

# 801 *BLANCHARD*

801 Blanchard Street  
Seattle, WA 98121  
Project # 3037081-LU

Downtown Design Review Board  
2nd Design Review Recommendation Meeting  
10.25.2022

**SILVERSTEIN**  
**PROPERTIES**  
SILVERSTEIN WESTLAKE OWNER LLC  
HANDEL ARCHITECTS LLP

MAGNUSSON  
KLEMENCIC  
ASSOCIATES

**RUSHING**

 **berger**  
PARTNERSHIP



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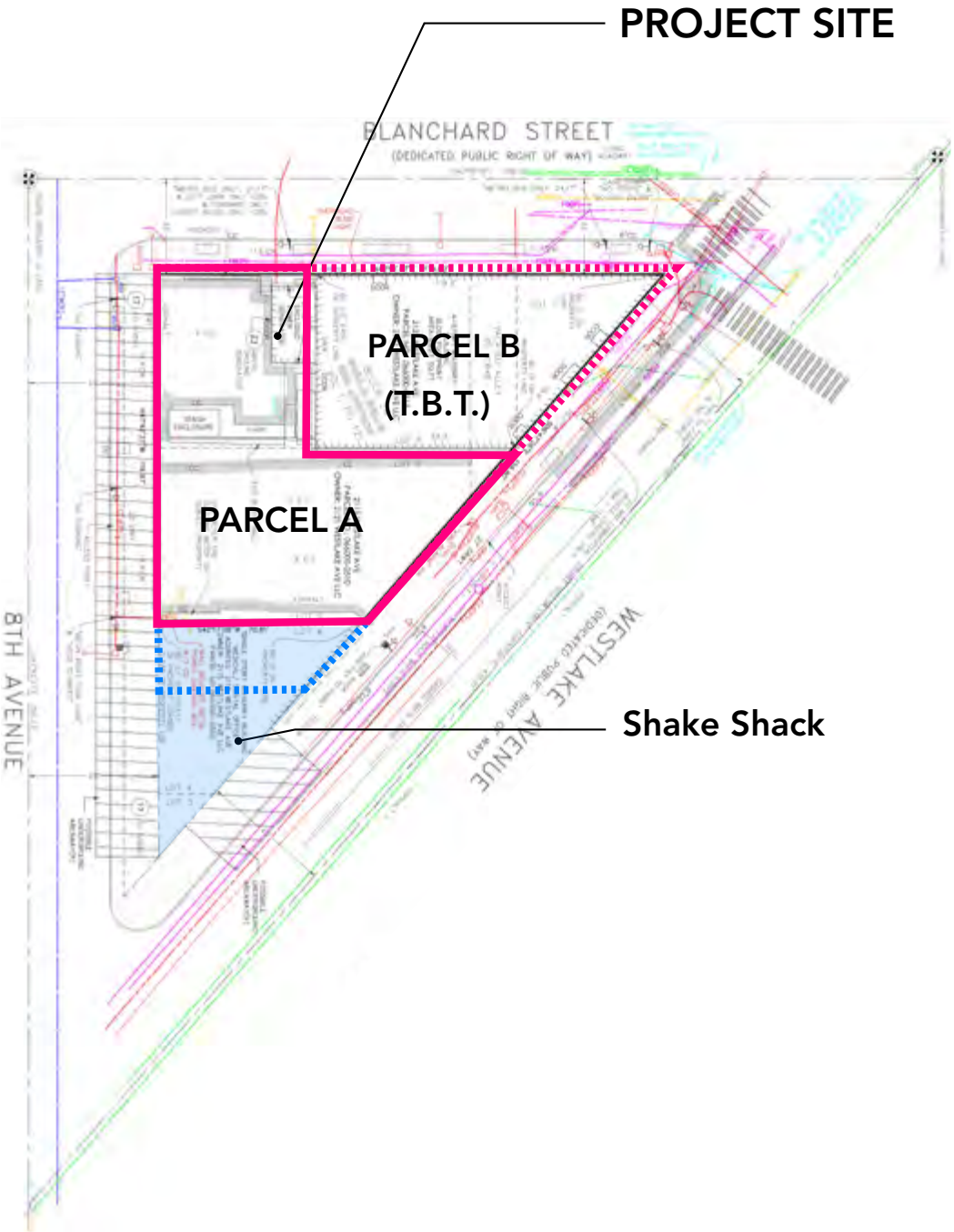
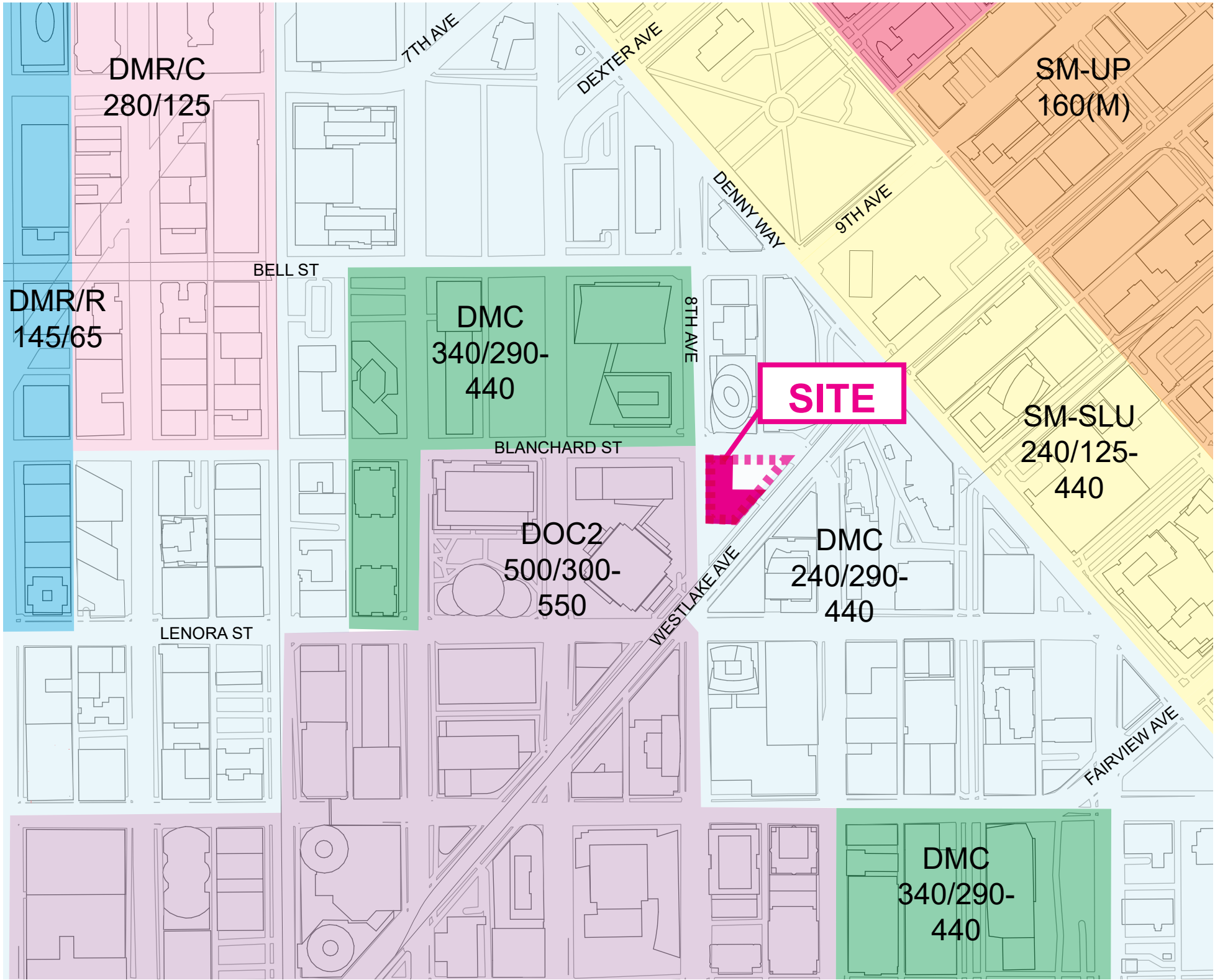
# PROPOSAL

