is located at 2234 2nd Avenue in the Belltown neighborhood of Downtown Seattle. The site is located at the corner of 2nd Avenue and Bell Street and is across the alley from Regrade Park, a dog park owned by the City of Seattle. The project includes 7 levels of residential units over 1 floor of ground level lobby retail space. There are 59 apartment units including SEDUs, Studios, Open one-bedroom, One-bedroom and Two-bedroom units. Total area for the building is 44,040 sf, including 1,155 SF of retail space on the ground level. There is no parking provided.





# CONTEXT ANALYSIS    SURROUNDING BUILDINGS



**1- BELLTOWN INN**  
2301 3<sup>RD</sup> Avenue | 2-Star Hotel  
The Belltown Inn is a staple of the Belltown neighborhood, providing inexpensive accommodations to those visiting Seattle or wanting to rent temporarily in the city. Located on busy 3rd Ave where the majority of bus lines run, its brightly colored facade and signage is widely recognized.



**2- REGRADE PARK**  
2251 3rd Avenue | Dog park  
This dog park is a huge asset to the residents of Belltown and sits in the middle of the recently completed Bell Street park. This open space adjacent to our site will serve as an important amenity for our residents.



**3- 206 BELL APARTMENTS**  
206 Bell Street | Mixed-use building  
The 206 Bell apartments face our site directly across Bell St. As part of the new face of Belltown, these apartments serve as a strong precedent in our area for articulation of the street level, retail entries, and facade modulation.



**4- BELL STREET PARK**  
Bell Street, 1st-5th Ave | Parkline Corridor with one lane of traffic  
The Bell Street park is perhaps the most important recent addition to the Belltown neighborhood. This park runs from 1st to 5th Ave along Bell St and turns those five blocks into an urban park, with lots of landscaping, seating, public art, and changes in paving material. It has truly reinvigorated the pedestrian experience.



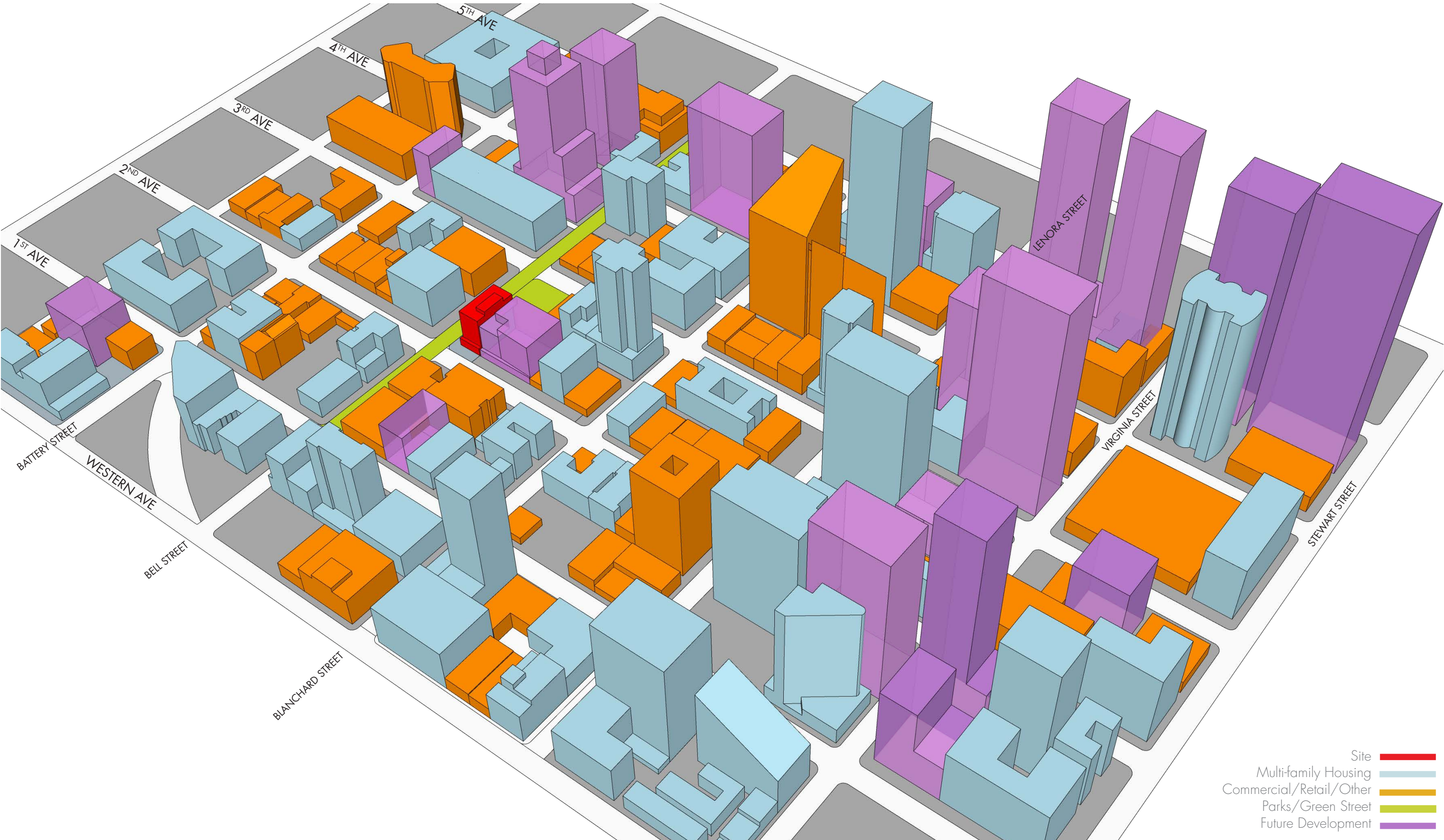
**5- 2224 2ND AVE APARTMENTS**  
This project consists of an 8 story apartment building with 2 levels of below-grade parking. The ground level street frontage will contain restaurant/bar/retail space fronting 2nd Avenue, and some also fronting the alley. The 8th floor will contain a large outdoor amenity that will be connected to a smaller amenity space on the roof.



**6- BEDLAM COFFEE**  
2231 2nd Avenue | Grunge coffee shop  
Bedlam Coffee, similar to Rocco's, is another establishment that is a key part of the character and public life of 2nd Avenue in Belltown.



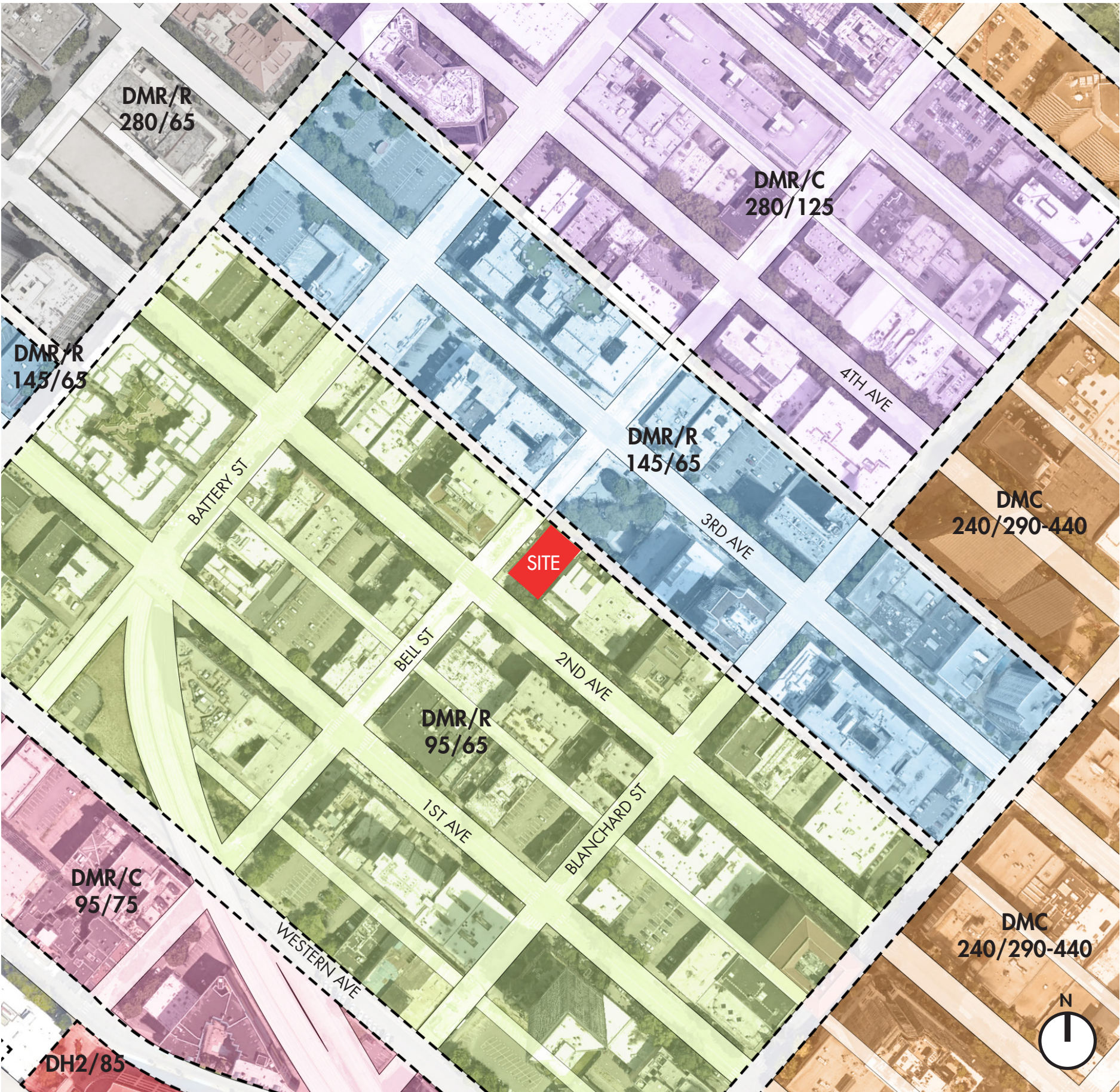
CONTEXT ANALYSIS    SURROUNDING USES





# ZONING SUMMARY (ZONE DMR/R 95/65)

- Structural Height 23.49.008**  
Height in DMR/R 95/65 23.49.008.A,C.  
65' height limit for non-residential and live/work units, 95' height limit for residential.
- Roof-Top Features 23.49.008.D.1.a**  
The combined coverage of all rooftop features within 35% of the roof area. (1) Solar collectors; stair penthouses; mechanical equipment up to 15 feet above the applicable height limit. (2) Elevator penthouses designed for a cab more than 8 feet high up to 25 feet above the applicable height limit. (3) Rooftop screening up to 15 feet above the applicable height limit.
- Street-Level Use Requirements 23.49.009**  
**General Standards 23.49.009.B.1**  
A minimum of seventy-five (75) percent of each street frontage at street level where street level uses are required must be occupied by uses listed in subsection A. The remaining twenty-five (25) percent of the street frontage at street level may contain other permitted uses and/or pedestrian or vehicular entrances
- General Standards 23.49.009.B.3**  
Required street-level uses shall be located within 10 feet of the street lot line, except as follows:  
a. if a public open space that meets the eligibility conditions for eh Downtown Amenity Standards abuts the street, the required street-level uses shall abut the open space;  
b. If sidewalk widening is required by Section 23.49.022, the 10 feet shall be measured from the line established by the new sidewalk width.
- General Standards 23.49.009.B.4**  
Pedestrian access to required street-level uses shall be provided as follows:  
a. Pedestian entrances shall be provided directly from the street and shall be located no more than 3 feet above or below sidewalk grade.
- General Requirements for Residential use 23.49.010**  
**Common Recreation Area Required 23.49.010.B**  
Common recreation area is required for all new development with more than twenty (20) dwelling units
- CRA Area Requirement 23.49.010.B.1**  
Min 5% of total gross floor area in residential use, but not more than lot area, to be available to all residents
- CRA Enclosed Area 23.49.010.B.2**  
Max of 50% of CRA can be enclosed
- CRA Open Space Street Level 23.49.010.B.4**  
Open space at street level shall be counted at twice the actual area
- CRA Green Street Development 23.49.010.B.9**  
Max of 50% of CRA to be met from contribution to a Green Street
- Floor area ratio 23.49.011**  
**Street-Level Exemption 23.49.011.B.1.b**  
Street-level use is FAR exempt if: 13' floor to floor, 1.5' min depth, overhead protection provided per 23.49.018
- Residential Use Exemption 23.49.011.B.1.f**  
Residential use is FAR exempt
- Live-Work Use Exemption 23.49.011.B.1.g**  
Live-work is FAR exempt
- Below Grade Exemption 23.49.011.B.1.k**  
Floor area below grade is FAR exempt





# EDG SUMMARY MASSING OPTIONS



## OPTION 1

### PROS

- Lobby located in SW corner along 2nd Ave
- Maximized unit efficiency
- Retail space wraps all three site edges (2nd Ave, Bell St, and alley)
- Massing clearly expresses distinction between residential and retail spaces

### CONS

- Retail edge doesn't step back from property line at either Bell St or 2nd Ave
- Roof deck doesn't overlook either street corner

### DEPARTURES:

- None requested



## OPTION 2

### PROS:

- Lobby located on Bell St facing Regrade Park
- Opens to all three sides (2nd Ave, Bell St, and the alley)
- Retail along the main corner and all of 2<sup>ND</sup> Avenue
- Retail steps back from property line on Bell St & 2nd Ave to allow for wider walkway / cafe seating
- Clear distinction between residential and retail
- Strong corner statement
- Roof deck overlooks Regrade Park

### CONS:

- Less modulation at upper levels

### DEPARTURES:

- None requested



## OPTION 3 (PREFERRED OPTION)

### PROS

- Extruded corner element responds to views & street activity along 2<sup>nd</sup> Ave. and Bell St.
- Modulated façade responding to external context
- Central lobby space with plaza
- Retail at both building corners that will provide activity on all three street edges
- Building steps back from property line at both 2nd & Bell to allow wider walkways, cafe seating, and greater pedestrian transparency at the corner
- Roof deck overlooks 2nd Ave and the waterfront view beyond

### CONS

- Divided retail spaces may be more difficult to rent

### DEPARTURES:

- None requested



# ARC SUMMARY DESIGN ROADMAP




## MASSING PREFERRED BY DESIGN REVIEW BOARD

- Massing option is preferred as it appeared to be best respond to all sides: 2nd Ave, Bell St and Regrade Park
- The Board recommended the project to be designed as a whole and not emphasize only the corner of 2nd Ave and Bell St
- Continuing the storefront language with a contemporary tower above is encouraged
- Use of glass supported by the Board
- Ground floor retail encouraged

January 18, 2017

The City of Seattle's Landmarks Preservation Board voted to approve the designation of the building as a Seattle Landmark.

The features of the Landmark to be preserved include:  
The exterior of the building.



ARK MEETING #1 MASSING OPTION 1



ARK MEETING #1 MASSING OPTION 2

## INITIAL MASSING CONCEPTS INTEGRATING LANDMARK DESIGNATION

- Overall massings derived from EDG massing option 1 as it is preferred by the board
- Contemporary tower with use of glass in the upper floors, per board's comments
- Second-floor setback to differentiate the contemporary tower from the existing Landmark structure
- Keeping the majority of the existing ground floor structure, per ARC's requirement, with potential minor improvement including new storefront windows and new canopies along the street



# ARC SUMMARY DESIGN ROADMAP

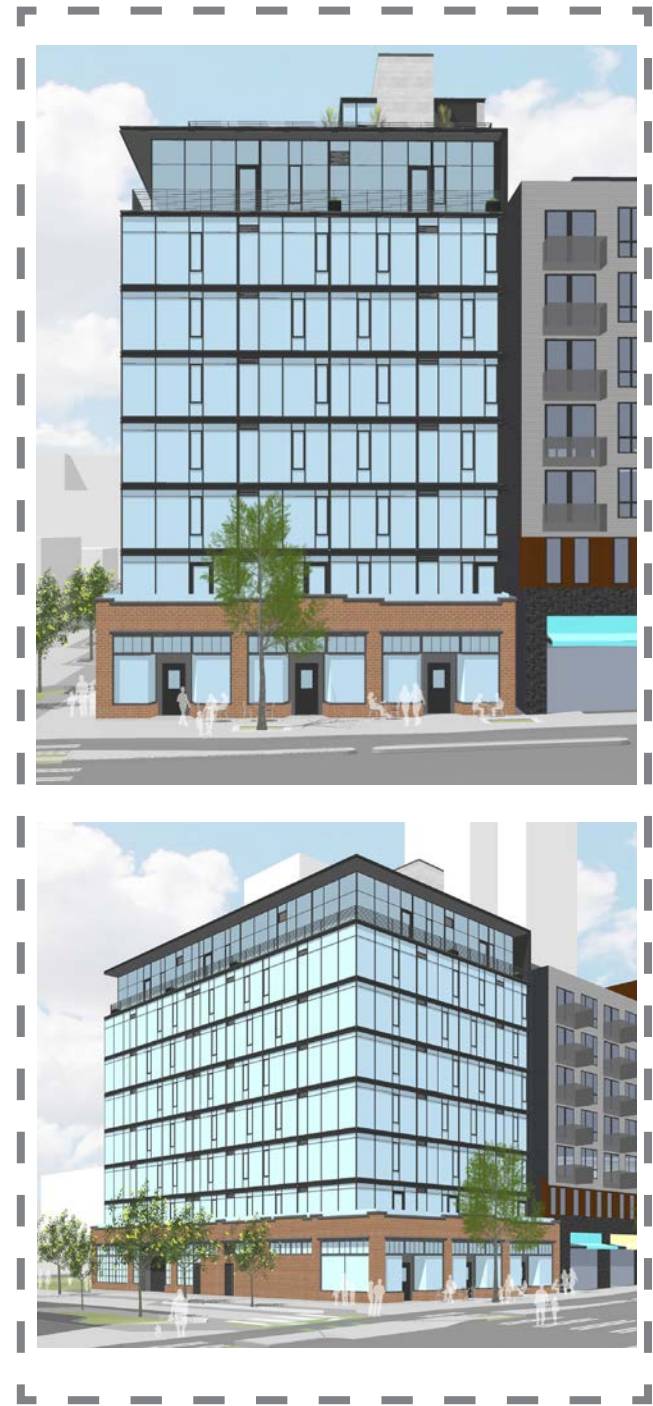
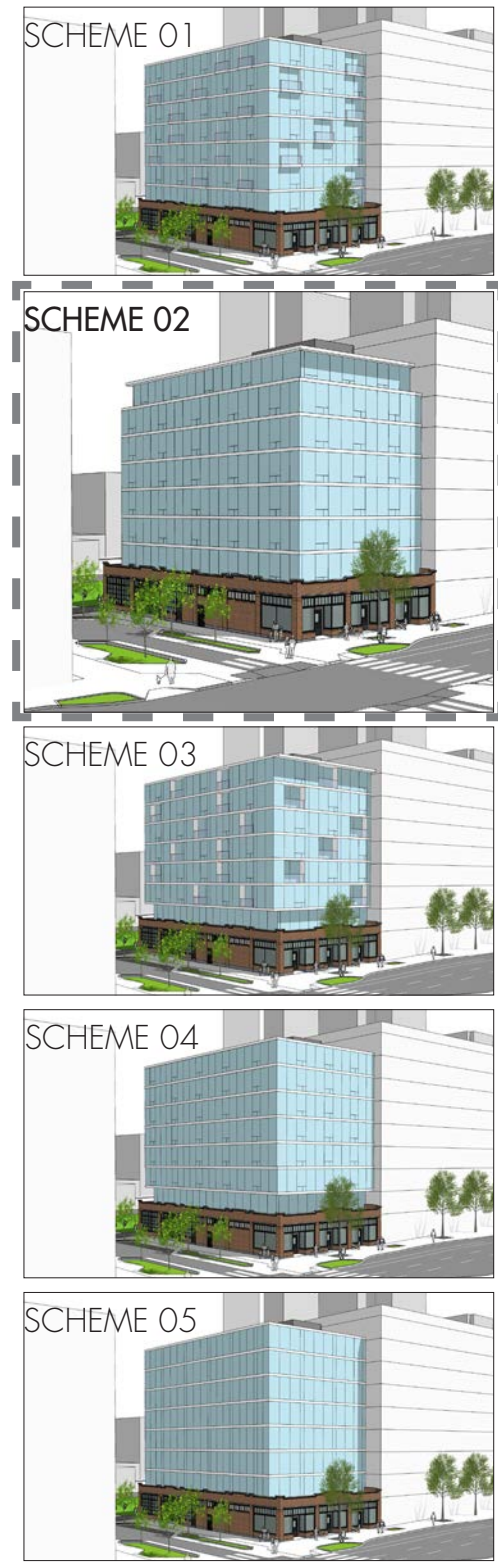
ARK MEETING #1 - APR 14, 2017

ARK MEETING #2 - JUL 14, 2017

ARK MEETING #3 - FEB 15, 2019

ARK MEETING #4 - APR 26, 2019

ARK MEETING #5 - OCT 19, 2020



**Meeting #2 Board Key Comments:**  
1. Glass tower is supported but to be differentiated from the historic structure and less dominant  
2. Preserve historic building as much as possible

**Meeting #3 Board Key Comments:**  
1. Respond to historic building's roofline  
2. Study the tower roof and window walls  
3. Explore recess (modulation) opportunities at the upper massing  
4. Bring back the gasket if possible

**Meeting #4 Board Key Comments:**  
1. Window patterns to respond to the landmark building below  
2. Further setback on 2nd Ave Encouraged



# ARC SUMMARY ARC MEETING RESPONSE

The original building on the site was landmarked after the EDG meeting, since then there have been 4 meetings with the Seattle Landmark Review Board (ARC) from April 14th, 2017 to today. Here is the detailed summary of their recommendations for the building design.

- 1. Preserve and restore the existing building facade to the original state, and separate the old and the new volumes.
- 2. Use of simple form and glass were supported by the board, as it allows the landmark structure to remain distinctive while the addition appearing to be light.
- 3. Proposed project is further developed based on Scheme 2 which was supported by the board from ARC meeting #4.
- 4. The glass facade design respond to the landmark building below through adopting an alternating rhythm that simulates the layout of landmark building storefronts. The window frame color also matches the trims on the landmark building.



SCHEME 2 FROM ARC MEETING #4



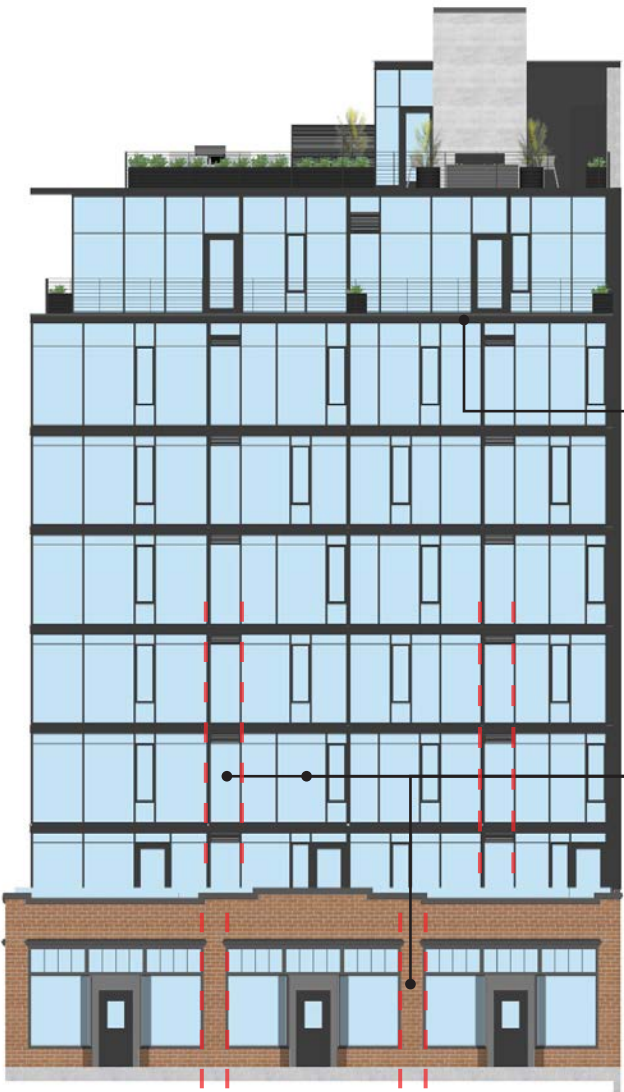
VIEW FROM CORNER OF 2ND AVE AND BELL ST

Building features such as recessed top floor and roof overhang, further developed from scheme 2

Massing developed based on scheme 2

Glass guardrail to ease the transition between upper and lower level facades

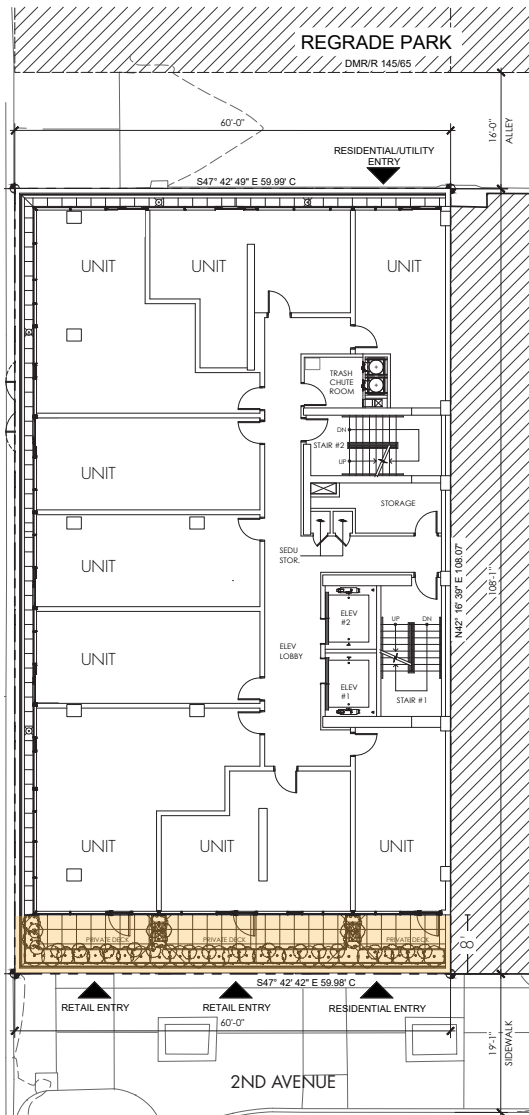
Preserve the existing building on 3 main facades



SOUTH ELEVATION

Window frame color to match the trims on the landmark building

The fenestration design adopts an alternating rhythm that simulates the facades of the original landmark building



SECOND FLOOR PLAN



# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 1. SITE PLANNING AND PUBLIC REALM.

The site is bound by 2nd Ave, Bell St, and Regrade Park.

a. The Board discussed the character of the neighborhood, and the vitality of small retail spaces. The Board supported the ground floor program of Concept 3 as it provided two small retail spaces divided by the residential lobby. The proposal was described as making a bold gesture by wrapping the retail space to the alley and Regrade Park, which was supported. The Board recommended further exploration and refinement of the ground floor programming with a design of human scale that engages the pedestrians with the activities occurring within the building. (A1-1, C1-1, C4-1)

b. While the ground floor of each concept was supported, the Board agreed the lobby should be on 2nd Ave or Bell St and not the alley (A1-1, C4-2)

c. Landscaping will be an important component of responding to Regrade Park and Bell St. The Board agreed the early concepts appear to be responsive and recommended creative landscape treatments at building entrances. Include landscaping details in the Recommendation packet. (C4-1, C4-2, C1-III, D2-1, D2-1, D3-II)

d. The concepts explored various locations for the rooftop deck. The Board did not express a preference for the location of the roof deck, but commented that a roof deck at the west portion of the roof would offer views and the opportunity for pedestrians to see the deck from the street. (A1-1, A1-I, D1-3)

e. The Board recommended that adequate lighting be provided to promote the feeling of personal safety in the immediate area, particularly near Regrade Park. Include a lighting plan in the Recommendation packet. (D5-1, D6-1)

### RESPONSE:

a: Since the EDG meeting the building has been designated as a Landmark. The ground floor plan needed to be reprogrammed to keep the façade intact with minor changes and that has affected the way in which the programming could be. In response to the Board's comments the retail spaces have been located on the prominent corner of the building and are designed so that they can be separated into two smaller spaces if desired. The middle of the ground floor along Bell, which doesn't have storefront windows is used for bike storage and the transformer room and the corner at Bell and the Alley has been programmed to be Amenity space for the residents that will activate that side of the building.



RETAIL ENTRANCE      RESIDENTIAL LOBBY

VIEW FROM 2ND AVE / BELL ST



UTILITY ACCESS      AMENITY SPACE      UTILITY / STORAGE ACCESS

VIEW FROM ALLEY



# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 1. SITE PLANNING AND PUBLIC REALM.

The site is bound by 2nd Ave, Bell St, and Regrade Park.

a. The Board discussed the character of the neighborhood, and the vitality of small retail spaces. The Board supported the ground floor program of Concept 3 as it provided two small retail spaces divided by the residential lobby. The proposal was described as making a bold gesture by wrapping the retail space to the alley and Regrade Park, which was supported. The Board recommended further exploration and refinement of the ground floor programming with a design of human scale that engages the pedestrians with the activities occurring within the building. (A1-1, C1-1, C4-1)

b. While the ground floor of each concept was supported, the Board agreed the lobby should be on 2nd Ave or Bell St and not the alley (A1-1, C4-2)

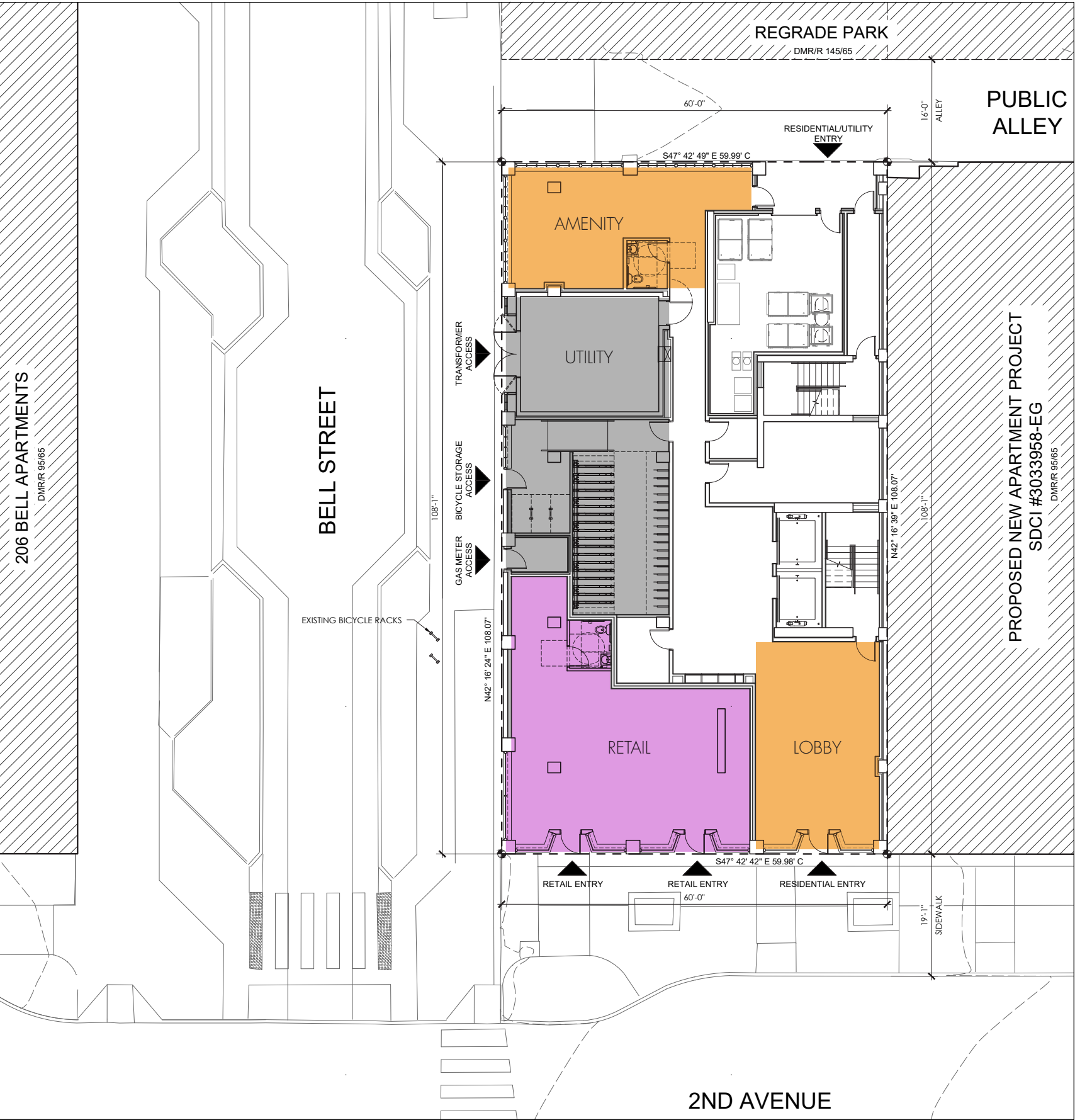
c. Landscaping will be an important component of responding to Regrade Park and Bell St. The Board agreed the early concepts appear to be responsive and recommended creative landscape treatments at building entrances. Include landscaping details in the Recommendation packet. (C4-1, C4-2, C1-III, D2-1, D2-I, D3-II)

d. The concepts explored various locations for the rooftop deck. The Board did not express a preference for the location of the roof deck, but commented that a roof deck at the west portion of the roof would offer views and the opportunity for pedestrians to see the deck from the street. (A1-1, A1-I, D1-3)

e. The Board recommended that adequate lighting be provided to promote the feeling of personal safety in the immediate area, particularly near Regrade Park. Include a lighting plan in the Recommendation packet. (D5-1, D6-1)

### RESPONSE:

b: We agree with the Board and have designed the Lobby to be located along 2nd Ave.



SITE PLAN



EDG RESPONSE

BOARD RECOMMENDATIONS & RESPONSES:

1. SITE PLANNING AND PUBLIC REALM.

- The site is bound by 2nd Ave, Bell St, and Regrade Park.
- a. The Board discussed the character of the neighborhood, and the vitality of small retail spaces. The Board supported the ground floor program of Concept 3 as it provided two small retail spaces divided by the residential lobby. The proposal was described as making a bold gesture by wrapping the retail space to the alley and Regrade Park, which was supported. The Board recommended further exploration and refinement of the ground floor programming with a design of human scale that engages the pedestrians with the activities occurring within the building. (A1-1, C1-1, C4-1)
  - b. While the ground floor of each concept was supported, the Board agreed the lobby should be on 2nd Ave or Bell St and not the alley (A1-1, C4-2)
  - c. Landscaping will be an important component of responding to Regrade Park and Bell St. The Board agreed the early concepts appear to be responsive and recommended creative landscape treatments at building entrances. Include landscaping details in the Recommendation packet. (C4-1, C4-2, C1-III, D2-1, D2-1, D3-II)
  - d. The concepts explored various locations for the rooftop deck. The Board did not express a preference for the location of the roof deck, but commented that a roof deck at the west portion of the roof would offer views and the opportunity for pedestrians to see the deck from the street. (A1-1, A1-I, D1-3)
  - e. The Board recommended that adequate lighting be provided to promote the feeling of personal safety in the immediate area, particularly near Regrade Park. Include a lighting plan in the Recommendation packet. (D5-1, D6-1)

RESPONSE:

- c: Since the EDG meeting the building has been designated as a Landmark. The existing building takes up most of the lot footprint, so there are not any areas for new landscaping on the ground level other than the along the ROW, which has already been improved. However, landscaping has been provided on the second level deck along 2nd Ave, on the eighth floor deck and on the roof deck.
- d: The roof deck has been located on the corner of 2nd and Bell as this will be able to interact with the pedestrians below as well as take advantage of the views of the water.
- e: A lighting plan is included in the packet for review. In our meetings with ARC Landmark Board they discussed new lighting on the Landmark structure and have encouraged us not to add any lighting at the ground level so the Landmark façade is not changed.



PLANT SCHEDULE			
SHRUBS	COMMON NAME	CONT	QTY
	CARMEL CREEPER	2 GAL	8
	ROZANNE CRANESBILL	2 GAL	15
	WHITE OUT ROSE	3 GAL	12
	ROSEMARY	3 GAL	6
	HEATWAVE GLIMMER SAGE	2 GAL	13





# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 2. ARCHITECTURAL CONCEPT.

The Board complimented the three concepts, describing them as well thought out, each with much potential.

a. The Board preferred the proposed massing of Option 1 as it appeared to best respond to all sides: 2nd Ave, Bell St, and Regrade Park. The Board recommended the project be designed as a whole and not emphasize only the corner of 2nd Ave and Bell St. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1).

b. Speaking to the immediate context, the Board noted buildings that express an articulation of parts, while others a continuous skin with punched windows. The Board agreed the project should respond to the neighborhood context, and recommended exploration of continuing the storefront language of 2nd Avenue with a contemporary tower above. Use of glass was supported. Scale, mass, texture, and materials will be important elements of expressing the architectural concept. Include these details in the Recommendation packet. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1)

c. Portions of the building will be visible from all sides. For this reason, the Board recommended all facades be carefully detailed to clearly express the architectural concept. The concept should be the applicant’s interpretation of the Belltown character. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1)

### RESPONSE:

a: Since the EDG meeting the building has been designated as a Landmark and had gone through a series of reviews with Landmark ARC committee. As a result of the landmark designation and recommendation by the ARC board, The project has been designed to be setback from the Landmark structure and be very simple in form and materials. The upper level has been setback to provide relief at the upper floor and also provide a terminus for the building per the ARC Landmark Board’s recommendation. All sides have been designed thoughtfully along 2nd Ave, Bell and the Alley per the Board’s recommendation.

Contemporary glass tower above  
Landmark Structure to remain



STREET VIEW FROM WEST / 2ND AVE



AERIAL VIEW FROM WEST / 2ND AVE



# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 2. ARCHITECTURAL CONCEPT.

The Board complimented the three concepts, describing them as well thought out, each with much potential.

a. The Board preferred the proposed massing of Option 1 as it appeared to best respond to all sides: 2nd Ave, Bell St, and Regrade Park. The Board recommended the project be designed as a whole and not emphasize only the corner of 2nd Ave and Bell St. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1).

b. Speaking to the immediate context, the Board noted buildings that express an articulation of parts, while others a continuous skin with punched windows. The Board agreed the project should respond to the neighborhood context, and recommended exploration of continuing the storefront language of 2nd Avenue with a contemporary tower above. Use of glass was supported. Scale, mass, texture, and materials will be important elements of expressing the architectural concept. Include these details in the Recommendation packet. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1)

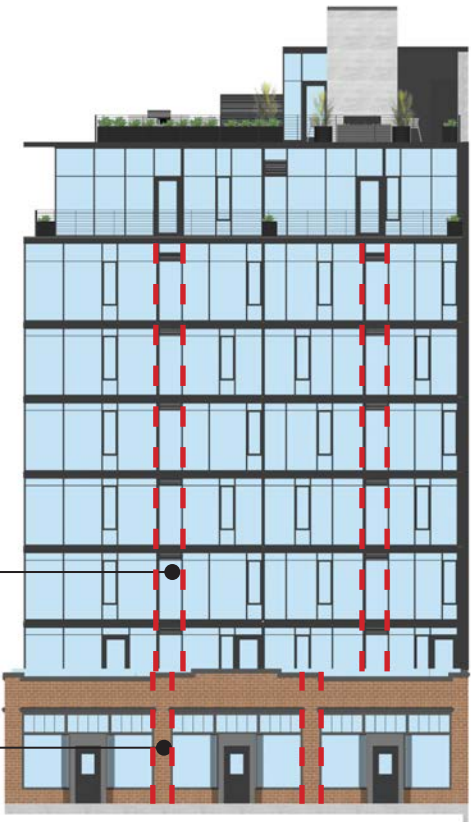
c. Portions of the building will be visible from all sides. For this reason, the Board recommended all facades be carefully detailed to clearly express the architectural concept. The concept should be the applicant's interpretation of the Belltown character. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1)

### RESPONSE:

b: Since the EDG meeting the building has been designated as a Landmark. The first level of the building will remain the Landmark structure, while the upper levels will be new construction and create a contemporary glass tower per the Board's recommendation. The main mass is simple and responds to the storefront windows of the Landmark building in terms of scale and location. Scale, mass, texture and materials were all taken into account when designing the upper levels. The upper level is set back to provide a terminus for the building as well as outdoor space for the units. The materials are simple with glass and steel so that they will not detract from the Landmark structure at the ground level. The expressed thicker mullions at the operable windows add residential scale and feel to the upper level mass, and provide articulations to the building facade and served as facade modulation.

c: Since the EDG meeting the building has been designated as a Landmark. All sides of the building have been designed equally and the design concept has been consistent on all sides and feel to the upper level mass, and provide articulations to the building facade and served as facade modulation. Also, the top portion of southeast wall which is adjacent to the property will be visible, so the design was focused on upper level of the southeast wall.

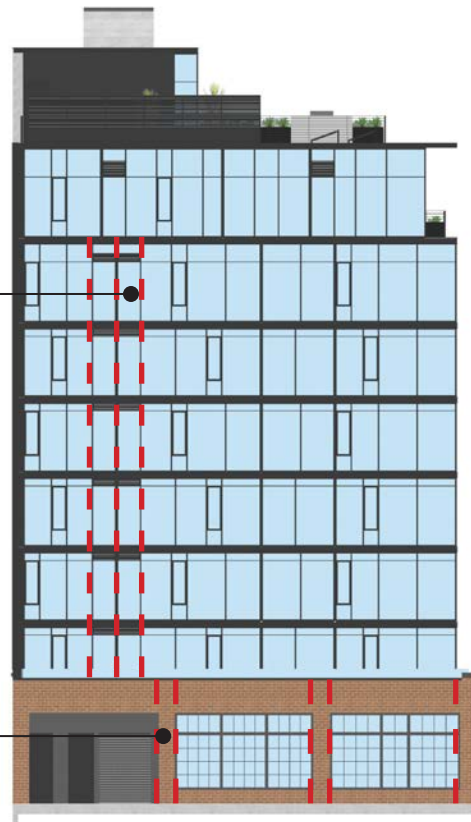
THE FENESTRATION DESIGN ADOPTS AN ALTERNATING RHYTHM THAT CONTINUES THE STOREFRONT LANGUAGE.



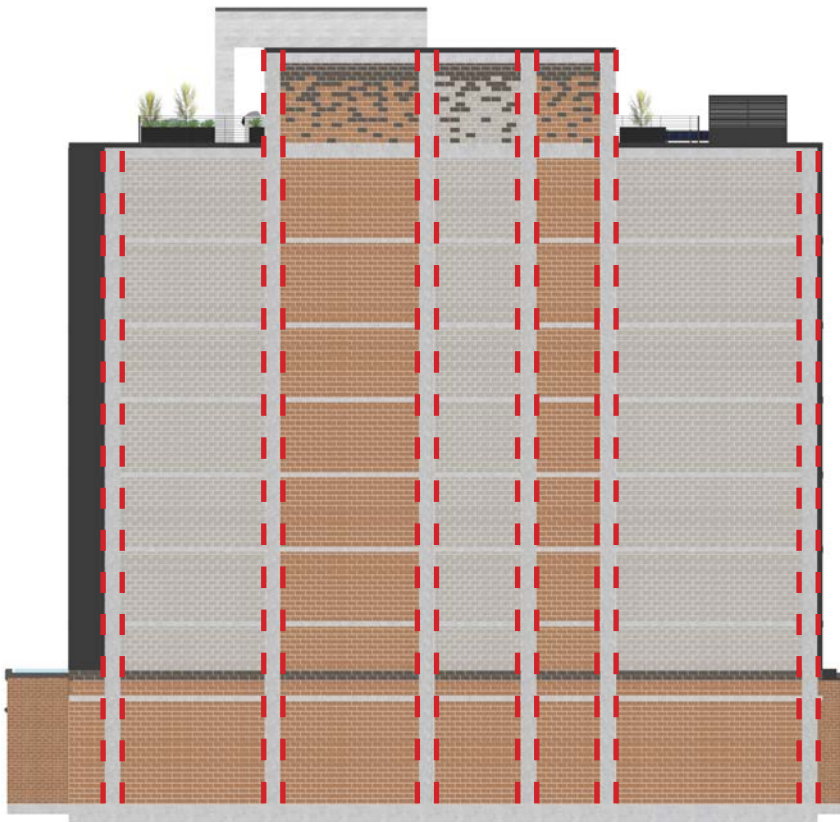
SOUTHWEST ELEVATION



NORTHWEST ELEVATION



NORTHEAST ELEVATION



SOUTHEAST ELEVATION



# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 2. ARCHITECTURAL CONCEPT.