ADDRESS:	2115 / 2121 Westlake Avenue ; a.k.a: 801 Blanchard St.
PLOT AREA:	Parcel A: 9,112 SF + Parcel B - 5,623 SF
ZONING:	Downtown Mixed Commercial ("DMC") 240/290-440
PROJECT TYPE:	Mixed-Use Residential Apartments / Retail
MAX HEIGHT:	MAX: 440' (484' with 10% bonus (23.49.008)) 476' PROPOSED
TOTAL GSF:	500,026 sf
NUMBER OF UNITS:	400 units
RESI SQUARE FOOTAGE:	446,263 sf
AMENITY SQUARE FOOTAGE:	9,753 sf (Enclosed)
RETAIL SQUARE FOOTAGE:	969 sf
PARKING STALLS:	54 Spaces (B2: 27 spaces & B3: 27 spaces)
BIKE PARKING STALLS:	314 Long Term Spaces 21 Short Term Spaces





# SUMMARY CONTEXT ANALYSIS: ZONING AND PARCEL



ZONING:  
DOWNTOWN  
MIXED COMMERCIAL  
(DMC 240/290-440)

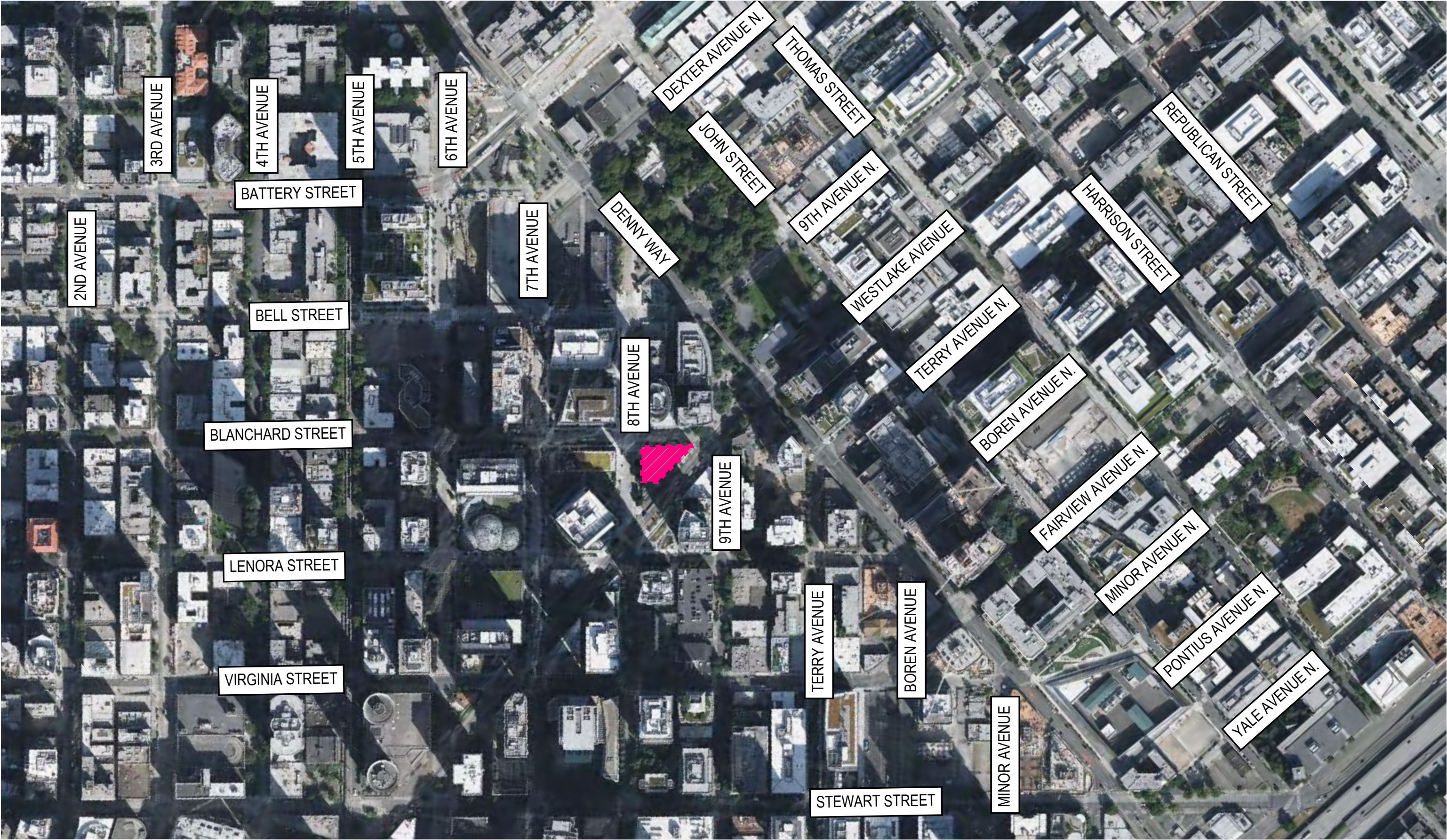
USE:  
MIXED RESIDENTIAL  
AND COMMERCIAL

HEIGHT:  
RESIDENTIAL:  
290 - 440 FT MAX.