The Board complimented the three concepts, describing them as well thought out, each with much potential.

a. The Board preferred the proposed massing of Option 1 as it appeared to best respond to all sides: 2nd Ave, Bell St, and Regrade Park. The Board recommended the project be designed as a whole and not emphasize only the corner of 2nd Ave and Bell St. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1).

b. Speaking to the immediate context, the Board noted buildings that express an articulation of parts, while others a continuous skin with punched windows. The Board agreed the project should respond to the neighborhood context, and recommended exploration of continuing the storefront language of 2nd Avenue with a contemporary tower above. Use of glass was supported. Scale, mass, texture, and materials will be important elements of expressing the architectural concept. Include these details in the Recommendation packet. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1)

c. Portions of the building will be visible from all sides. For this reason, the Board recommended all facades be carefully detailed to clearly express the architectural concept. The concept should be the applicant’s interpretation of the Belltown character. (A1-1, B1-I, B1-II, B1-III, B1-IV, B2-1, B2-2, B3-1)

### RESPONSE:

b: Since the EDG meeting the building has been designated as a Landmark. The first level of the building will remain the Landmark structure, while the upper levels will be new construction and create a contemporary glass tower per the Board’s recommendation. The main mass is simple and responds to the storefront windows of the Landmark building in terms of scale and location. Scale, mass, texture and materials were all taken into account when designing the upper levels. The upper level is set back to provide a terminus for the building as well as outdoor space for the units. The materials are simple with glass and steel so that they will not detract from the Landmark structure at the ground level. The expressed thicker mullions at the operable windows add residential scale and feel to the upper level mass, and provide articulations to the building facade and served as facade modulation.

c: Since the EDG meeting the building has been designated as a Landmark. All sides of the building have been designed equally and the design concept has been consistent on all sides and feel to the upper level mass, and provide articulations to the building facade and served as facade modulation. Also, the top portion of southeast wall which is adjacent to the property will be visible, so the design was focused on upper level of the southeast wall.



SOUTHEAST WALL / VIEW FROM 2224 2ND AVE APARTMENTS’ ROOFTOP



SOUTHEAST WALL / VIEW FROM 2ND AVE



SOUTHEAST WALL / VIEW FROM REGRADE PARK



EDG RESPONSE



1. EXTENDS ALLEY PAVER PATTERN TO THE RECESSED ENTRY

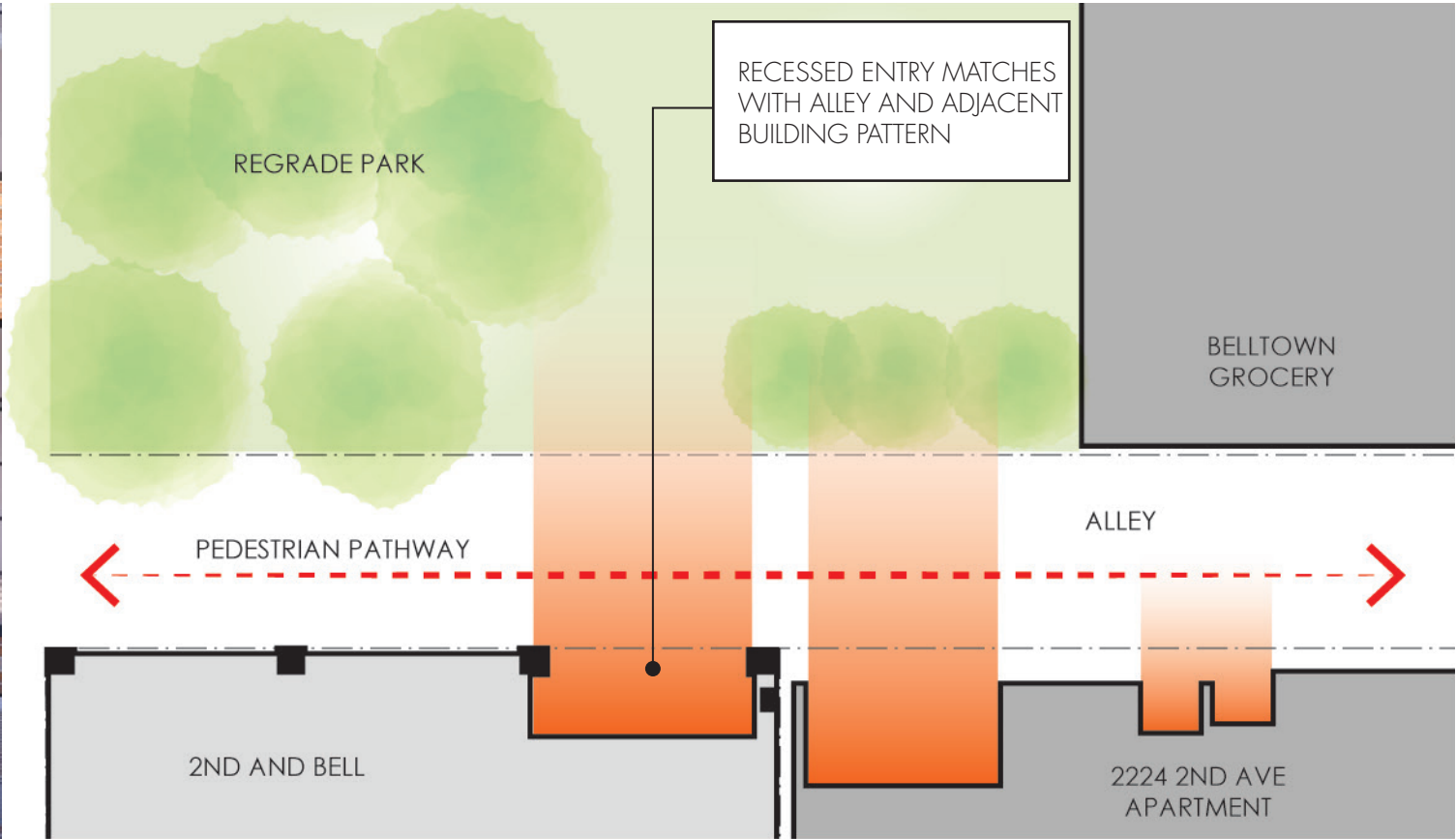
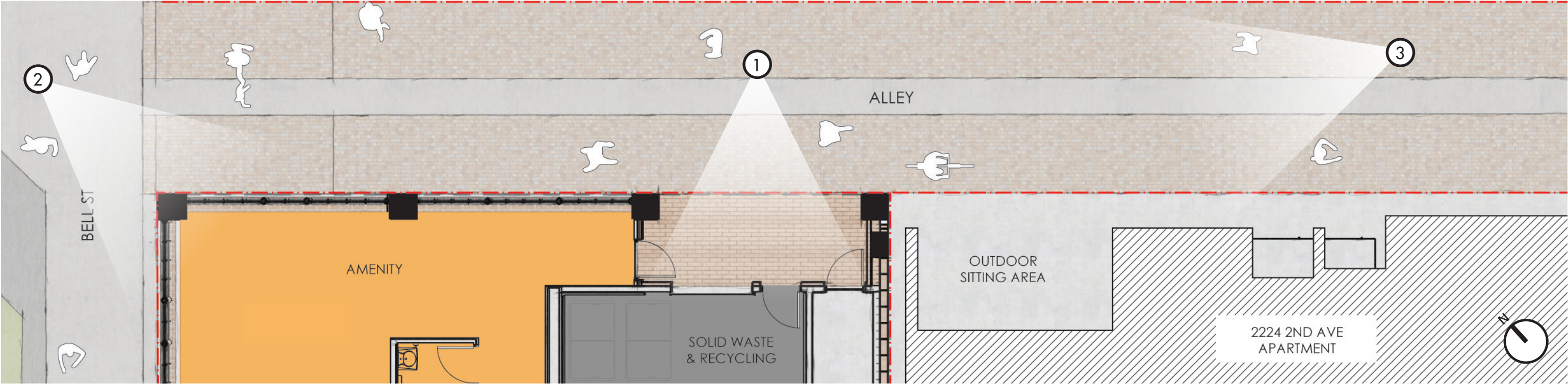


DIAGRAM OF RELATIONSHIPS TO THE REGRADE PARK AND ADJACENT BUILDING





EDG RESPONSE



2. CORNER VIEW FROM AN ALLEY AND BELL STREET



3. VIEW FROM AN ALLEY AT NIGHT



ELEVATION FROM THE ALLEY





LARGE WINDOW PROVIDES VISUAL CONNECTION TO AN ALLEY



AERIAL VIEW FROM BELL STREET AT NIGHT



EXTERNAL AND AMENITY SPACE LIGHTING PROVIDES A SENSE OF SECURITY AND VISUAL CONNECTIONS TO AN ALLEY



SITE SURVEY



1 - VIEW OF THE SITE FROM SOUTHWEST



2 - VIEW OF THE SITE FROM SOUTHEAST



3 - VIEW OF THE SITE FROM NORTHWEST



SITE PLAN



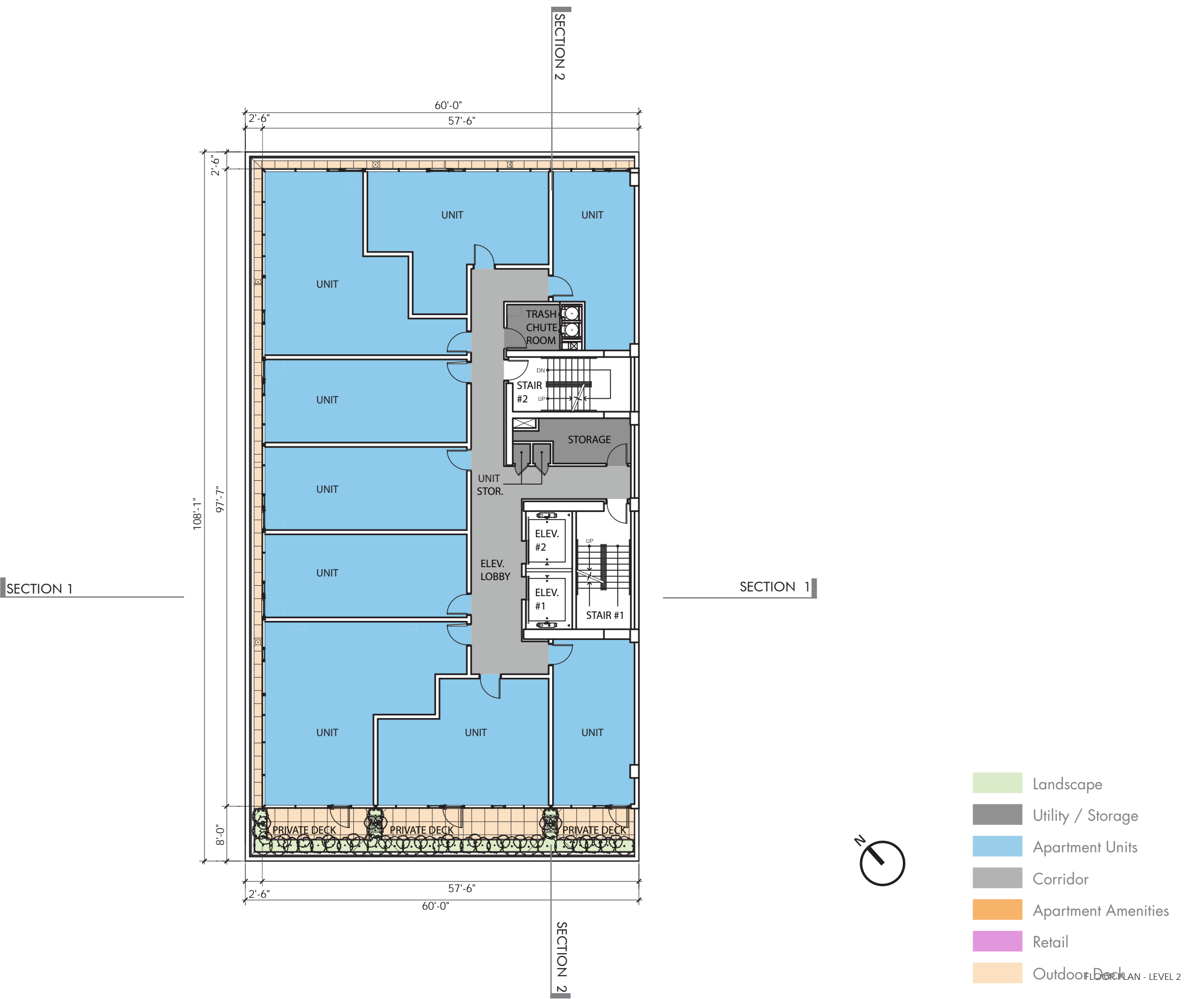


FLOOR PLAN    LEVEL 1



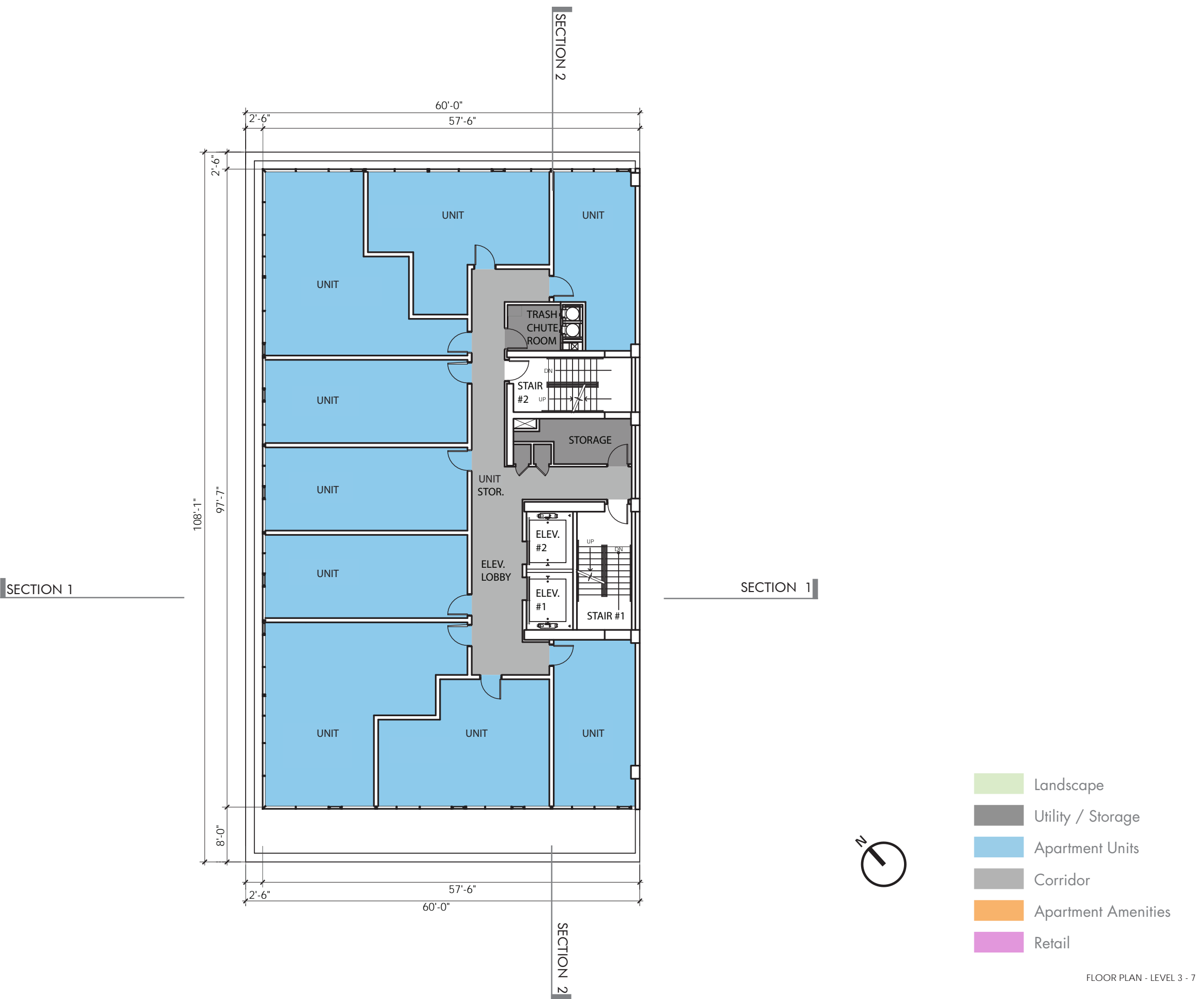


FLOOR PLAN    LEVEL 2



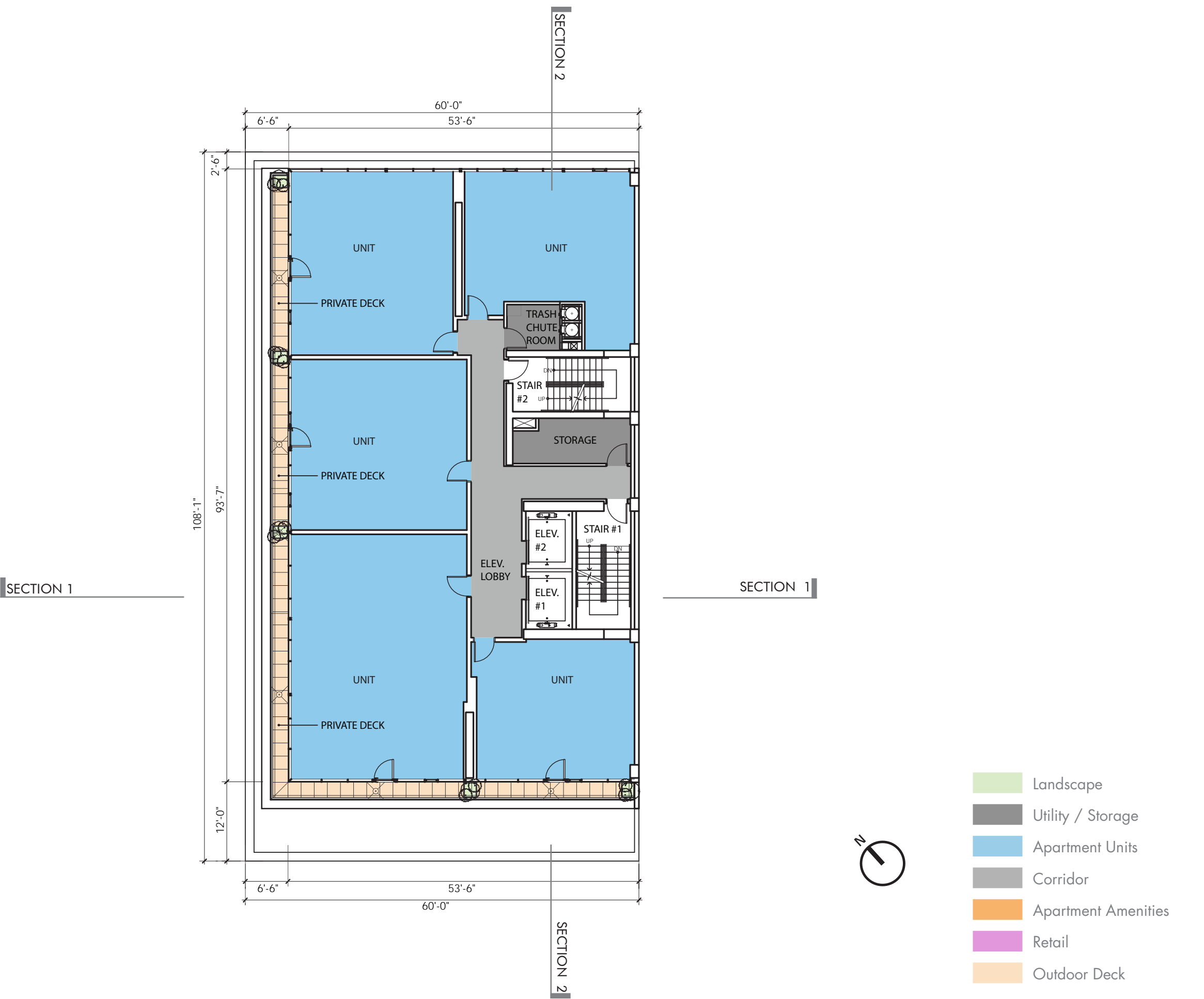


FLOOR PLAN    LEVEL 3-7

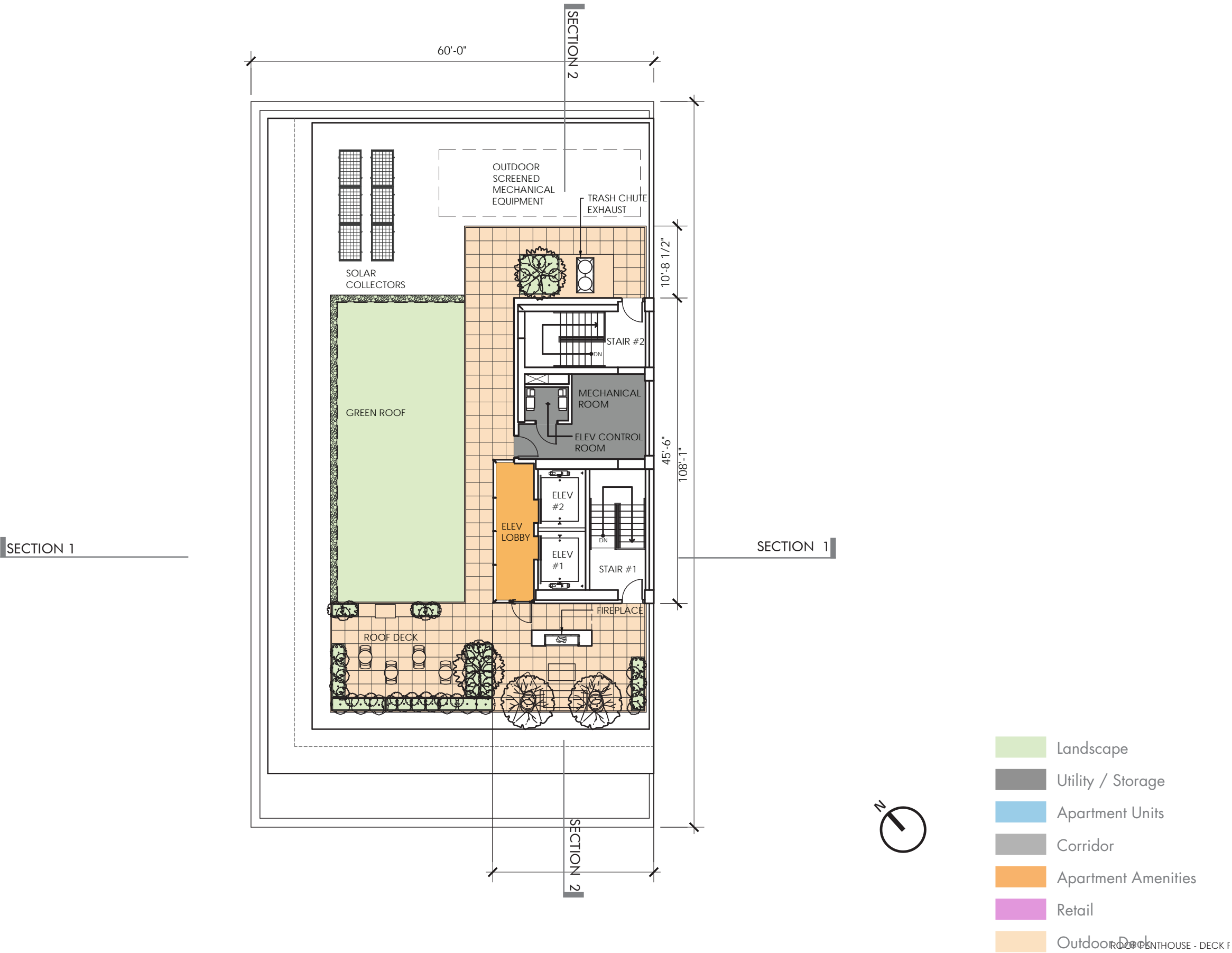




FLOOR PLAN    LEVEL 8







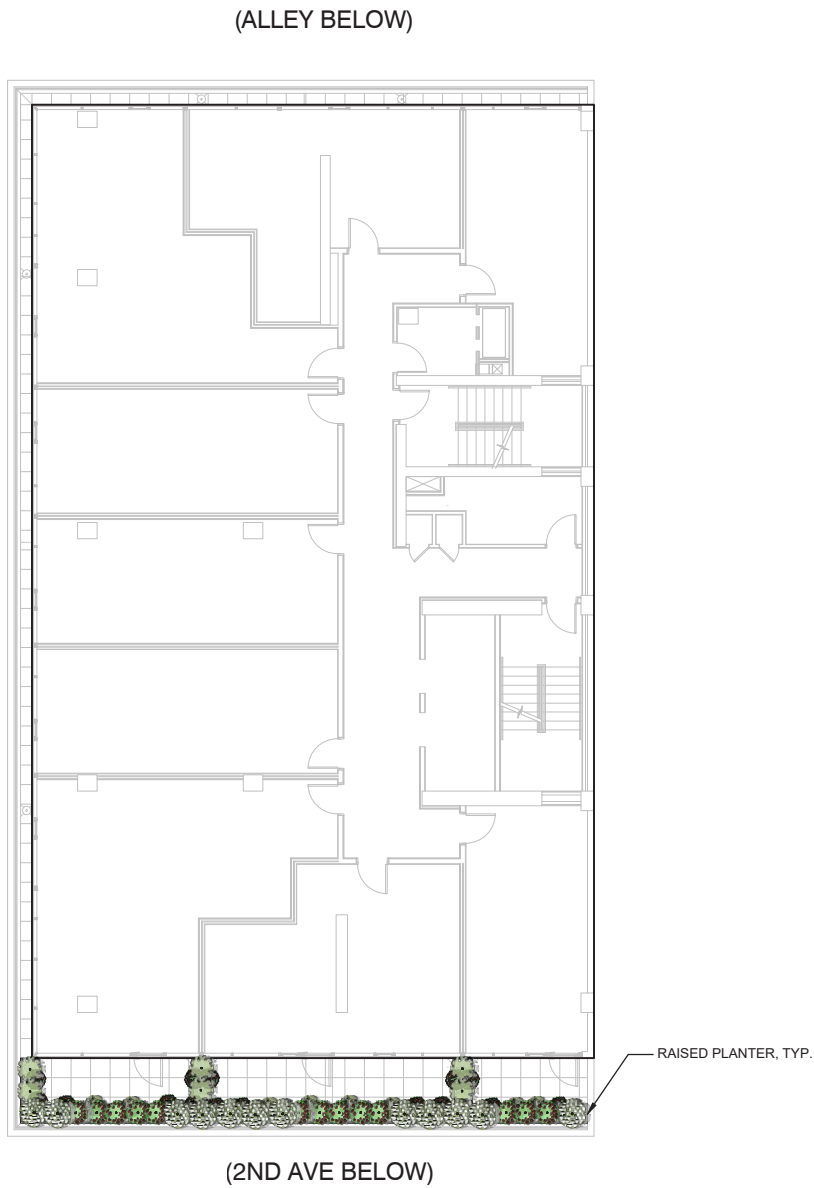


LANDSCAPE

SITE PLAN AND LEVEL 2



1 PLANTING PLAN - GROUND FLOOR

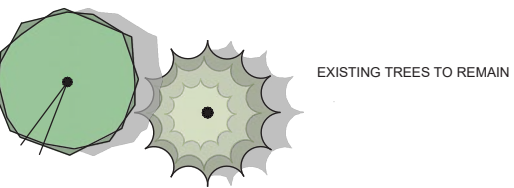


2 PLANTING PLAN - 2ND FLOOR

PLANT SCHEDULE

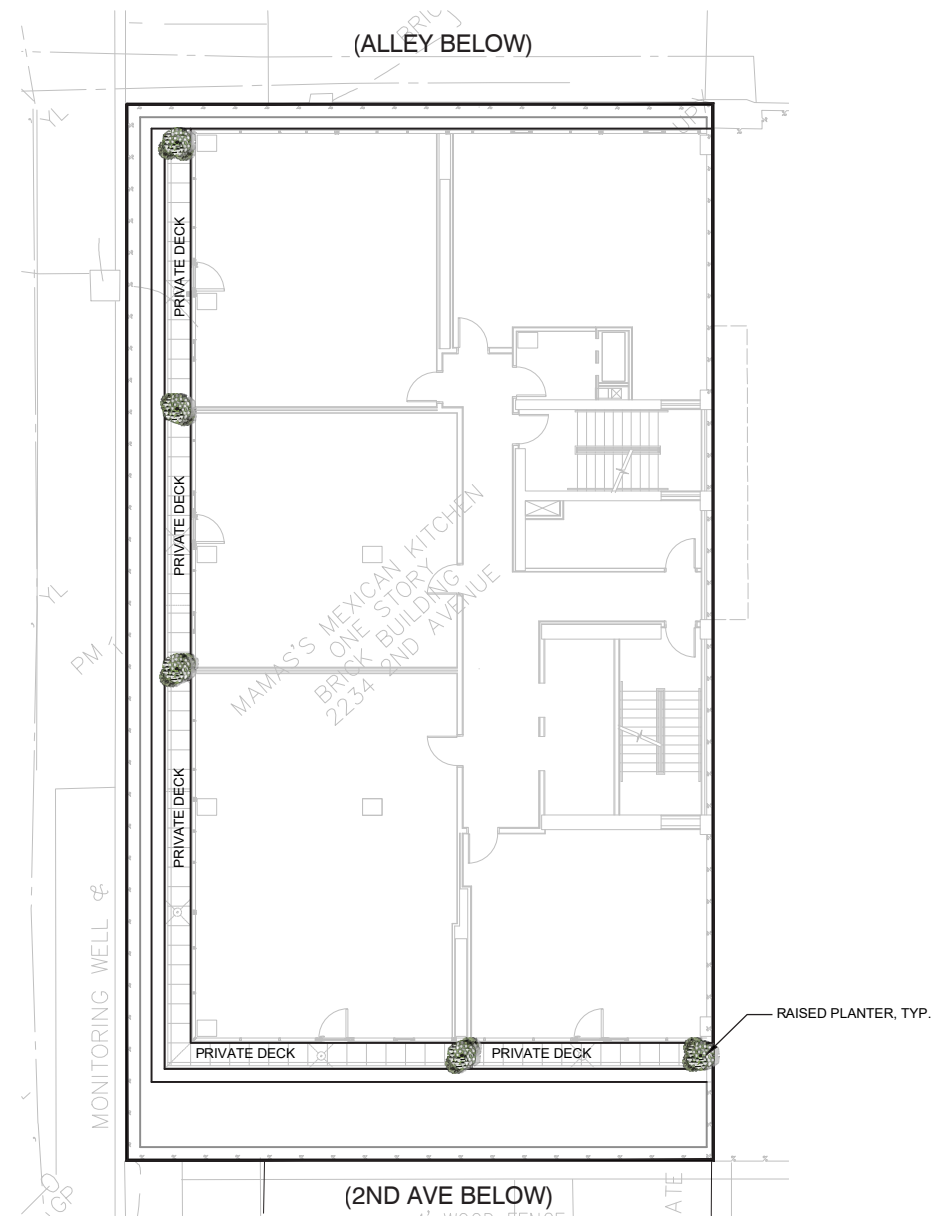
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY
	CH	CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	2 GAL	8
	GR	GERANIUM X 'ROZANNE'	ROZANNE CRANESBILL	2 GAL	15
	R3	ROSA X 'RADWHITE'	WHITE OUT ROSE	3 GAL	12
	RB	ROSMARINUS OFFICINALIS 'BARBEQUE'	ROSEMARY	3 GAL	6
	SH	SALVIA MICROPHYLLA X GREGGII 'EGGBEN003' TM	HEATWAVE GLIMMER SAGE	2 GAL	13

LEGEND

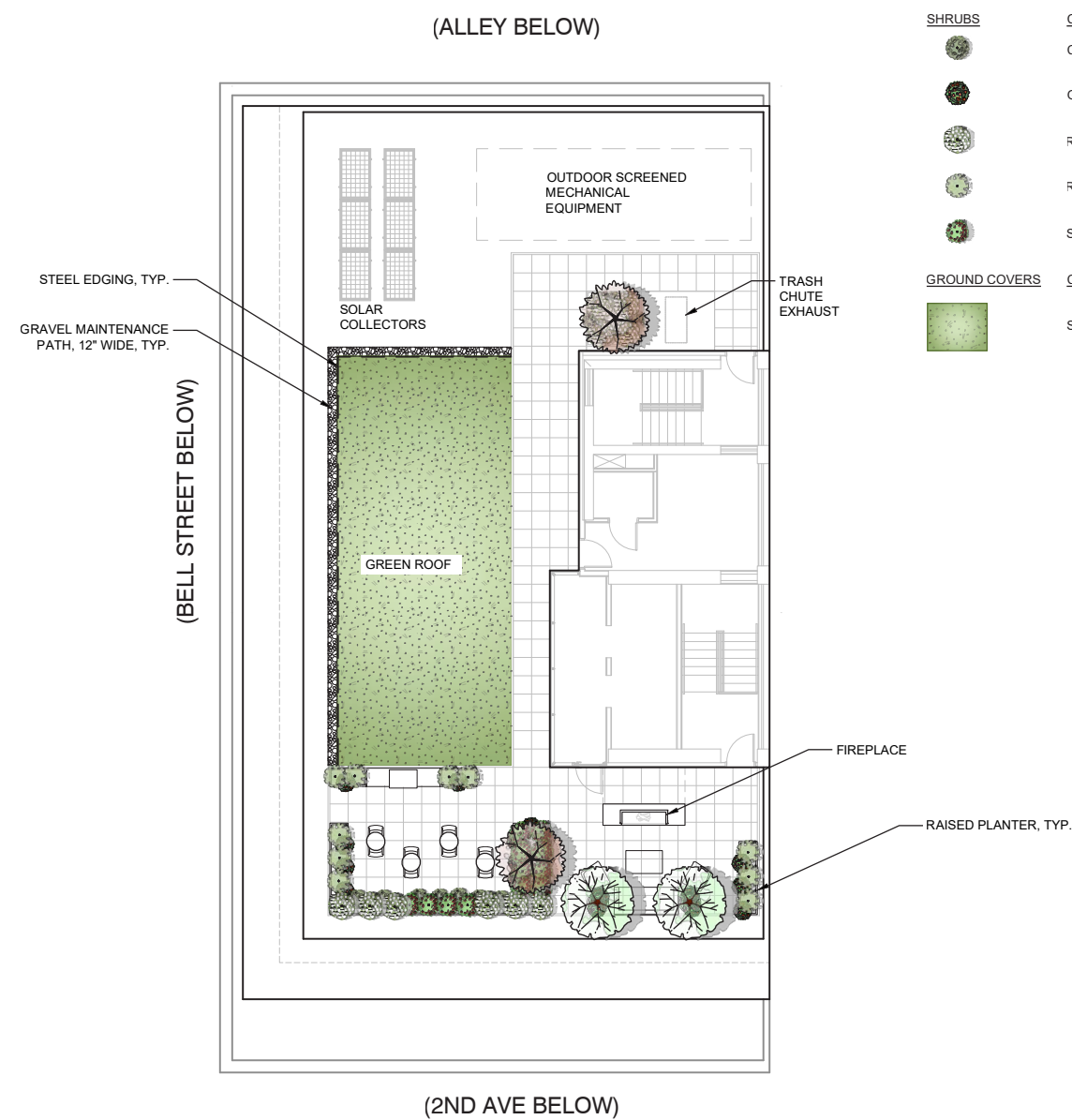




LANDSCAPE      LEVEL 8 AND ROOF PLAN



1 PLANTING PLAN - 8TH FLOOR



2 PLANTING PLAN - ROOFTOP PENTHOUSE

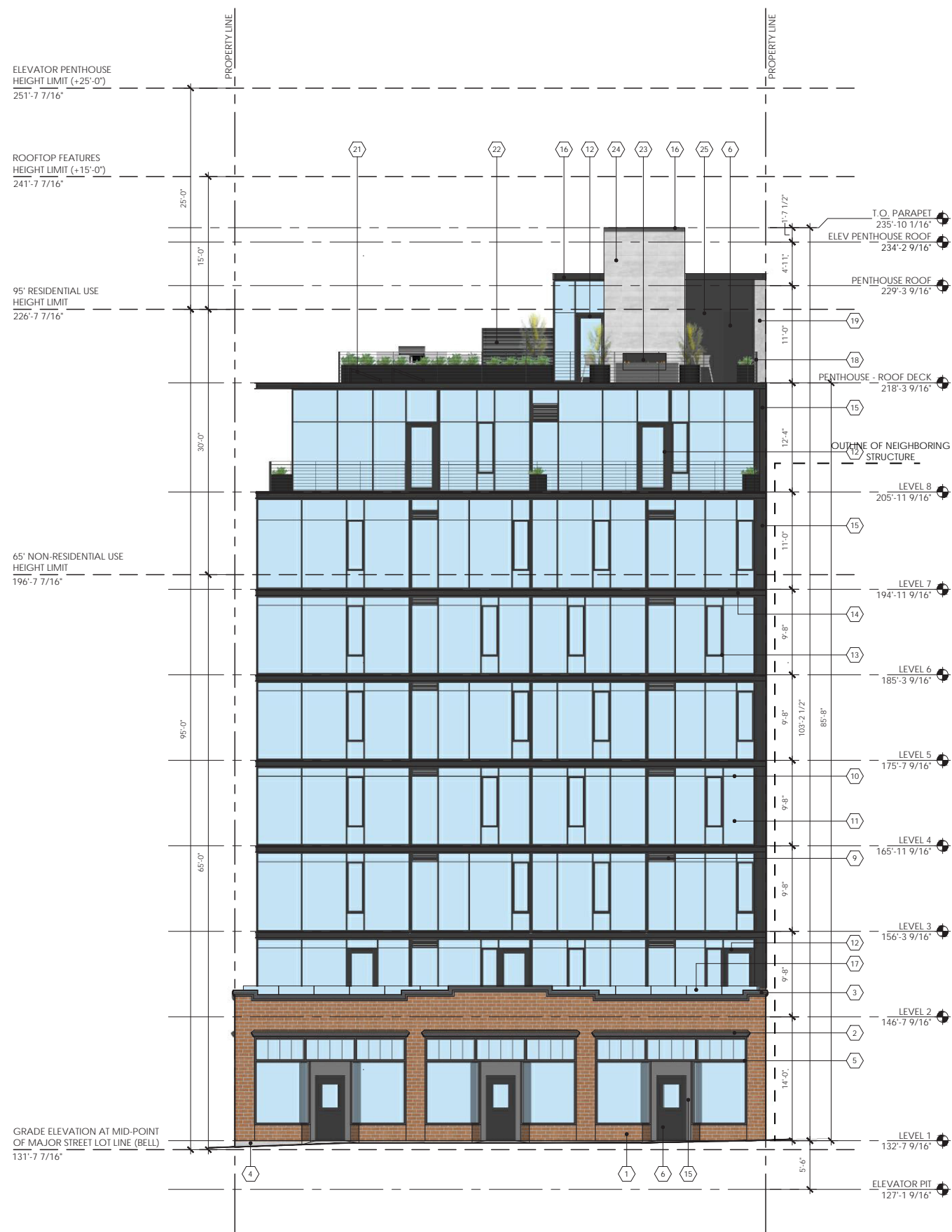
PLANT SCHEDULE

TREES		CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	AM	ACER CIRCINATUM 'MONROE'	CUTLEAF VINE MAPLE	6' HT	2		
	AH	ACER PALMATUM 'HOGYOKU'	HOGYOKU JAPANESE MAPLE	6' HT	2		
SHRUBS		CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY	
	CH	CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	2 GAL	20		
	GR	GERANIUM X 'ROZANNE'	ROZANNE CRANESBILL	2 GAL	19		
	R3	ROSA X 'RADWHITE'	WHITE OUT ROSE	3 GAL	15		
	RB	ROSMARINUS OFFICINALIS 'BARBEQUE'	ROSEMARY	3 GAL	10		
	SH	SALVIA MICROPHYLLA X GREGGII 'EGGBEN003' TM	HEATWAVE GLIMMER SAGE	2 GAL	12		
GROUND COVERS		CODE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY
	SS	PREGROWN SEDUM MAT	GREEN ROOF	MAT			849 SF



ELEVATION

SOUTHWEST



MATERIAL KEY

1	EXISTING BRICK	
2	EXISTING CAST STONE LINTEL	
3	EXISTING CAST STONE COPING	
4	EXISTING CONCRETE FOUNDATION	
5	THERMALLY BROKEN STEEL WINDOW	
6	HOLLOW METAL DOOR	
7	COILING OVERHEAD DOOR WITH PERFORATED METAL SLATS	
8	METAL GATE	
9	METAL LOUVERS	
10	ALUMINUM WINDOW WALL	
11	VISION GLASS	
12	ALUMINUM DOOR	
13	ALUMINUM AWNING WINDOW	
14	METAL FASCIA CHANNEL	
15	FLAT PLATE METAL WALL PANEL	
16	METAL COPING	
17	GLASS GUARDRAIL	
18	FLAT BAR METAL GUARDRAIL	
19	CONCRETE COLUMN	
20A	CONCRETE MASONRY UNIT - COLOR #1	
20B	CONCRETE MASONRY UNIT - COLOR #2	
20C	CONCRETE MASONRY UNIT - COLOR #3	
21	SOLAR COLLECTORS	
22	LOUVERED SCREEN WALL	
23	OUTDOOR FIREPLACE	
24	24X48 TRAVERTINE TILE	
25	FLUSH PANEL METAL SIDING	