OVERLAY DISTRICT:  
- DOWNTOWN FIRE DISTRICT  
- MHA: DOWNTOWN/SOUTH LAKE  
UNION (FEES MAY VARY BY ZONE)

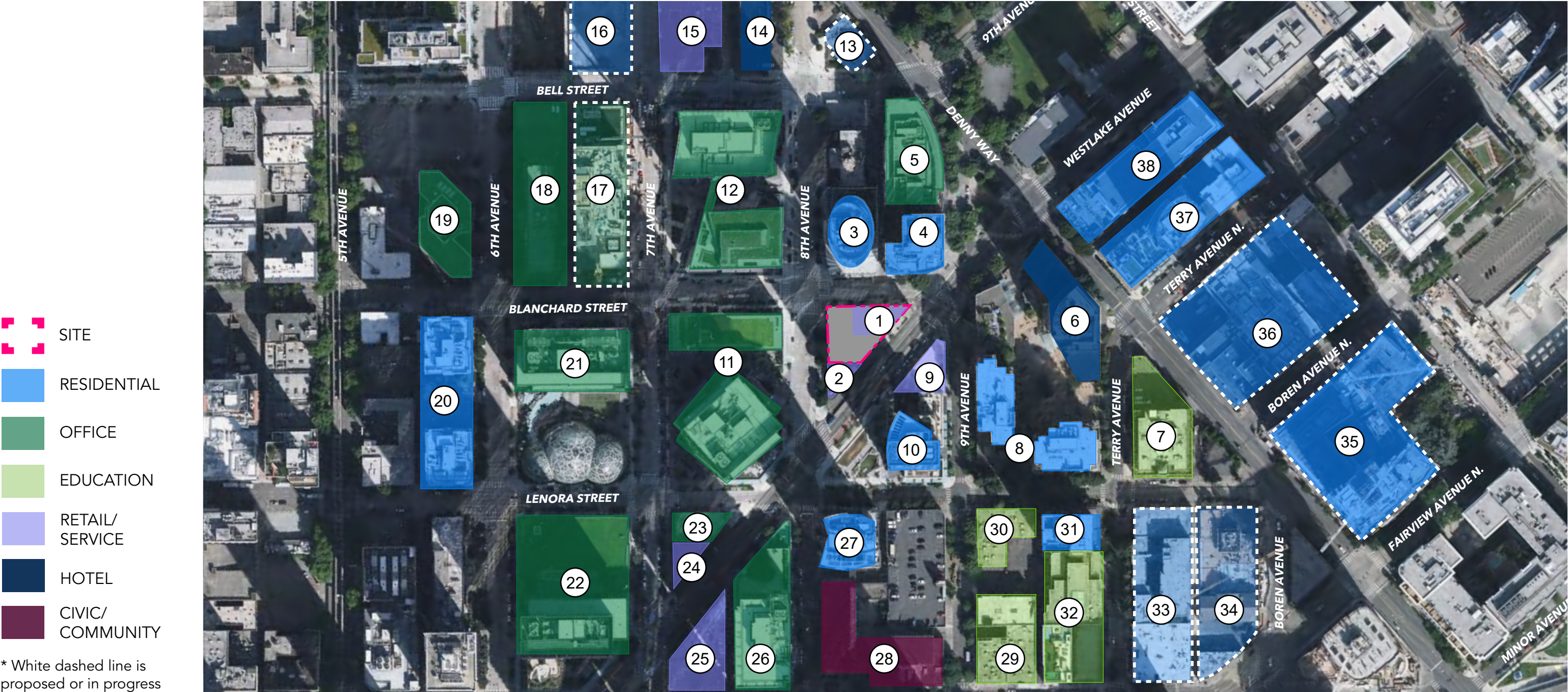


SUMMARY CONTEXT ANALYSIS: AERIAL





SUMMARY CONTEXT ANALYSIS: SURROUNDING PRIMARY USES



- |                       |                     |                   |                   |                            |                       |                   |                       |
|-----------------------|---------------------|-------------------|-------------------|----------------------------|-----------------------|-------------------|-----------------------|
| ① The Butcher's Table | ⑥ Pan-Pacific Hotel | ⑪ Amazon Relnvent | ⑬ 2301 7th        | ⑮ Amazon Day 1             | ⑲ West 8th            | ⑳ Cornish Commons | ㉔ 121 Boren Ave.      |
| ② Shake Shack         | ⑦ Cornish College   | ⑫ Amazon Block 21 | ⑭ Block 18        | ⑯ Amazon Doppler           | ㉑ Cirrus              | ㉒ Cornish College | ㉓ Kiara               |
| ③ McKenzie            | ⑧ 2200 Westlake     | ⑬ The 8 Tower     | ⑭ Denny Building  | ⑰ Dentist Downtown Seattle | ㉒ West Precinct       | ㉓ 1000 Virginia   | ㉔ Rollin Street Flats |
| ④ Enso Condos         | ⑨ Westlake Building | ⑭ The Loyal Inn   | ⑮ Blanchard Plaza | ⑰ 2027 Westlake            | ㉓ Cornish College     | ㉔ 2019 Boren      |                       |
| ⑤ 2201 Westlake       | ⑩ Stratus           | ⑮ 2300 7th        | ⑯ Via 6 Towers    | ㉔ 700 Virginia             | ㉔ Morningside Academy | ㉔ 1120 Denny Way  |                       |