RECOMMENDATION PACKET



ELEVATION

NORTHWEST

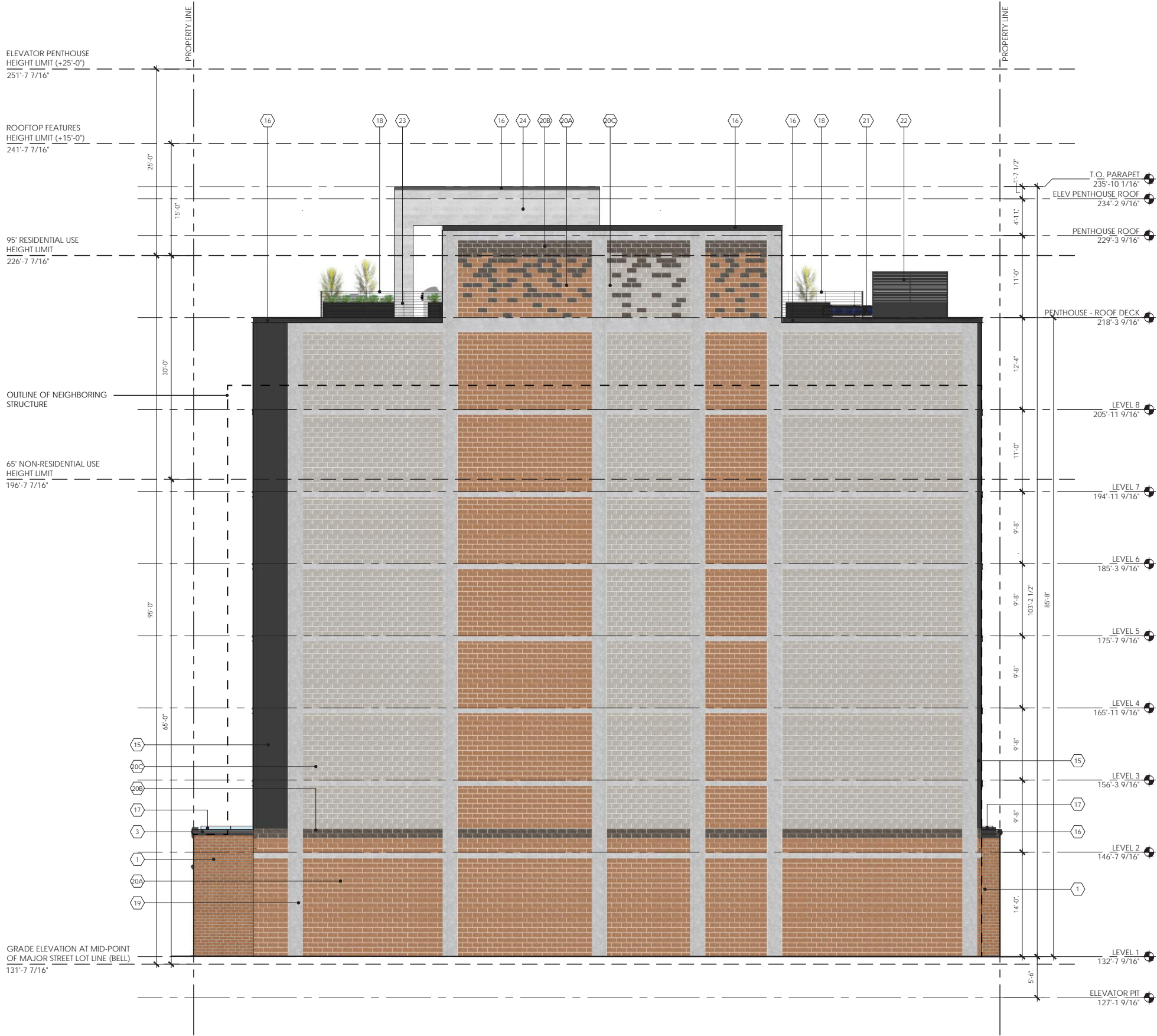


MATERIAL KEY		
1	EXISTING BRICK	
2	EXISTING CAST STONE LINTEL	
3	EXISTING CAST STONE COPING	
4	EXISTING CONCRETE FOUNDATION	
5	THERMALLY BROKEN STEEL WINDOW	
6	HOLLOW METAL DOOR	
7	COILING OVERHEAD DOOR WITH PERFORATED METAL SLATS	
8	METAL GATE	
9	METAL LOUVERS	
10	ALUMINUM WINDOW WALL	
11	VISION GLASS	
12	ALUMINUM DOOR	
13	ALUMINUM AWNING WINDOW	
14	METAL FASCIA CHANNEL	
15	FLAT PLATE METAL WALL PANEL	
16	METAL COPING	
17	GLASS GUARDRAIL	
18	FLAT BAR METAL GUARDRAIL	
19	CONCRETE COLUMN	
20A	CONCRETE MASONRY UNIT - COLOR #1	
20B	CONCRETE MASONRY UNIT - COLOR #2	
20C	CONCRETE MASONRY UNIT - COLOR #3	
21	SOLAR COLLECTORS	
22	LOUVERED SCREEN WALL	
23	OUTDOOR FIREPLACE	
24	24X48 TRAVERTINE TILE	
25	FLUSH PANEL METAL SIDING	



ELEVATION

SOUTHEAST



MATERIAL KEY

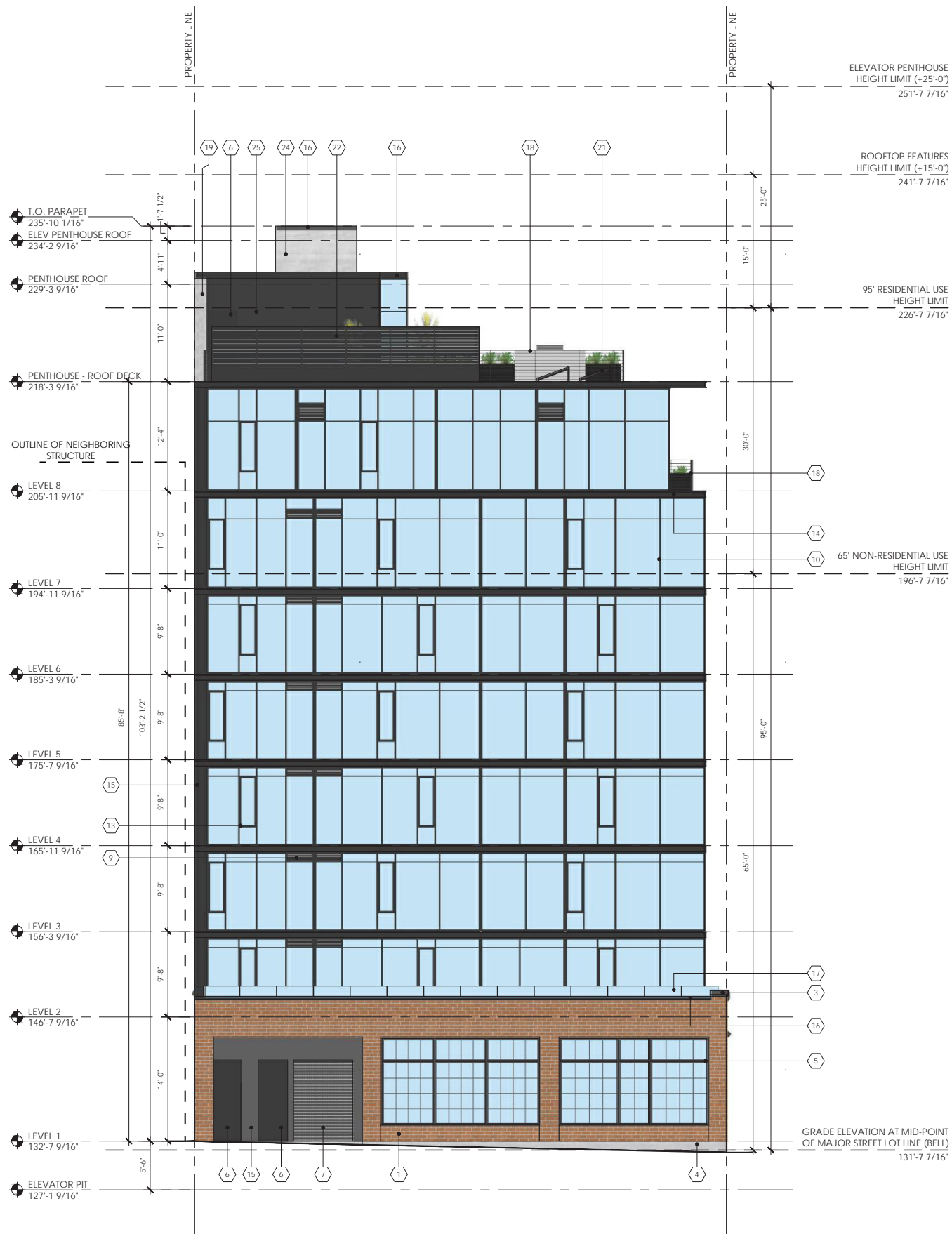
1	EXISTING BRICK	
2	EXISTING CAST STONE LINTEL	
3	EXISTING CAST STONE COPING	
4	EXISTING CONCRETE FOUNDATION	
5	THERMALLY BROKEN STEEL WINDOW	
6	HOLLOW METAL DOOR	
7	COILING OVERHEAD DOOR WITH PERFORATED METAL SLATS	
8	METAL GATE	
9	METAL LOUVERS	
10	ALUMINUM WINDOW WALL	
11	VISION GLASS	
12	ALUMINUM DOOR	
13	ALUMINUM AWNING WINDOW	
14	METAL FASCIA CHANNEL	
15	FLAT PLATE METAL WALL PANEL	
16	METAL COPING	
17	GLASS GUARDRAIL	
18	FLAT BAR METAL GUARDRAIL	
19	CONCRETE COLUMN	
20A	CONCRETE MASONRY UNIT - COLOR #1	
20B	CONCRETE MASONRY UNIT - COLOR #2	
20C	CONCRETE MASONRY UNIT - COLOR #3	
21	SOLAR COLLECTORS	
22	LOUVERED SCREEN WALL	
23	OUTDOOR FIREPLACE	
24	24X48 TRAVERTINE TILE	
25	FLUSH PANEL METAL SIDING	

RECOMMENDATION PACKET



ELEVATION

NORTHEAST

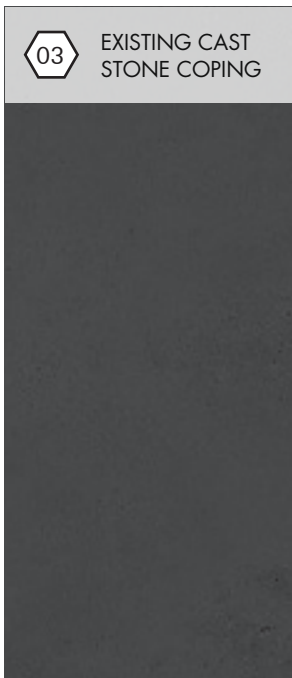
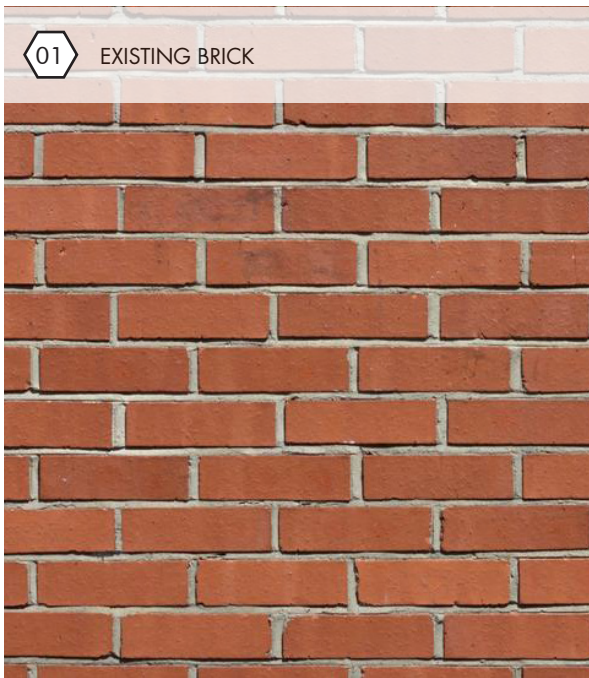
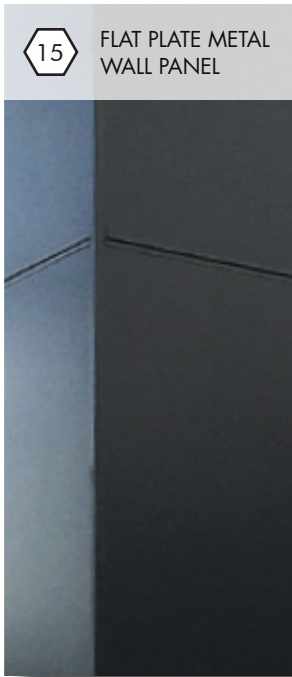


MATERIAL KEY

1	EXISTING BRICK	
2	EXISTING CAST STONE LINTEL	
3	EXISTING CAST STONE COPING	
4	EXISTING CONCRETE FOUNDATION	
5	THERMALLY BROKEN STEEL WINDOW	
6	HOLLOW METAL DOOR	
7	COILING OVERHEAD DOOR WITH PERFORATED METAL SLATS	
8	METAL GATE	
9	METAL LOUVERS	
10	ALUMINUM WINDOW WALL	
11	VISION GLASS	
12	ALUMINUM DOOR	
13	ALUMINUM AWNING WINDOW	
14	METAL FASCIA CHANNEL	
15	FLAT PLATE METAL WALL PANEL	
16	METAL COPING	
17	GLASS GUARDRAIL	
18	FLAT BAR METAL GUARDRAIL	
19	CONCRETE COLUMN	
20A	CONCRETE MASONRY UNIT - COLOR #1	
20B	CONCRETE MASONRY UNIT - COLOR #2	
20C	CONCRETE MASONRY UNIT - COLOR #3	
21	SOLAR COLLECTORS	
22	LOUVERED SCREEN WALL	
23	OUTDOOR FIREPLACE	
24	24X48 TRAVERTINE TILE	
25	FLUSH PANEL METAL SIDING	



MATERIAL AND COLOR PALETTE

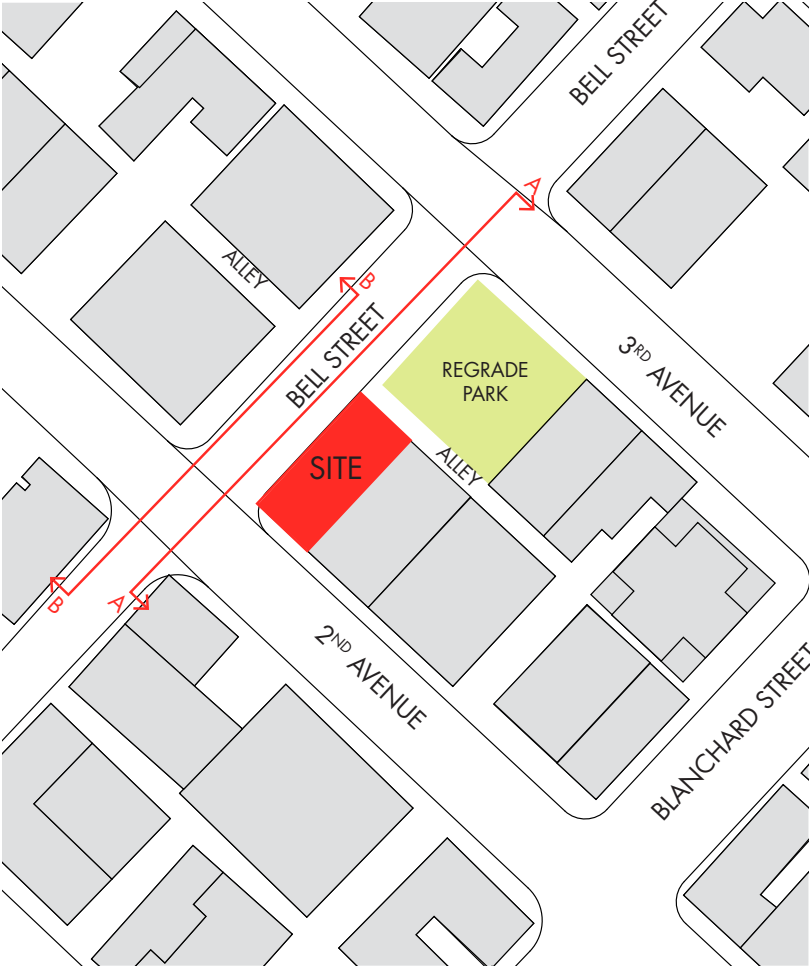




SITE CONTEXT    STREETScape / BELL STREET



A - View along Bell Street facing Southeast



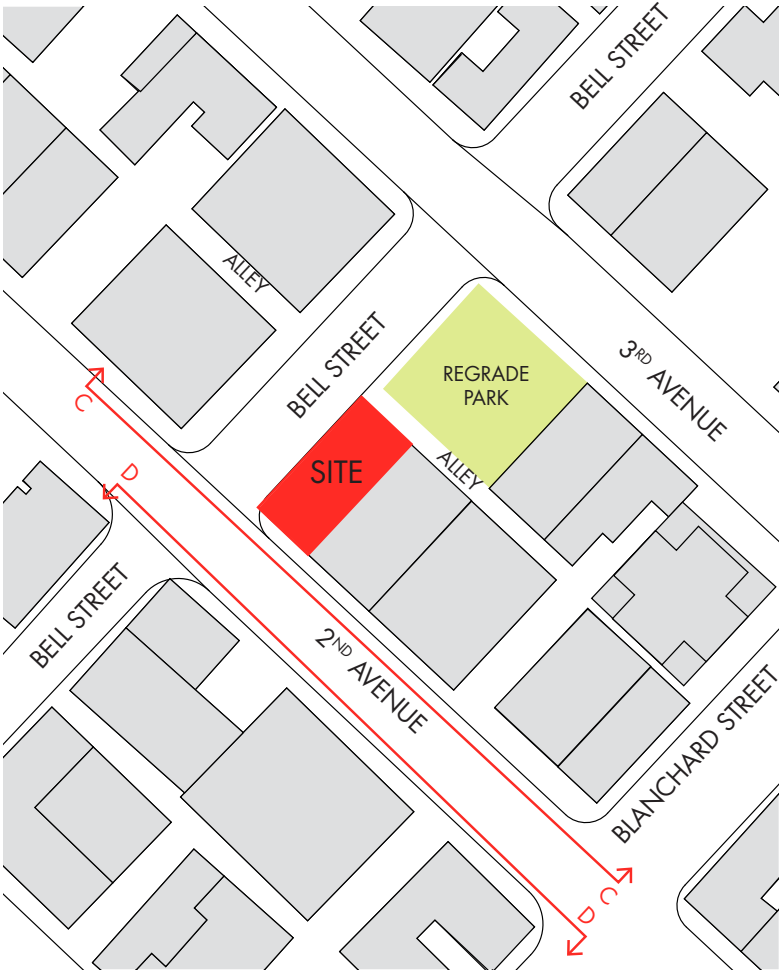
B - View along Bell Street facing Northwest



SITE CONTEXT    STREETScape / 2ND AVE



2<sup>ND</sup> AVENUE  
C - View along 2<sup>nd</sup> Avenue facing Northeast



2<sup>ND</sup> AVENUE  
D - View along 2<sup>nd</sup> Avenue facing Southwest















LIGHTING

GROUND FLOOR PLAN



A. WALL MOUNTED  
LIGHT FIXTURE



B. WALL MOUNTED  
STEP LIGHT



C. RECESSED  
CEILING MOUNTED  
LIGHT

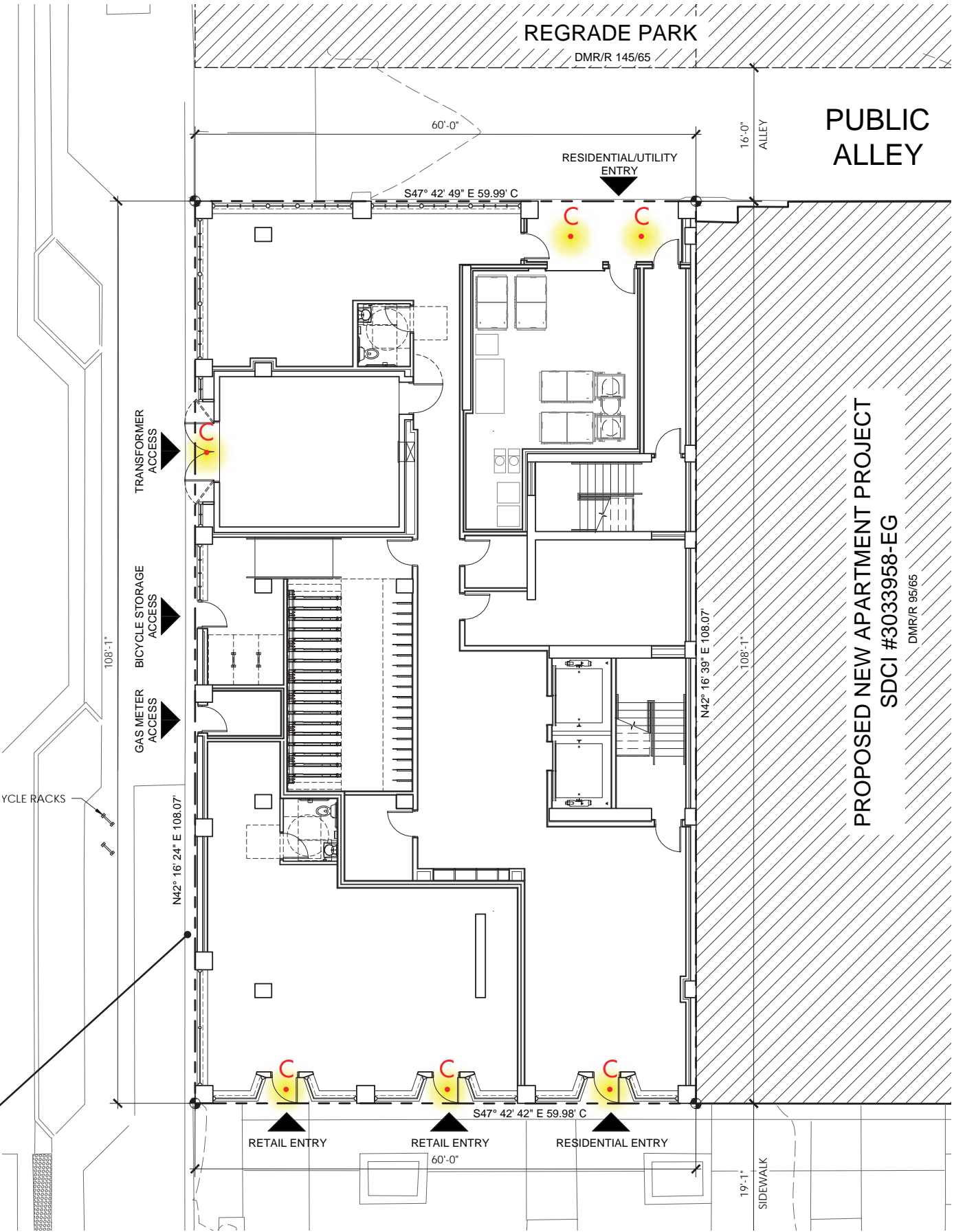


D. EXTERIOR GRADE  
LED STRIP LIGHTING



E. LANDSCAPE  
IN-GROUND LIGHT  
FIXTURE

NOTE: EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A  
LANDMARK DESIGNATED STRUCTURE -  
TO PRESERVE THE LANDMARK FEATURES, ALTERATIONS TO FACADES,  
INCLUDING NEW LIGHTING FIXTURES ARE NOT PERMITTED