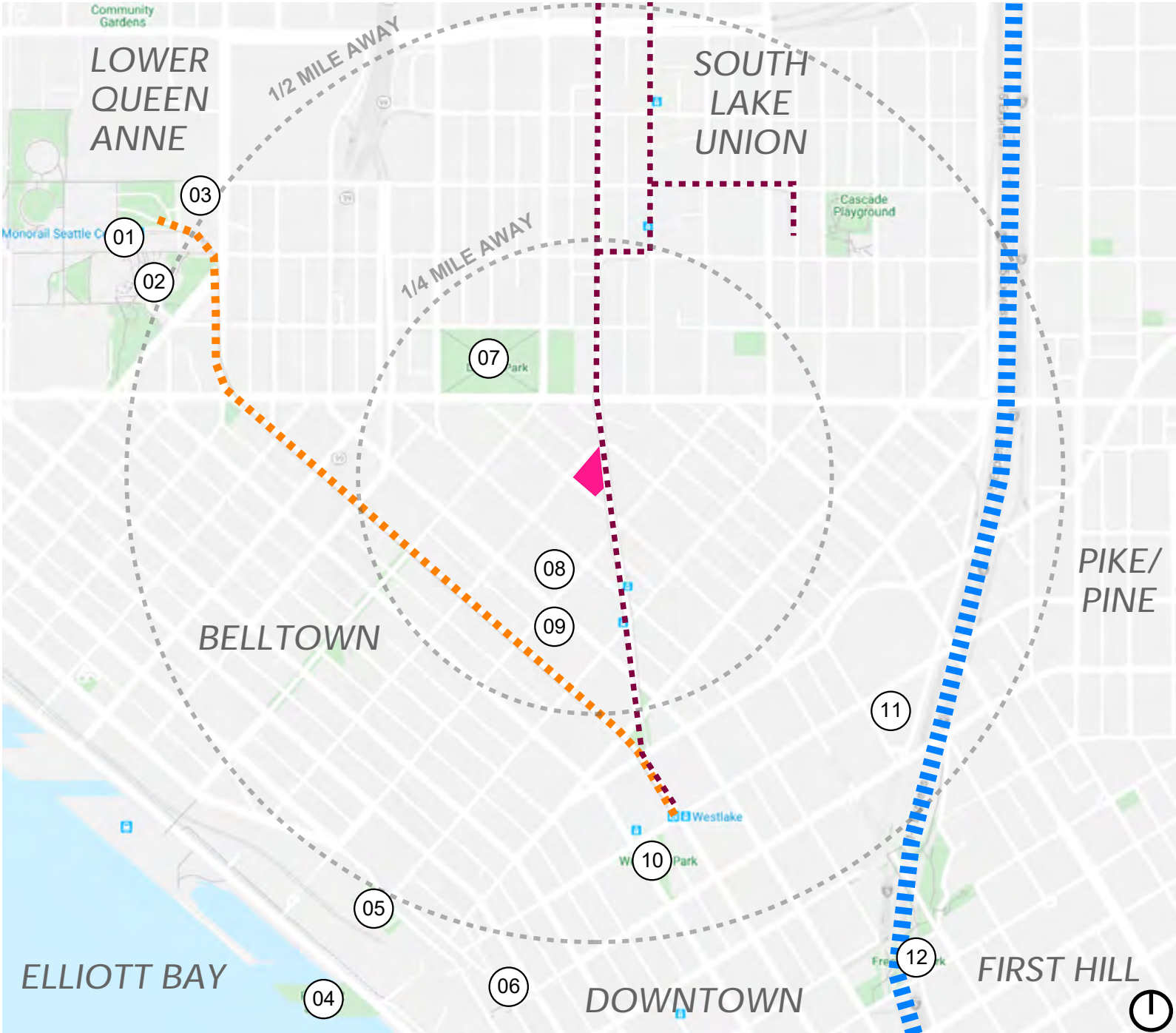


# SUMMARY CONTEXT ANALYSIS: SURROUNDING GROUND FLOOR USES





# SUMMARY CONTEXT ANALYSIS: NODES AND LANDMARKS



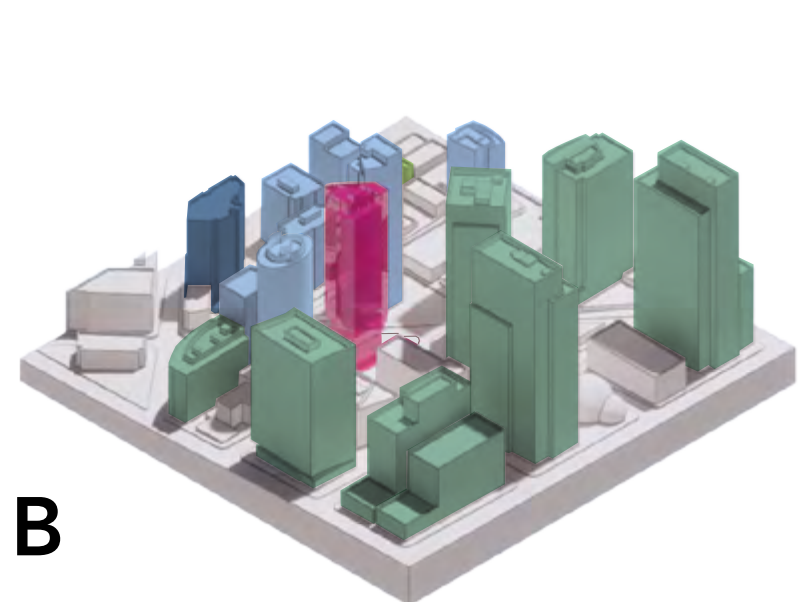
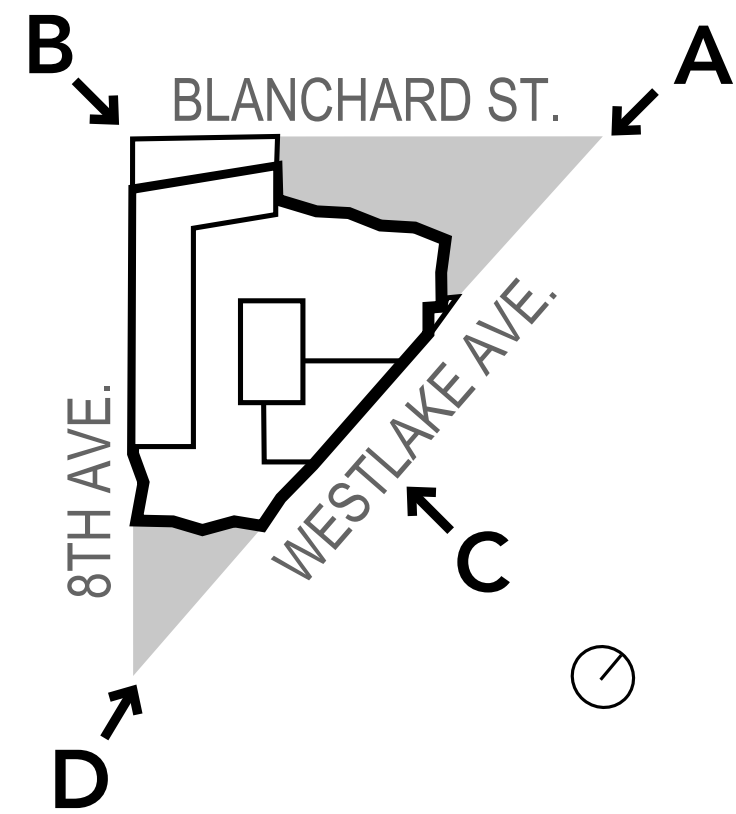
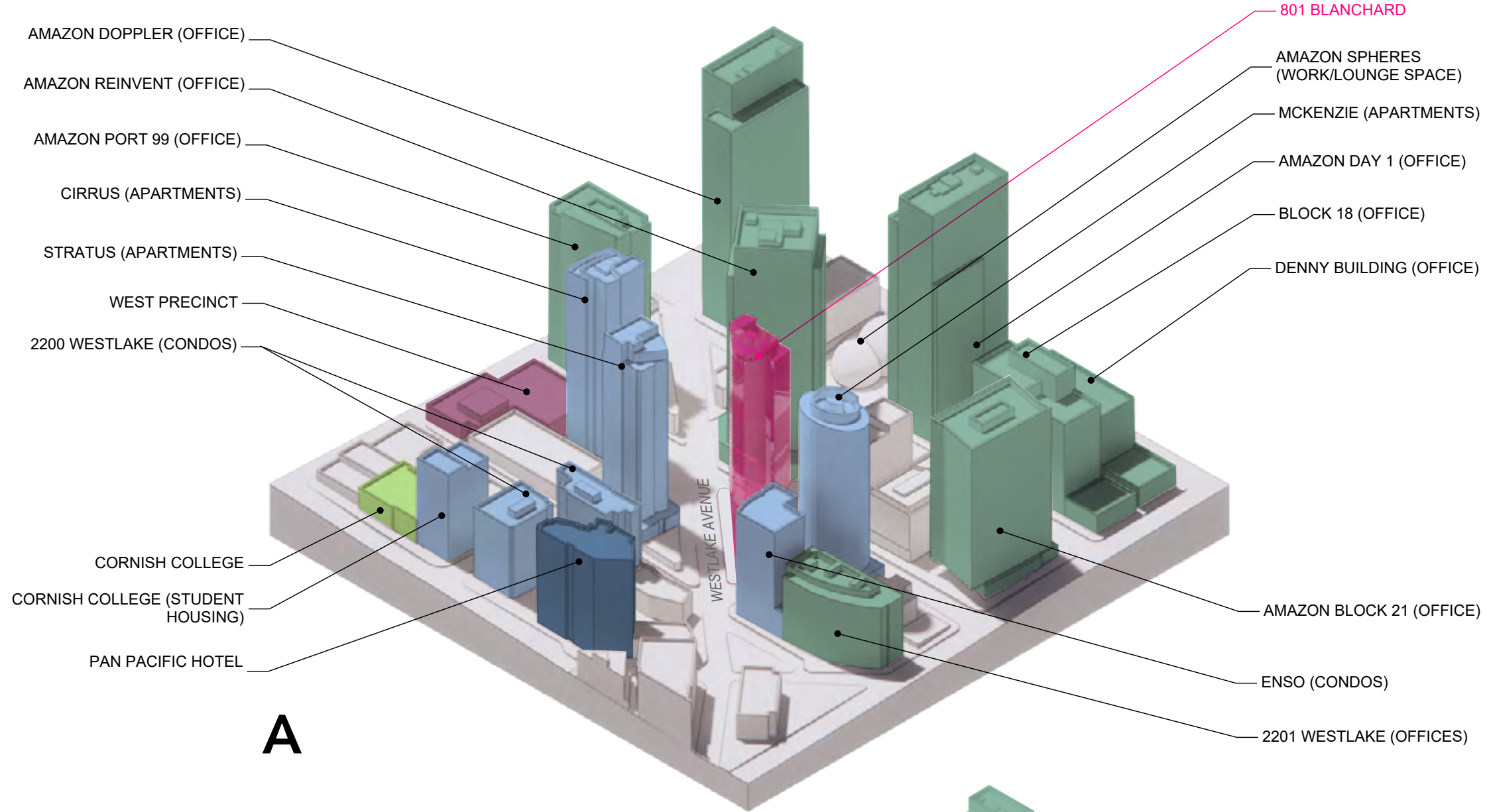
- ① Chihuly Garden & Glass
- ② Space Needle
- ③ Museum of Pop Culture
- ④ Seattle Waterfront

- ⑤ Victor Steinbrueck Park
- ⑥ Pike Place Market
- ⑦ Denny Park
- ⑧ Amazon Spheres

- ⑨ Dimitriou's Jazz Alley
- ⑩ Westlake Park
- ⑪ Paramount Theatre
- ⑫ Freeway Park



# SUMMARY CONTEXT ANALYSIS: SITE AXONOMETRIC





SUMMARY CONTEXT ANALYSIS: VICINITY



KEY MAP



02 The Butcher's Table



01 Shake Shack



03 Amazon Block 21



04 McKenzie



06 Pan-Pacific Hotel



12 Amazon Re:Invent



11 Cirrus



10 Stratus



05 Enso / 2201 Westlake



09 Urban Triangle Park



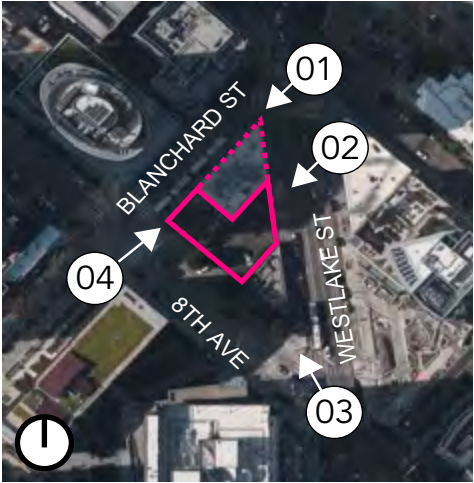
07 2200 Westlake Condos



08 Westlake Building

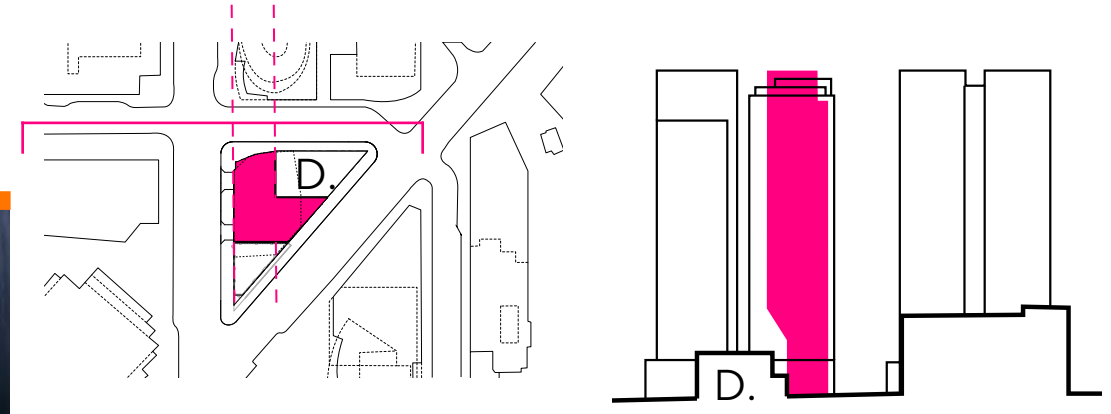
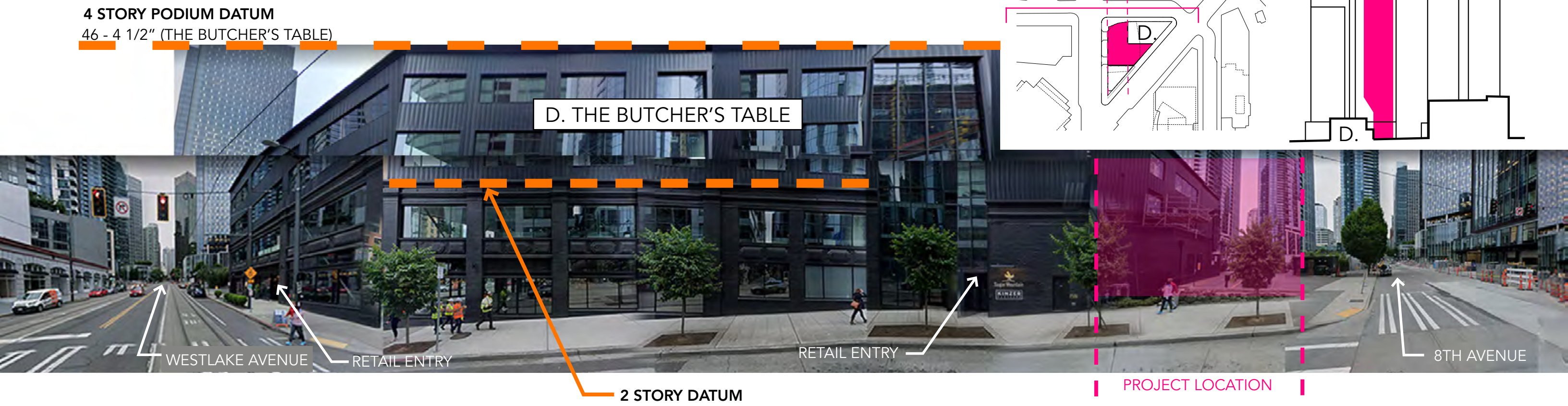
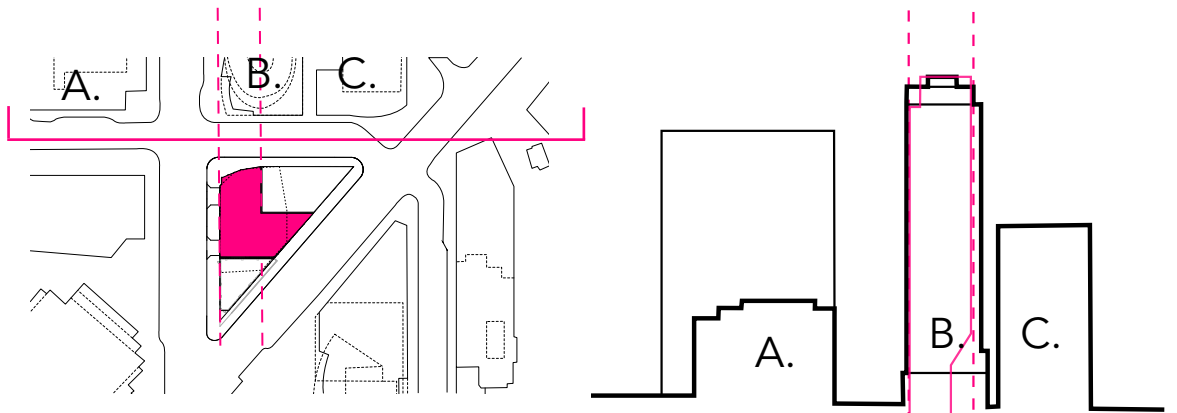
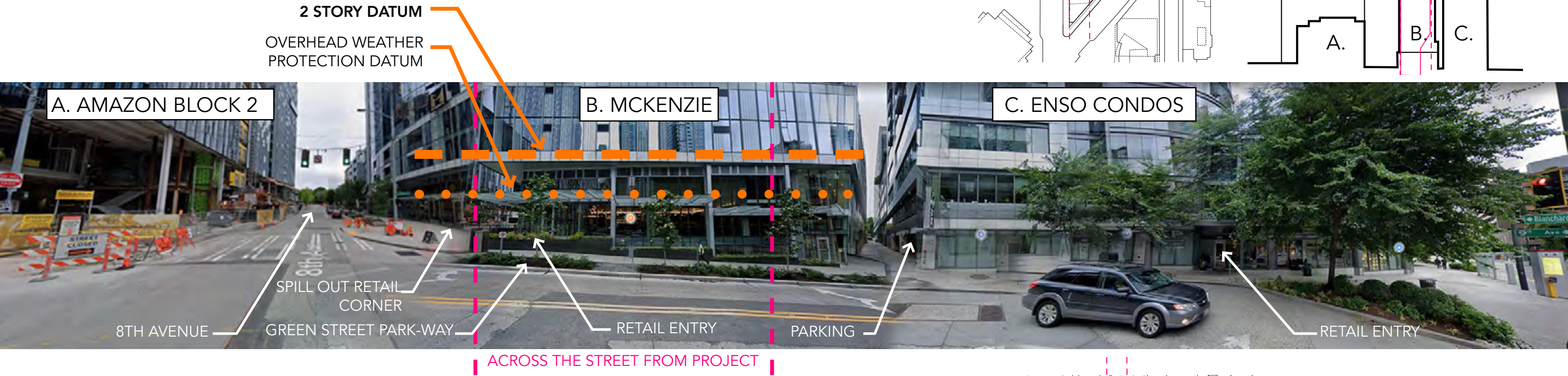