LIGHTING

ROOF PLAN



A. WALL MOUNTED  
LIGHT FIXTURE



B. WALL MOUNTED  
STEP LIGHT



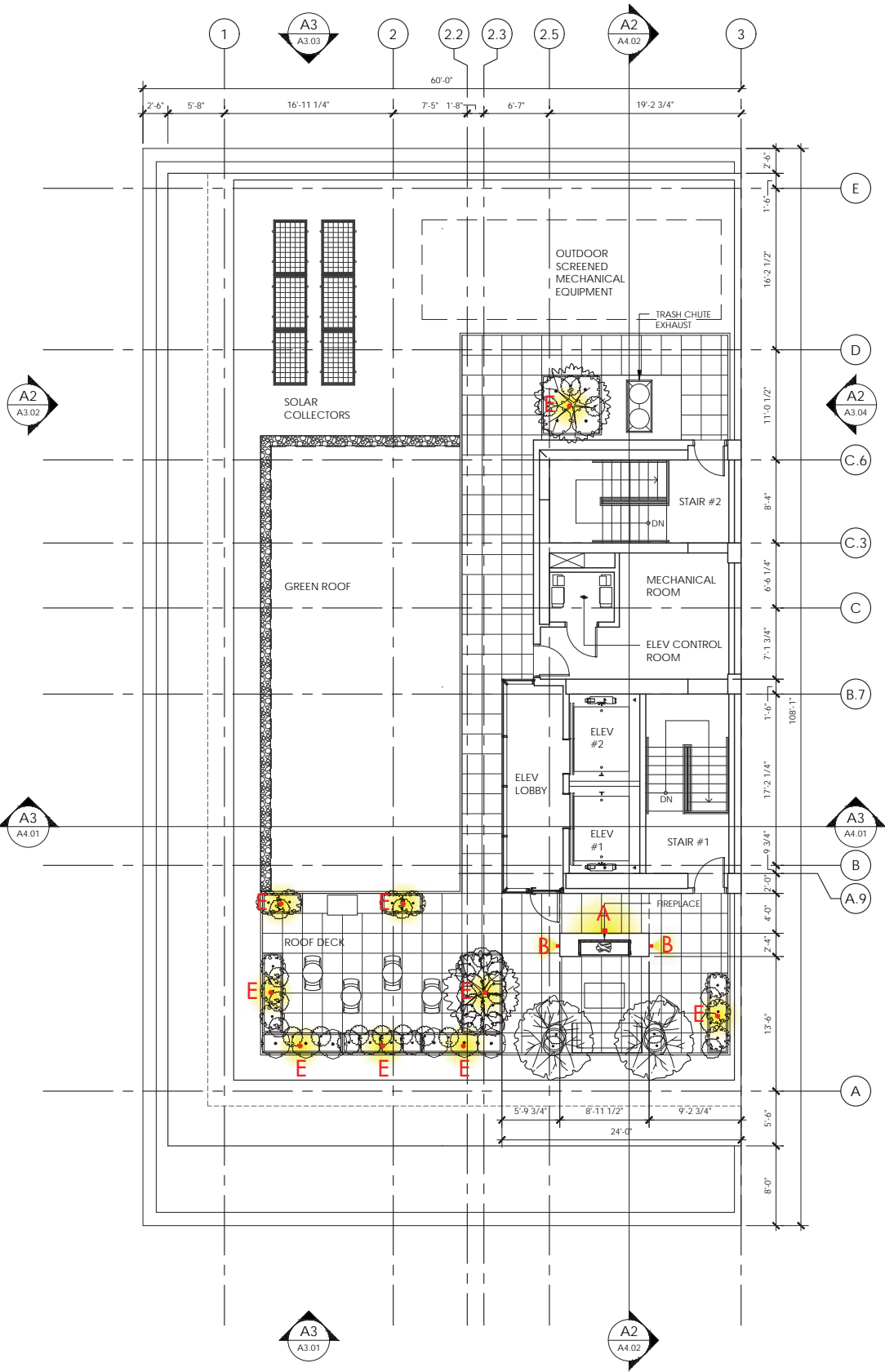
C. RECESSED  
CEILING MOUNTED  
LIGHT



D. EXTERIOR GRADE  
LED STRIP LIGHTING



E. LANDSCAPE  
IN-GROUND LIGHT  
FIXTURE





## LIGHTING

## WEST ELEVATION



### A. WALL MOUNTED LIGHT FIXTURE



## B. WALL MOUNTED STEP LIGHT



### C. RECESSED CEILING MOUNTED LIGHT



#### D. EXTERIOR GRADE LED STRIP LIGHTING



### E. LANDSCAPE IN-GROUND LIGHT FIXTURE





## LIGHTING

## NORTH ELEVATION



### A. WALL MOUNTED LIGHT FIXTURE



### B. WALL MOUNTED STEP LIGHT



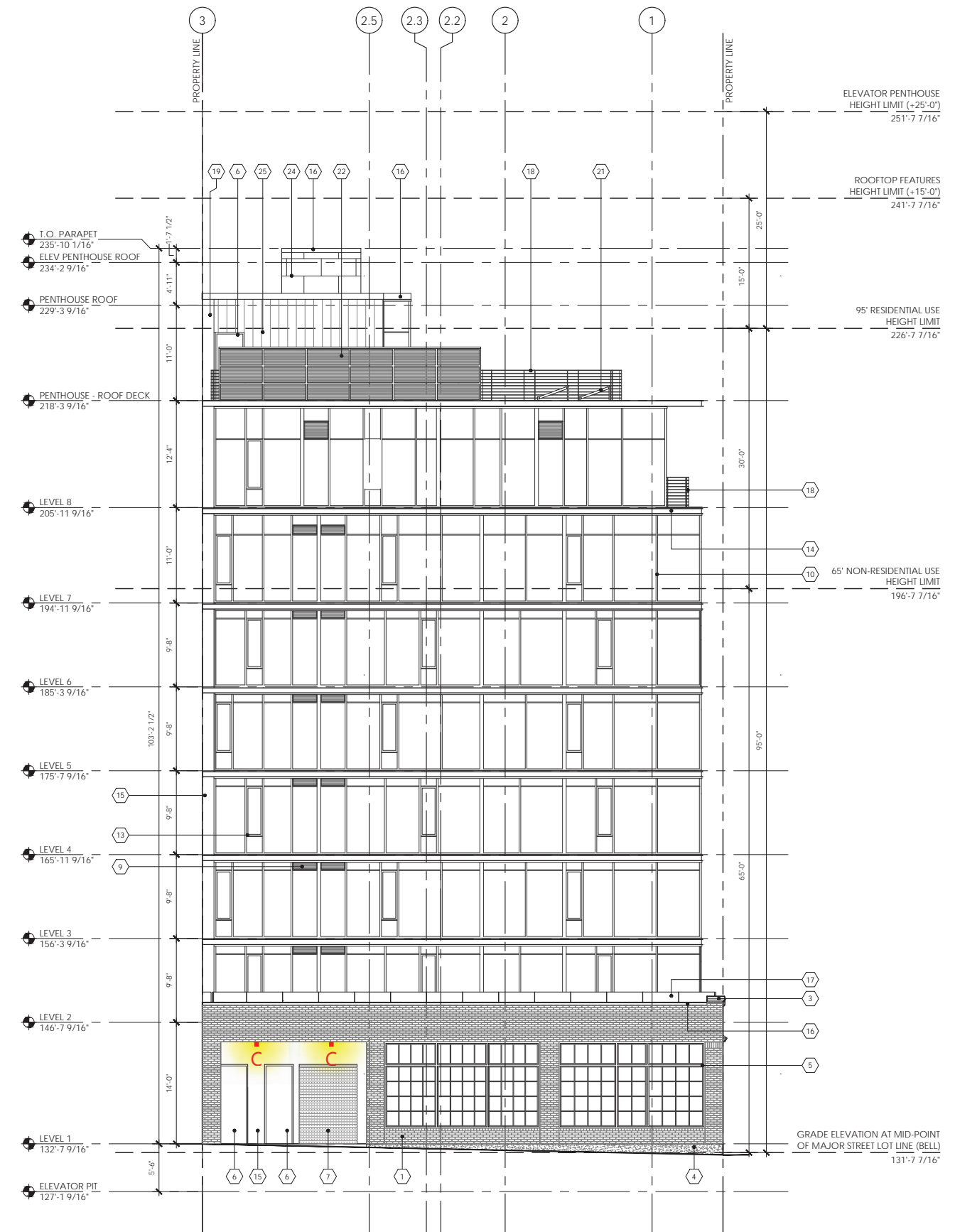
### C. RECESSED CEILING MOUNTED LIGHT



#### D. EXTERIOR GRADE LED STRIP LIGHTING



### E. LANDSCAPE IN-GROUND LIGHT FIXTURE





LIGHTING

SOUTH ELEVATION



A. WALL MOUNTED  
LIGHT FIXTURE



B. WALL MOUNTED  
STEP LIGHT



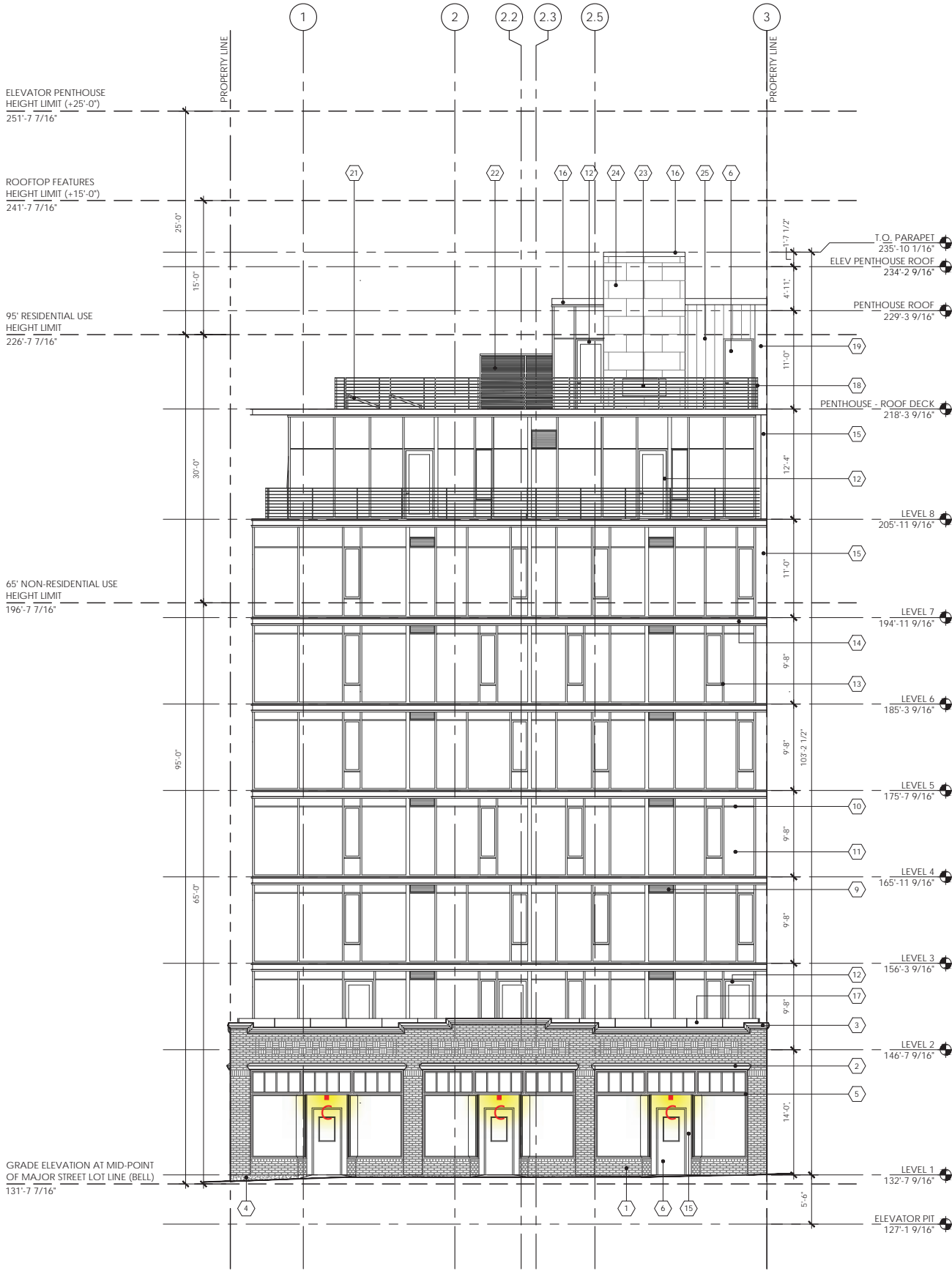
C. RECESSED  
CEILING MOUNTED  
LIGHT



D. EXTERIOR GRADE  
LED STRIP LIGHTING



E. LANDSCAPE  
IN-GROUND LIGHT  
FIXTURE





LIGHTING

VISUALS



PRODUCT RENDERING  
WALL MOUNTED SCONCE (A)



INSPIRATION IMAGE  
PLANTER MOUNTED STEP LIGHT GRAZING THE WALKWAY (B)



INSPIRATION IMAGE  
RECESSED CEILING MOUNTED LIGHT (C)



INSPIRATION IMAGE  
EXTERIOR GRADE LED STRIP LIGHTING (D)



INSPIRATION IMAGE  
IN-PLANTER LIGHTING (E)



SIGNAGE CONCEPT



1. SURFACED MOUNTED SIGNAGE

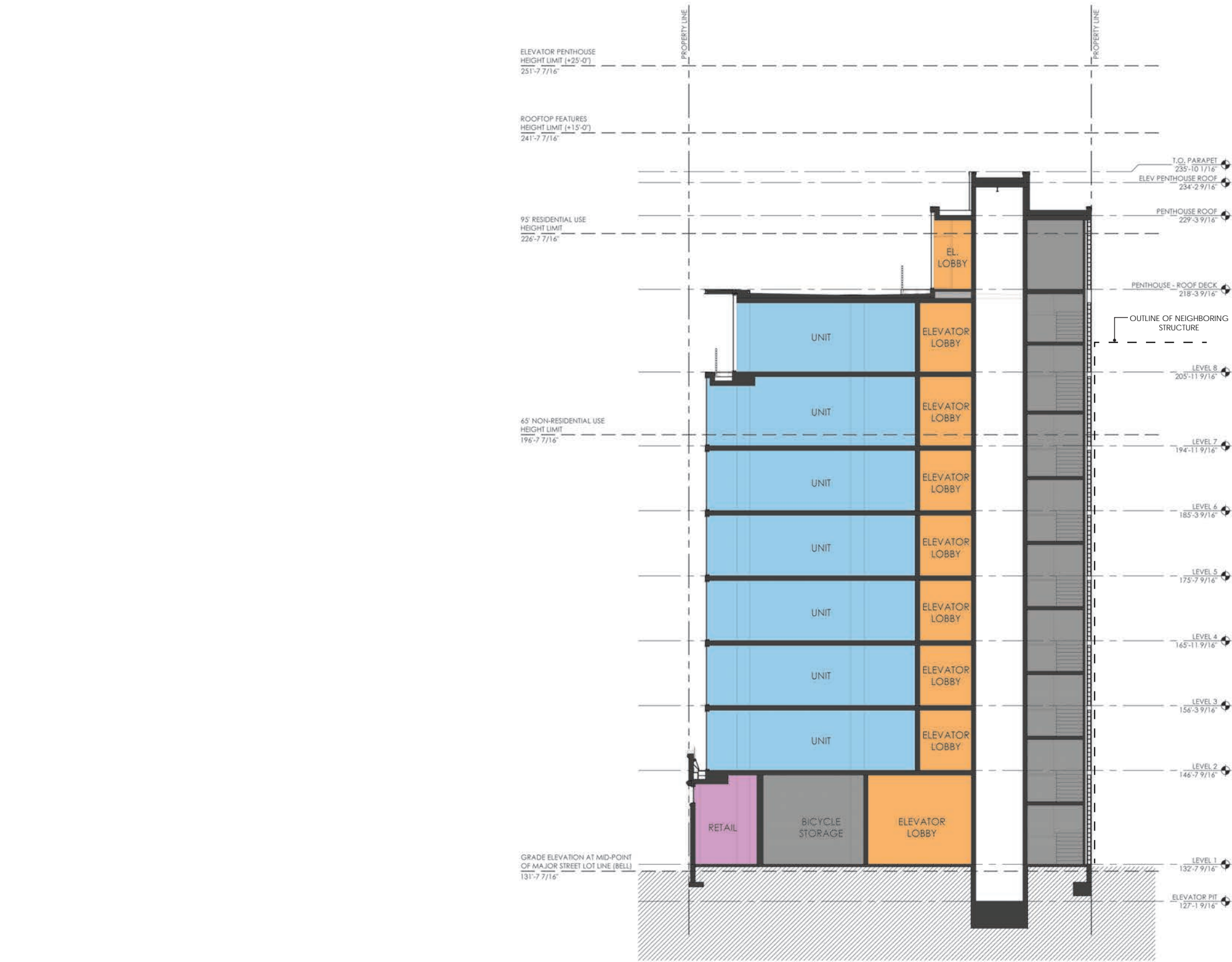


2. SIGNAGE AT CORNER

NOTE: EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A LANDMARK DESIGNATED STRUCTURE - TO PRESERVE THE LANDMARK FEATURES, ALTERATIONS TO FACADES, INCLUDING NEW SIGNS MIGHT NOT PERMITTED PER COMMENTS FROM THE LANDMARKS PRESERVATION BOARD.



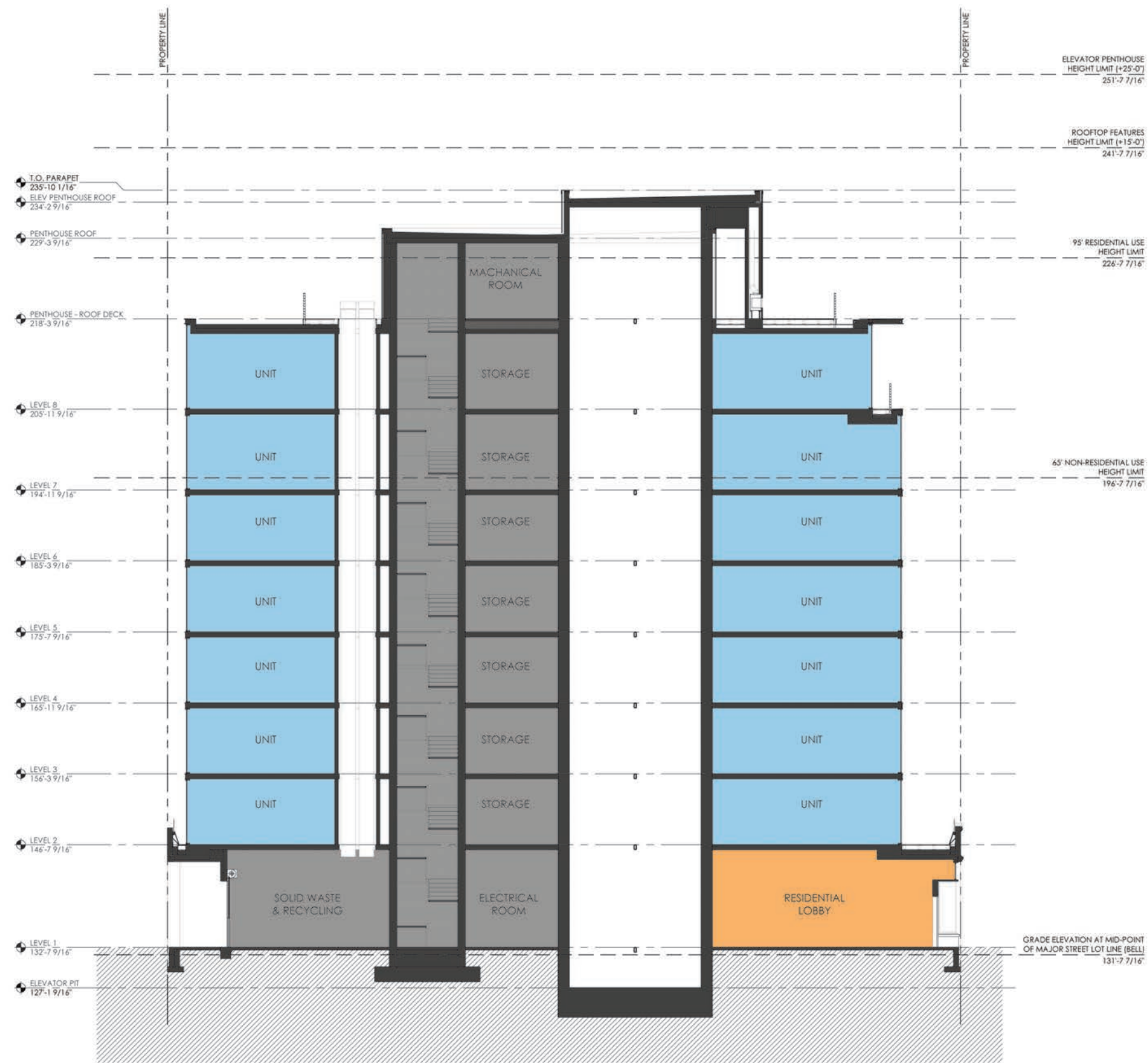
SECTION 1 SOUTH - NORTH





SECTION 2

WEST - EAST



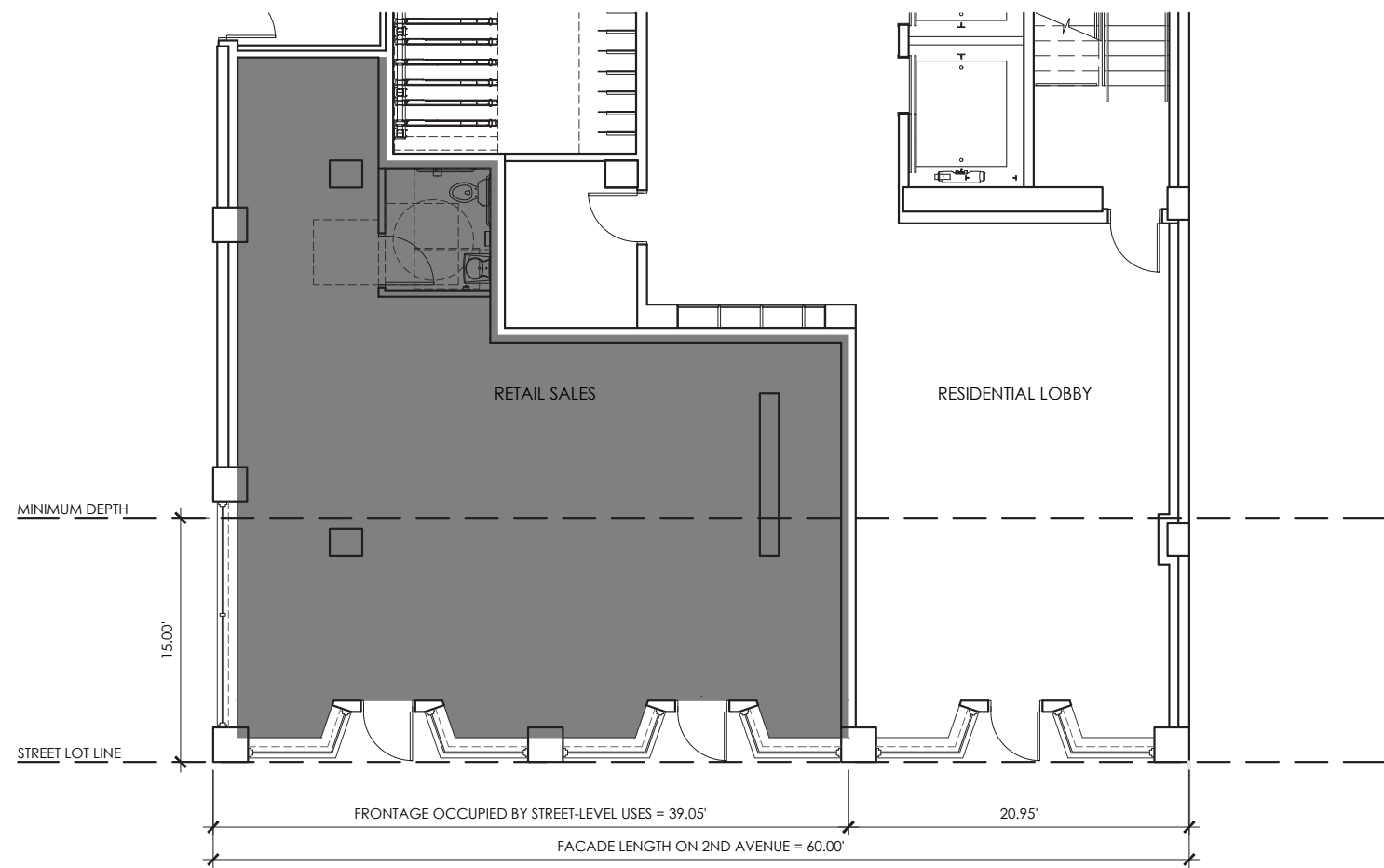


DEPARTURE REQUEST

DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D1	23.49.009.B.1.α: A MINIMUM OF 75 PERCENT OF EACH STREET FRONTAGE AT STREET LEVEL WHERE STREET-LEVEL USES ARE REQUIRED MUST BE OCCUPIED BY USES LISTED IN 23.49.009.A.	REDUCE 75 PERCENT REQUIREMENT TO 65 PERCENT.	EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A LANDMARK DESIGNATED STRUCTURE - DEPARTURES ARE TO PRESERVE THE LANDMARK FEATURES
D2	23.49.018 OVERHEAD WEATHER PROTECTION AND LIGHTING	WAIVE REQUIREMENT FOR OVERHEAD WEATHER PROTECTION AND LIGHTING.	
D3	23.49.162.A.1: MINIMUM FACADE HEIGHT SHALL BE 25 FEET FOR CLASS I PEDESTRIAN STREETS AND GREEN STREETS.	WAIVE REQUIREMENT FOR MINIMUM FACADE HEIGHT.	
D4	23.49.162.B.2.α: GENERAL SETBACK LIMITS ON STREETS NOT REQUIRING PROPERTY LINE FACADES.	WAIVE SETBACK LIMITS.	
D5	23.49.162.C: FACADE TRANSPARENCY REQUIREMENTS	WAIVE FACADE TRANSPARENCY REQUIREMENTS.	
D6	23.49.162.D: BLANK FACADE LIMITS	WAIVE BLANK FACADE LIMITS.	



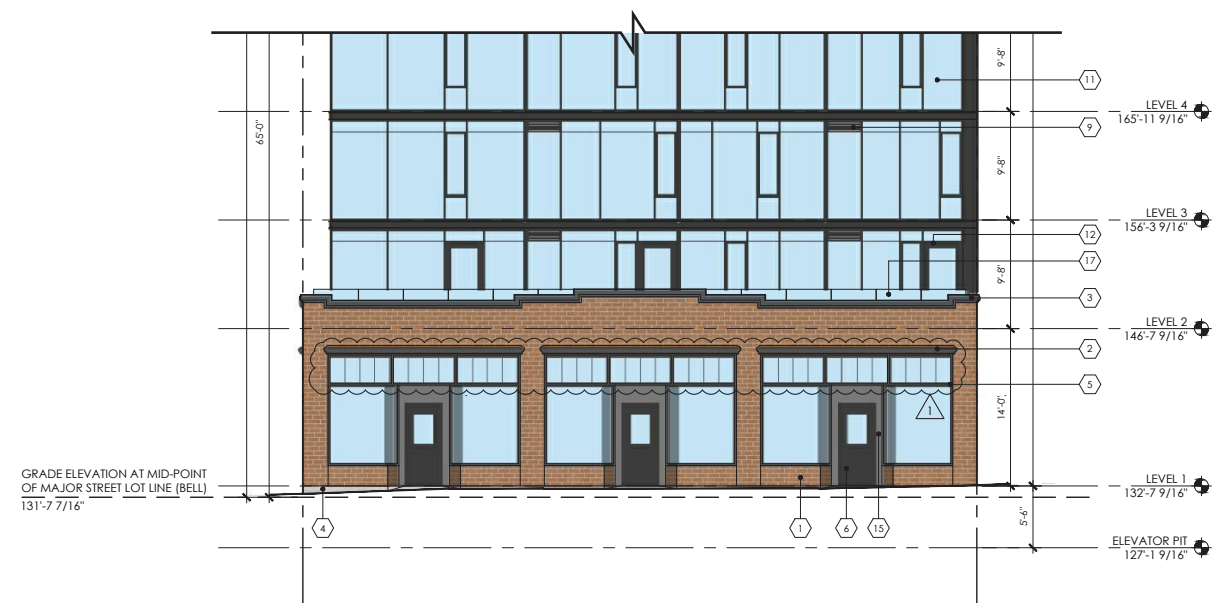
DEPARTURE REQUEST



DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D1	23.49.009.B.1.α: A MINIMUM OF 75 PERCENT OF EACH STREET FRONTAGE AT STREET LEVEL WHERE STREET-LEVEL USES ARE REQUIRED MUST BE OCCUPIED BY USES LISTED IN 23.49.009.A.	REDUCE 75 PERCENT REQUIREMENT TO 65 PERCENT.	EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A LANDMARK DESIGNATED STRUCTURE - DEPARTURES ARE TO PRESERVE THE LANDMARK FEATURES



DEPARTURE REQUEST



SOUTH ELEVATION



WEST ELEVATION

DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D2	23.49.018 OVERHEAD WEATHER PROTECTION AND LIGHTING	WAIVE REQUIREMENT FOR OVERHEAD WEATHER PROTECTION AND LIGHTING.	EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A LANDMARK DESIGNATED STRUCTURE - DEPARTURES ARE TO PRESERVE THE LANDMARK FEATURES



DEPARTURE REQUEST



BELL STREET (GREEN STREET)

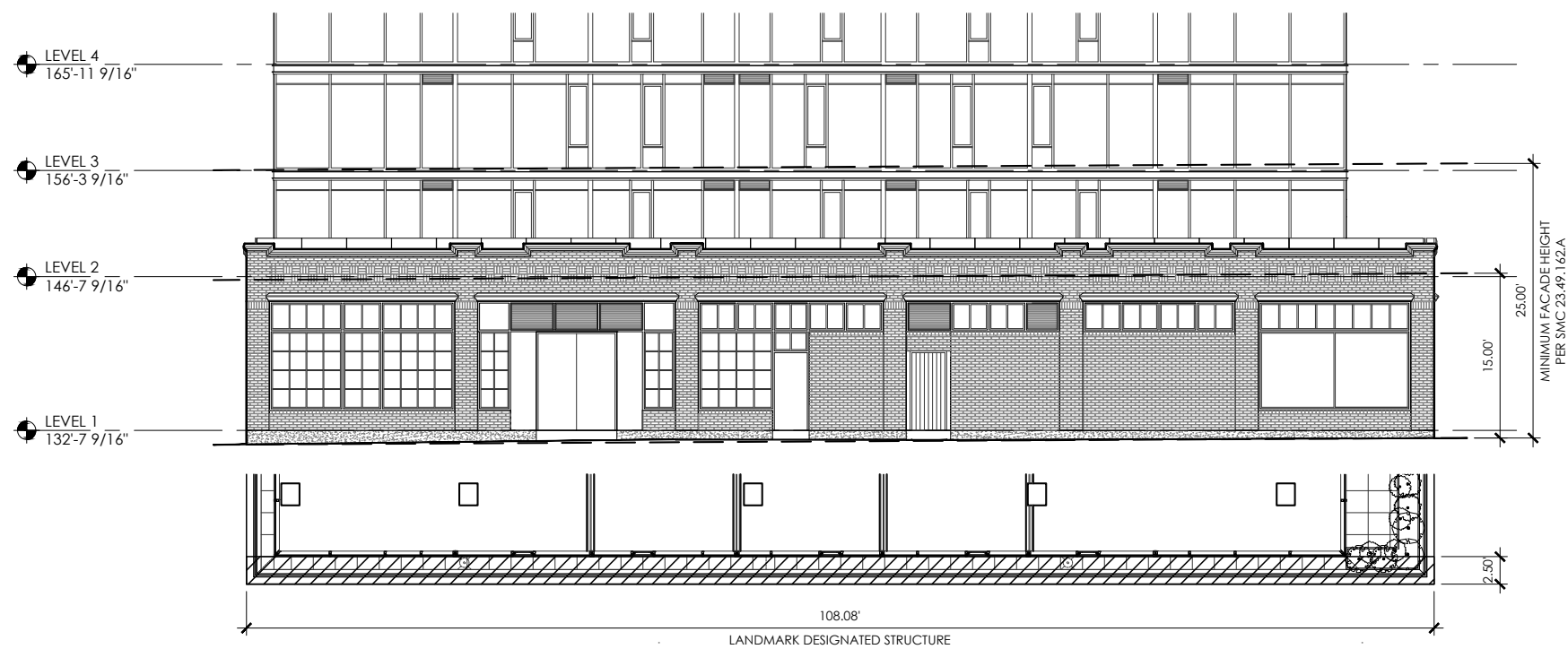


2ND AVENUE (CLASS I PEDESTRIAN STREET)

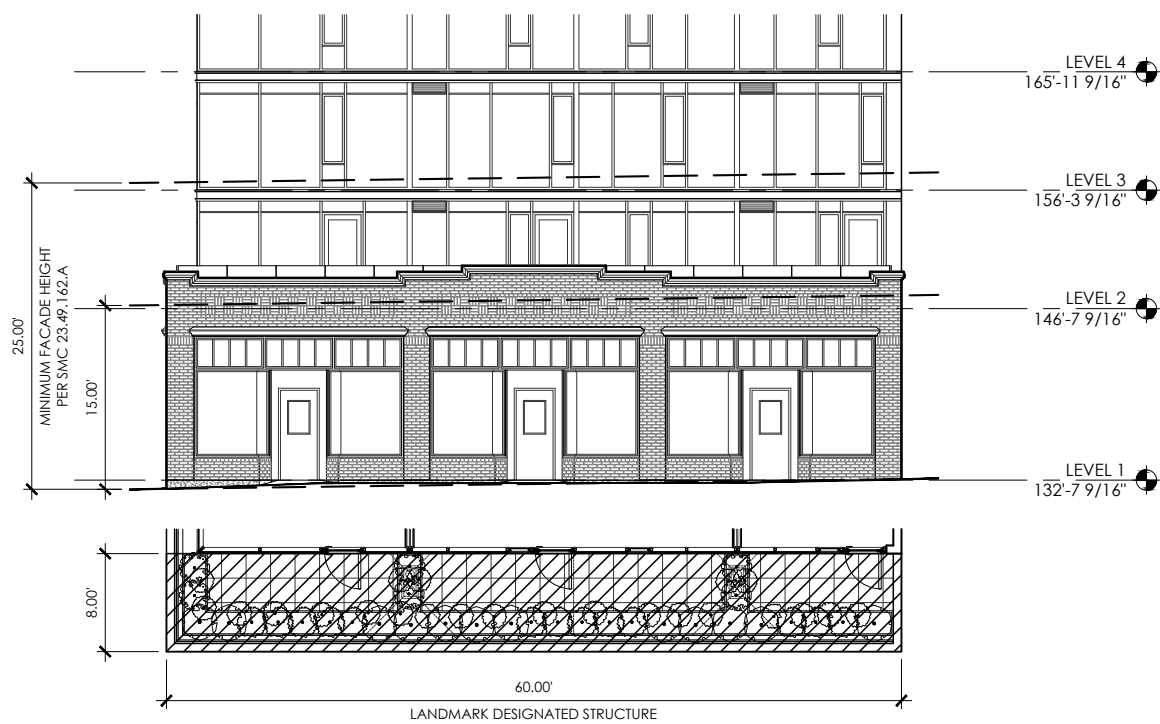
DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D3	23.49.162.A.1: MINIMUM FACADE HEIGHT SHALL BE 25 FEET FOR CLASS I PEDESTRIAN STREETS AND GREEN STREETS.	WAIVE REQUIREMENT FOR MINIMUM FACADE HEIGHT.	EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A LANDMARK DESIGNATED STRUCTURE - DEPARTURES ARE TO PRESERVE THE LANDMARK FEATURES



DEPARTURE REQUEST



BELL STREET (GREEN STREET)

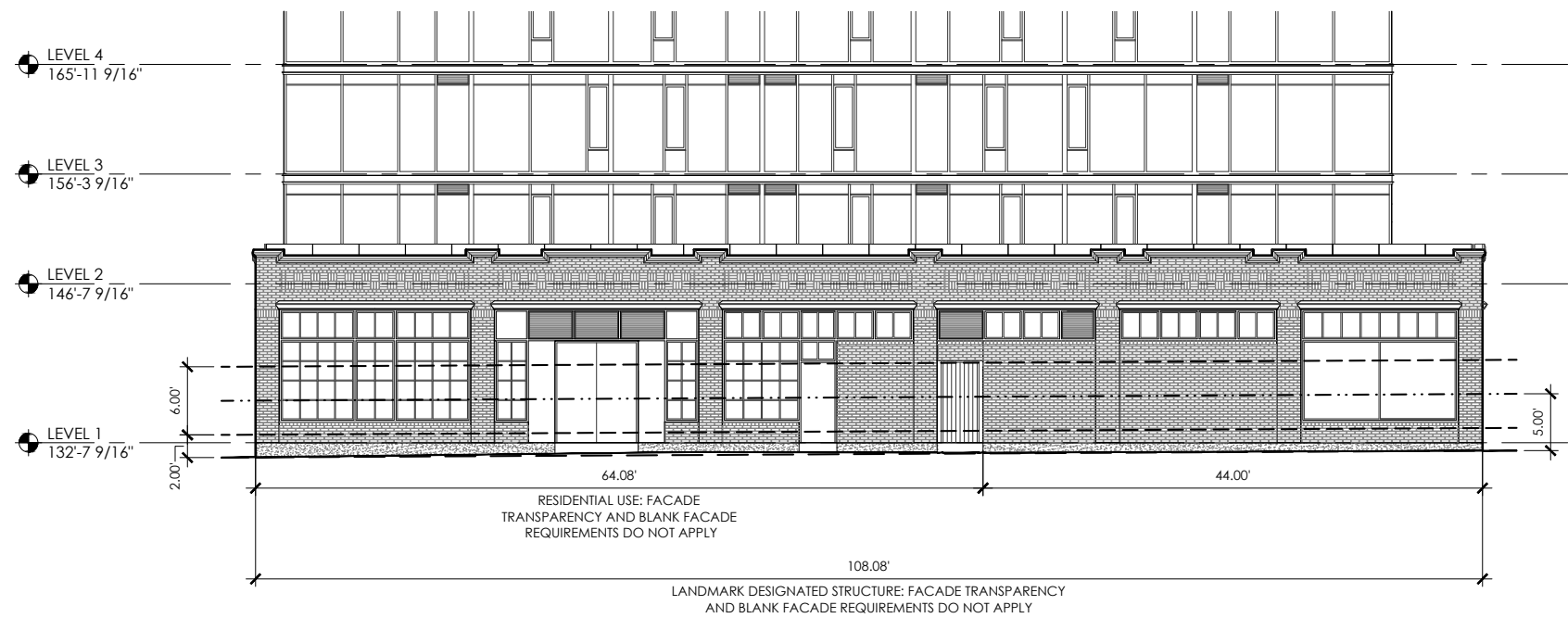


2ND AVENUE (CLASS I PEDESTRIAN STREET)

DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D4	23.49.162.B.2.a: GENERAL SETBACK LIMITS ON STREETS NOT REQUIRING PROPERTY LINE FACADES.	WAIVE SETBACK LIMITS.	EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A LANDMARK DESIGNATED STRUCTURE - DEPARTURES ARE TO PRESERVE THE LANDMARK FEATURES



DEPARTURE REQUEST



BELL STREET (GREEN STREET)

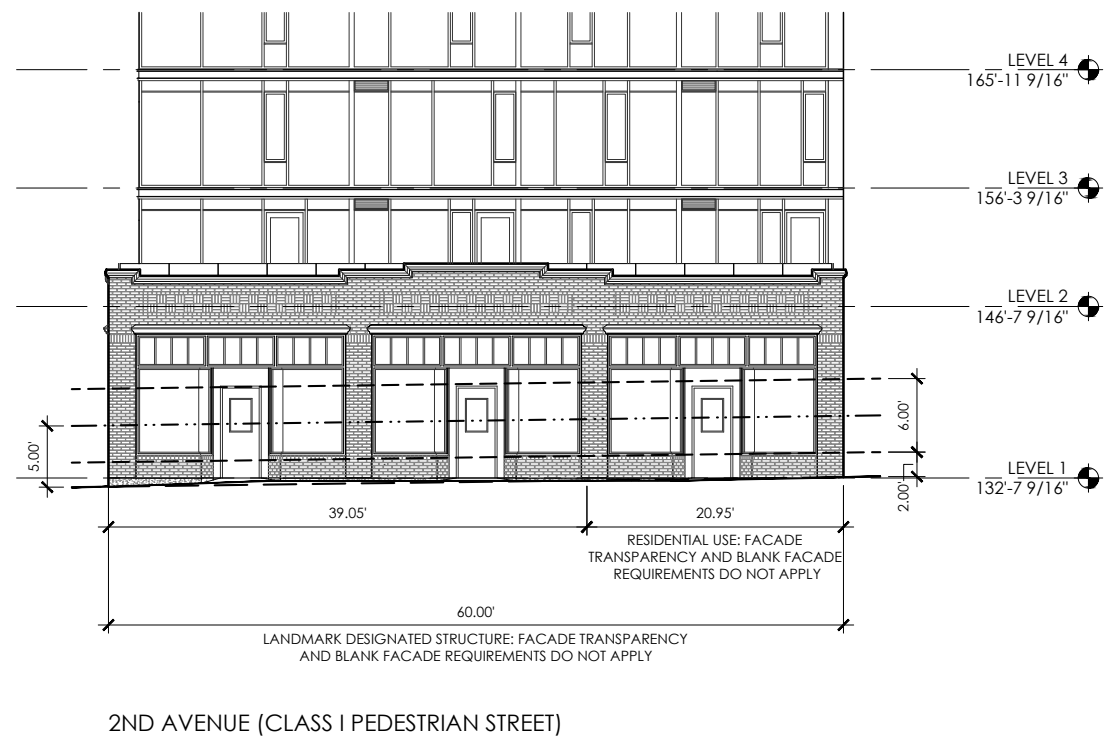
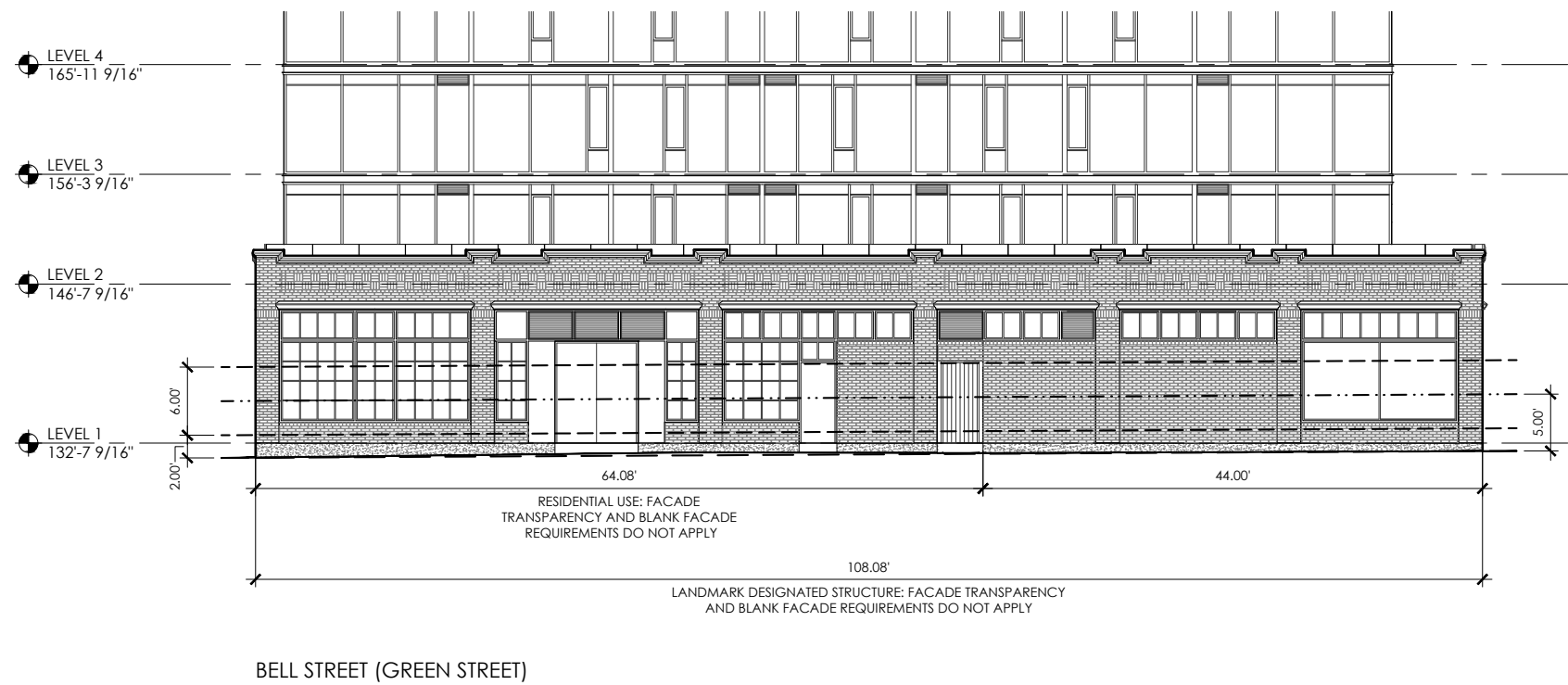


2ND AVENUE (CLASS I PEDESTRIAN STREET)

DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D5	23.49.162.C: FACADE TRANSPARENCY REQUIREMENTS	WAIVE FACADE TRANSPARENCY REQUIREMENTS.	EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A LANDMARK DESIGNATED STRUCTURE - DEPARTURES ARE TO PRESERVE THE LANDMARK FEATURES



DEPARTURE REQUEST



DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
D6	23.49.162.D: BLANK FACADE LIMITS	WAIVE BLANK FACADE LIMITS.	EXTERIOR OF EXISTING ONE STORY BRICK BUILDING IS A LANDMARK DESIGNATED STRUCTURE - DEPARTURES ARE TO PRESERVE THE LANDMARK FEATURES



. THIS PAGE HAS BEEN INTENTIONALLY LEFT BLANK .



SUPPLEMENTAL INFORMATION

SITE ANALYSIS

TREES

No significant trees have been identified within the boundaries of our site. There are street trees to the southeast edge of the site along 2nd Avenue. There are also trees along Bell Street (Green Street) which runs parallel along the northwest boundary of our site. North of the site is Regrade Park, a dog park.

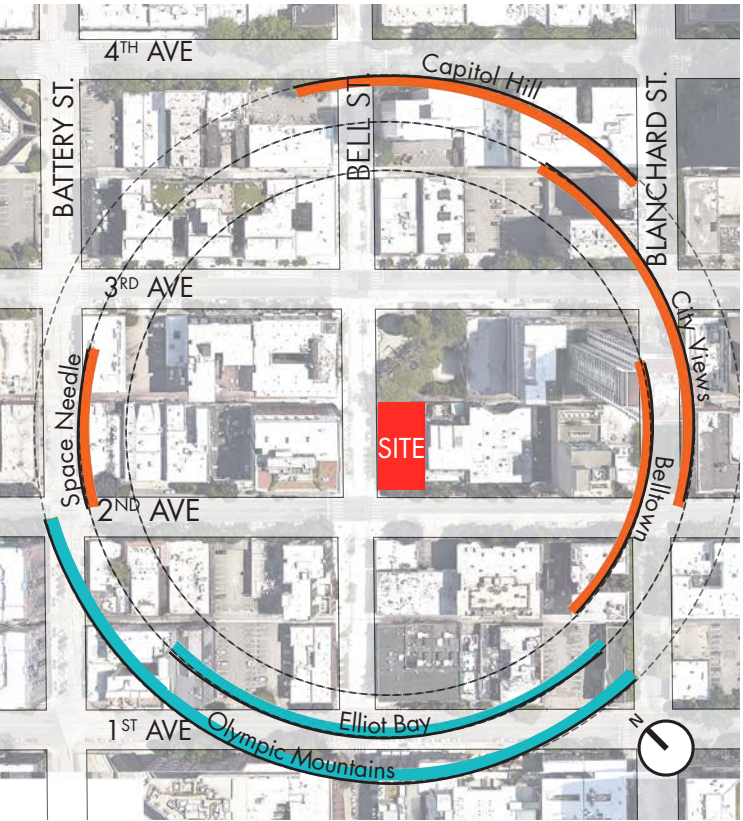


TREES LEGEND

- Site
- Trees
- Green Streets / Parks

SIGNIFICANT VIEWS

There are no immediate street level views due to the heights of the surrounding buildings. The upper floors and the building's rooftop will have views of surrounding neighborhoods, Downtown Seattle, water views, and views of the space needle.

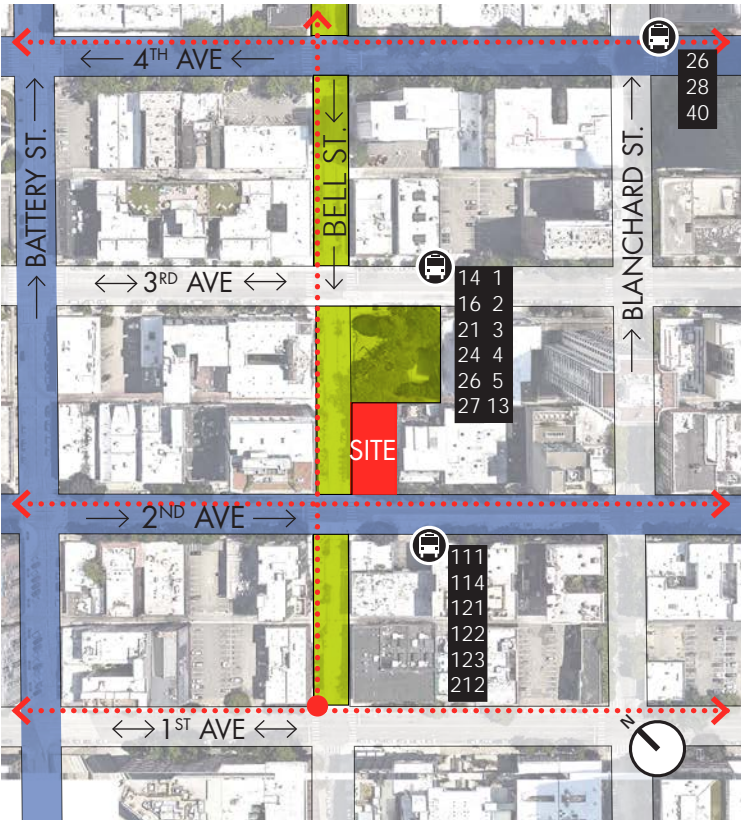


VIEWS LEGEND

- Site
- Neighborhoods and Structures
- Natural Surroundings

ACCESS OPPORTUNITIES + CONSTRAINTS

2nd Avenue is a designated one-way street that runs from west to east. Bell Street is also a designated one-way street that runs from north to south. Paid parallel parking is available along both streets. There are three nearby bus stops which are located on 2nd Avenue, 3rd Avenue, and Blanchard Street. There is currently three dedicated bike lanes surrounding the site. These are located on 2nd Avenue, south of the site on 1st Avenue, and north of the site on 4th Avenue. Pedestrian access to the site occurs from 2ND Avenue and Bell Street.

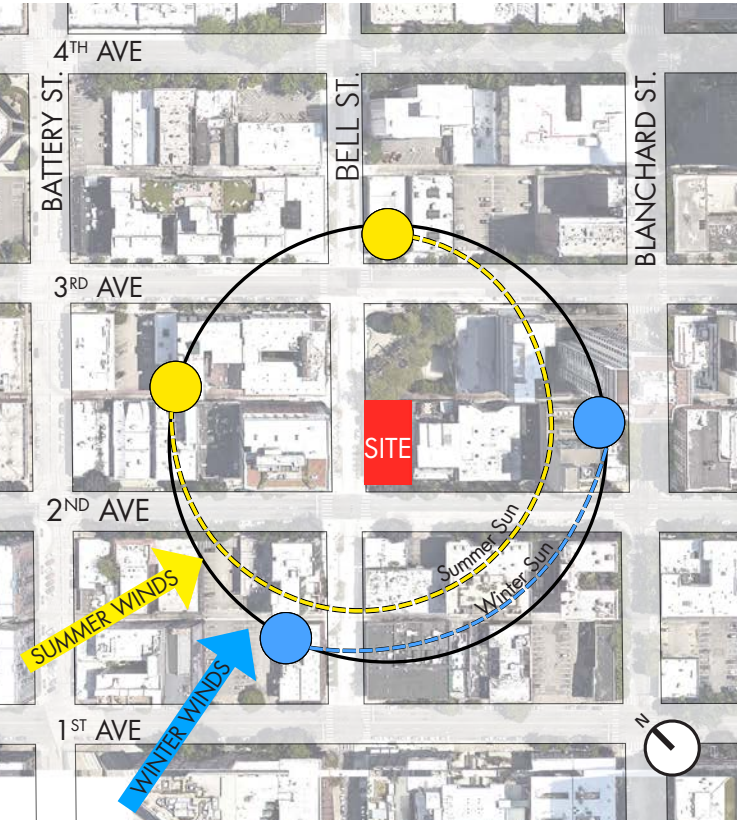


ACCESS/CIRCULATION LEGEND

- Site
- Direction of Traffic
- Arterial Streets
- Green Streets / Parks
- Bike Routes
- Bus Stops

SOLAR EXPOSURE + PREVAILING WINDS

The site is surrounded by a park on the northeast edge and by mid-height buildings on all other edges. Because of its positioning compared to the north and surrounding buildings, part of the north and east facade have little to no sun exposure. However, the southern and western edges along 2ND Avenue and Bell Street capture abundant sunlight throughout the year.

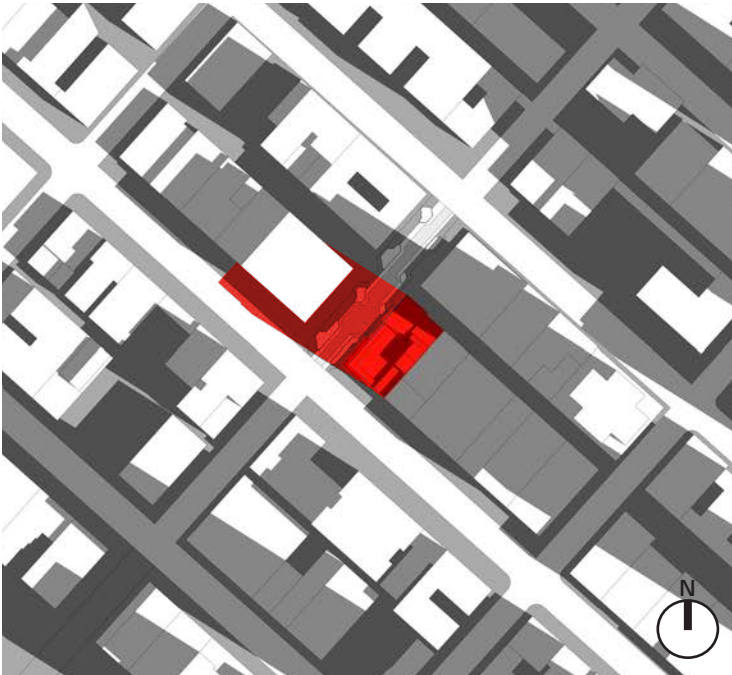


SOLAR / WINDS LEGEND

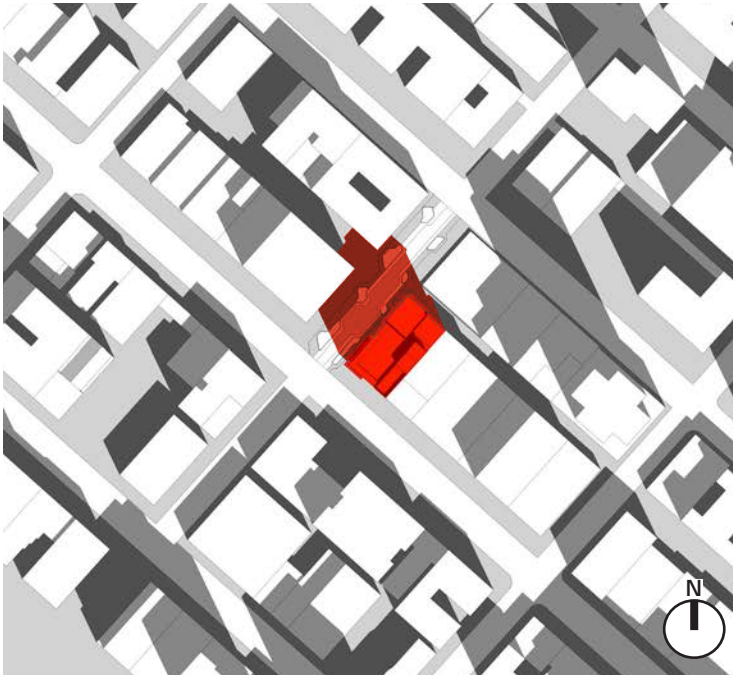
- Site
- Summer Sun and Winds
- Winter Sun and Winds



SUPPLEMENTAL INFORMATION SHADOW ANALYSIS



10 AM - SPRING EQUINOX  
March 20, 2015



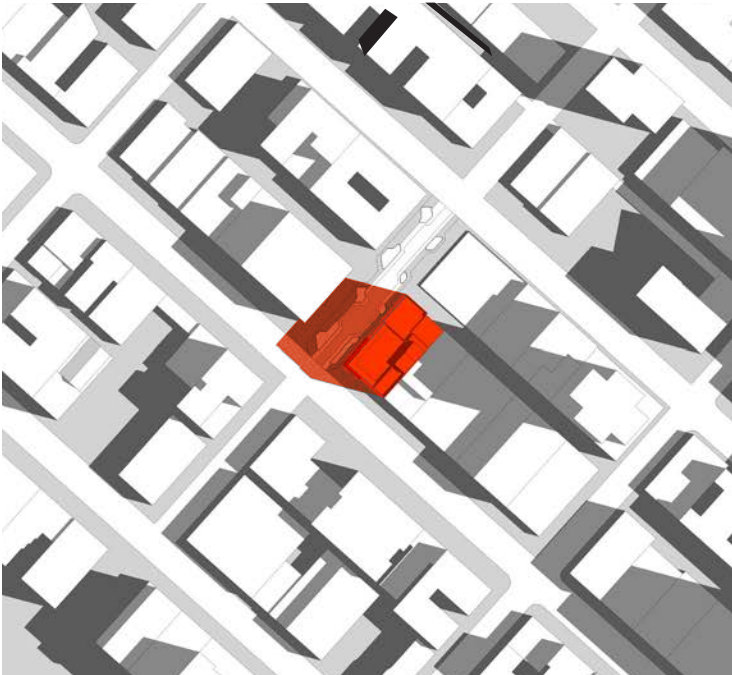
12 PM - SPRING EQUINOX  
March 20, 2015



2 PM - SPRING EQUINOX  
March 20, 2015



4 PM - SPRING EQUINOX  
March 20, 2015



10 AM - SUMMER SOLSTICE  
June 21st, 2015



12 PM - SUMMER SOLSTICE  
June 21st, 2015



2 PM - SUMMER SOLSTICE  
June 21st, 2015



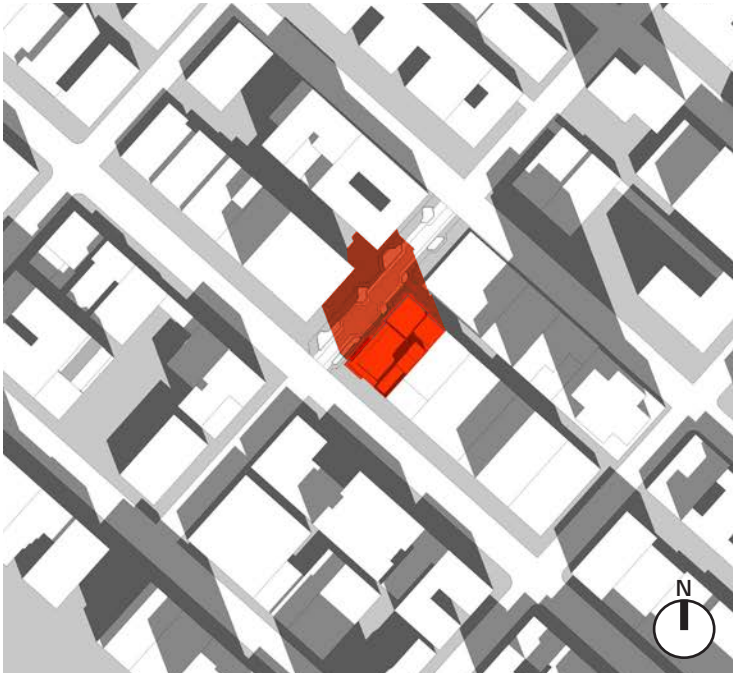
4 PM - SUMMER SOLSTICE  
June 21st, 2015



SUPPLEMENTAL INFORMATION SHADOW ANALYSIS



10 AM | AUTUMN EQUINOX  
September 23, 2015



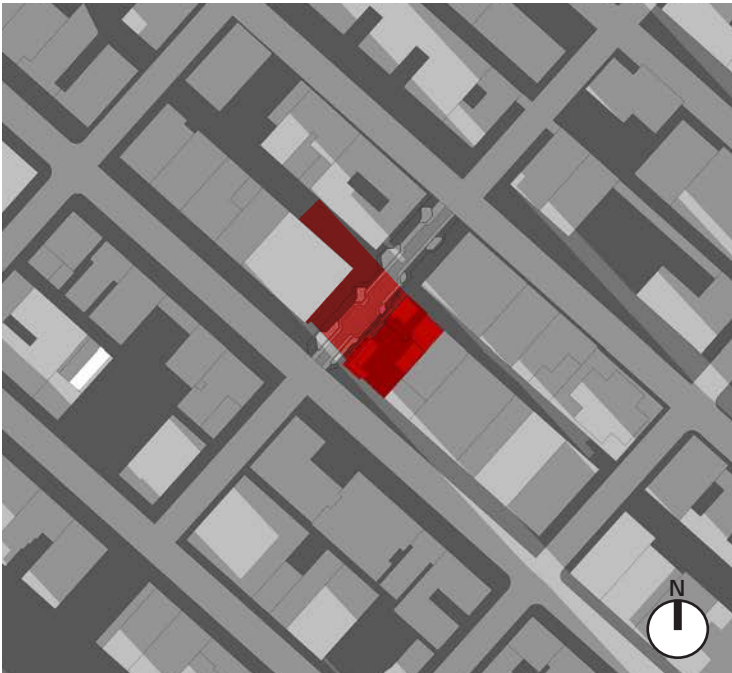
12 PM | AUTUMN EQUINOX  
September 23, 2015



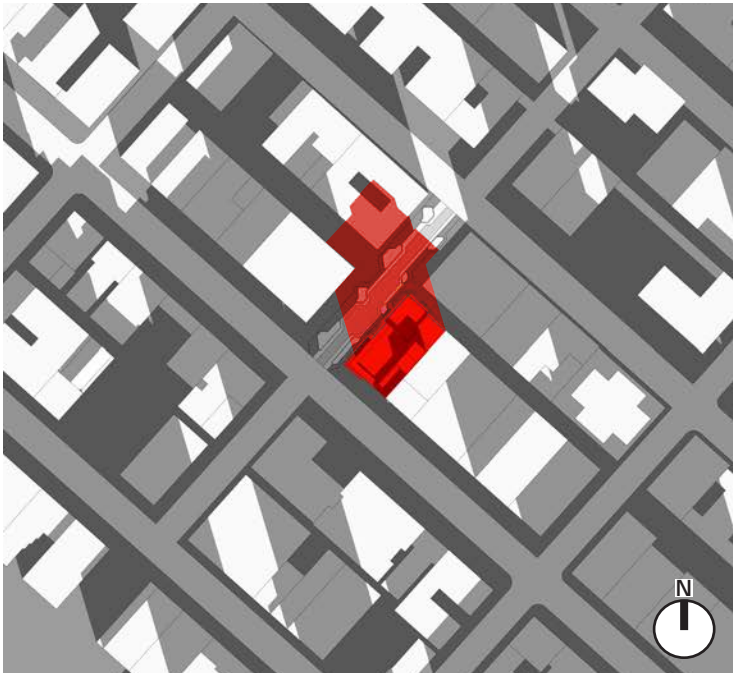
2 PM | AUTUMN EQUINOX  
September 23, 2015



4 PM | AUTUMN EQUINOX  
September 23, 2015



10 AM | WINTER SOLSTICE  
December 21st, 2015



12 PM | WINTER SOLSTICE  
December 21st, 2015



2 PM | WINTER SOLSTICE  
December 21st, 2015



4 PM | WINTER SOLSTICE  
December 21st, 2015