SUMMARY CONTEXT ANALYSIS: STREETSCAPE VIEWS



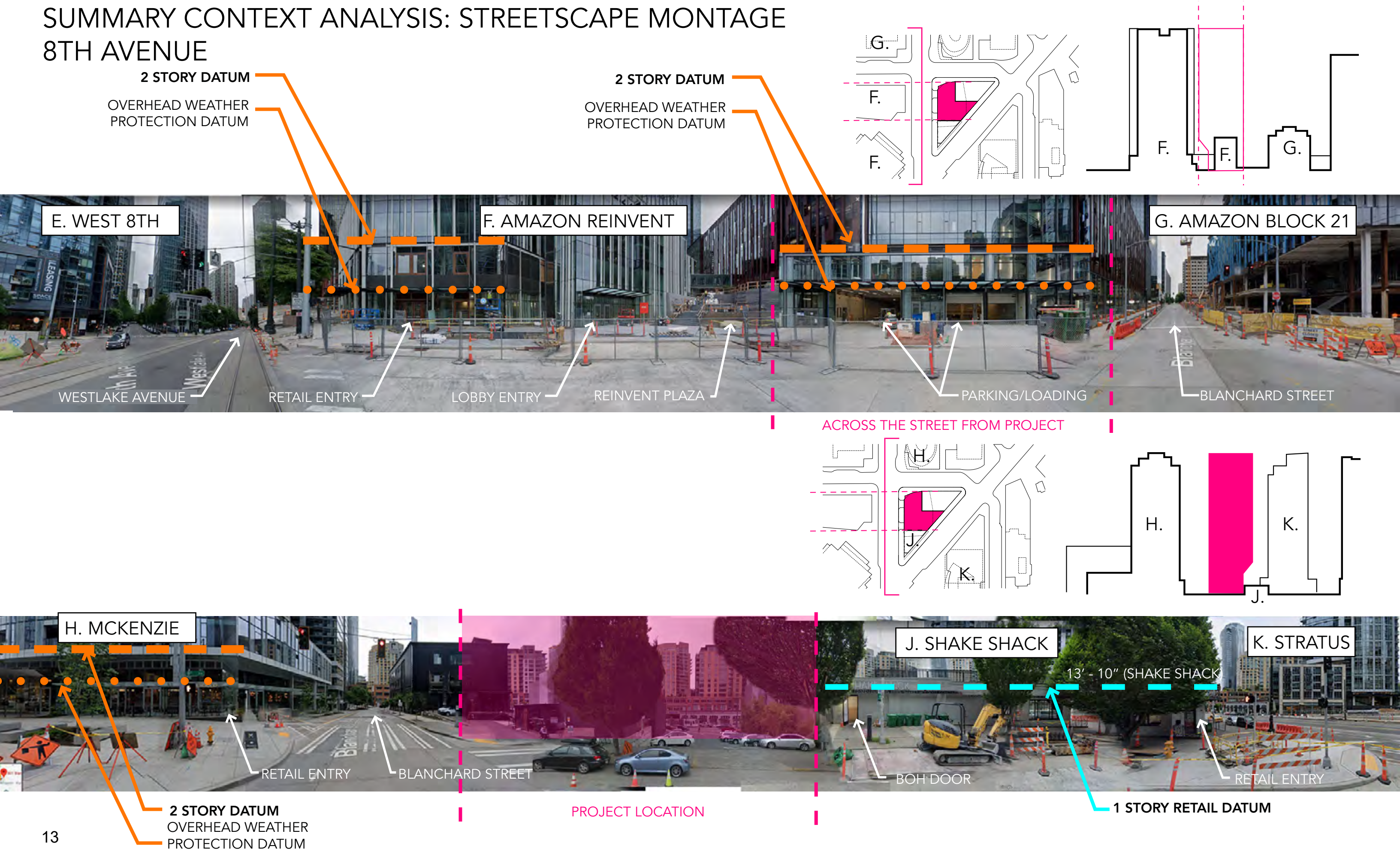


# SUMMARY CONTEXT ANALYSIS: STREETScape MONTAGE BLANCHARD STREET



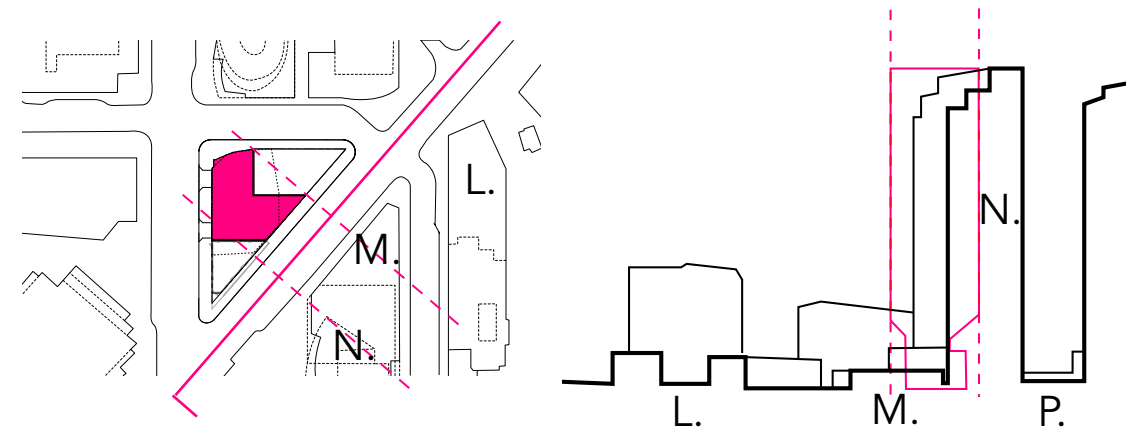
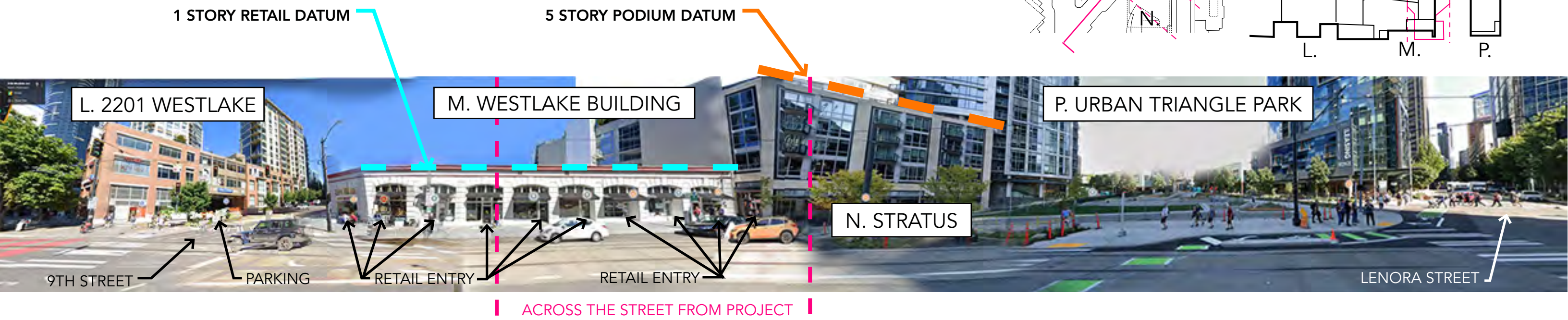


SUMMARY CONTEXT ANALYSIS: STREETSCAPE MONTAGE  
8TH AVENUE



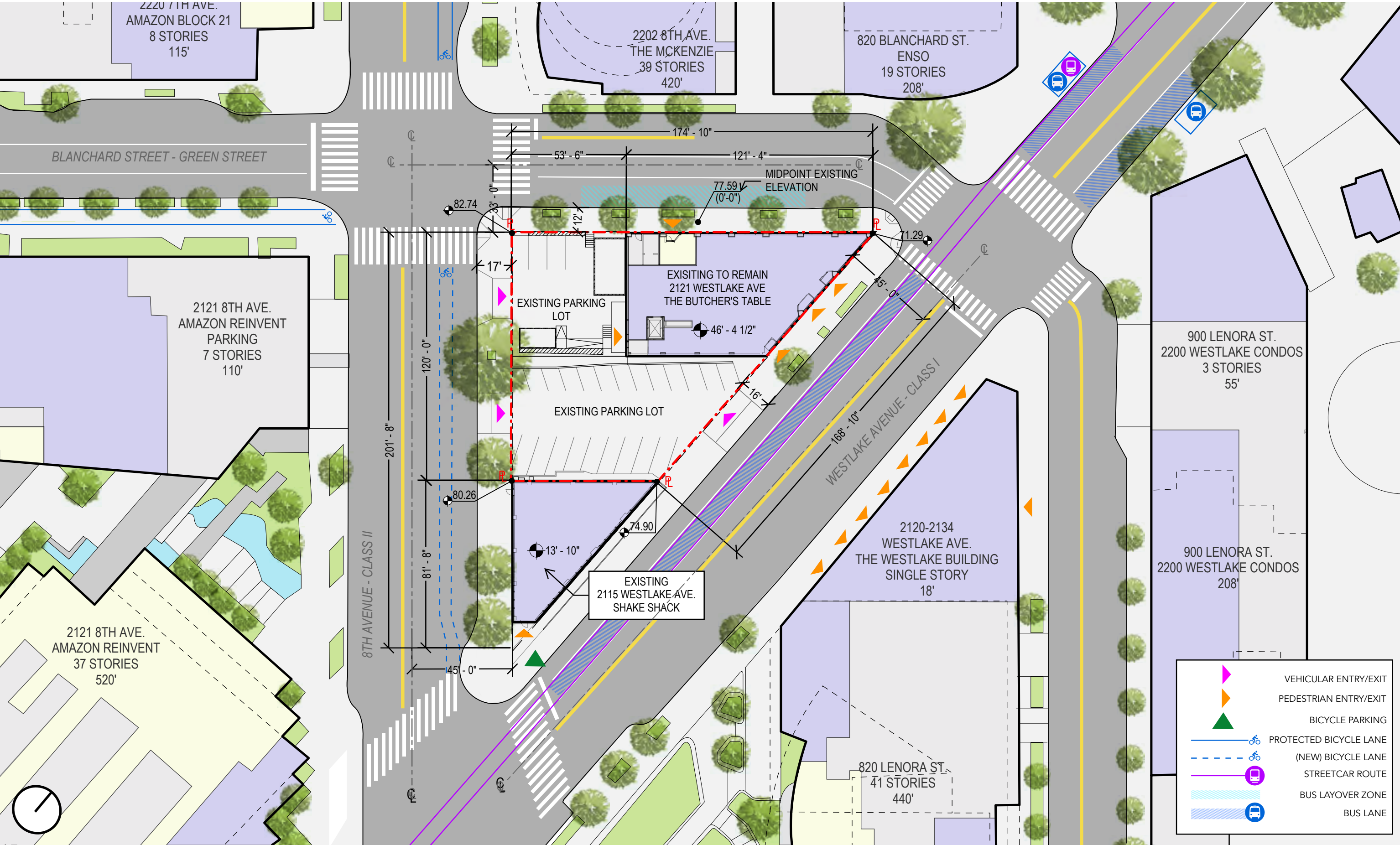


# SUMMARY CONTEXT ANALYSIS: STREETSCAPE MONTAGE WESTLAKE AVENUE



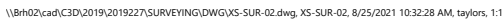


EXISTING SITE CONDITIONS: SITE PLAN





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# DEVELOPMENT OBJECTIVES

This proposal is for a new high-rise residential building located at the intersection of Westlake Avenue, Blanchard Street, and 8th Avenue that includes 400 residential units and 3 levels of below-grade parking for 54 vehicles and mechanical. The development is approximately 46 stories and 476’ in height with an approximate total area of 500,026 gross square feet, primarily residential with two levels of amenity located at the top of the podium and roof with accompanying outdoor terraces. Along Westlake, there is approximately 969 sf of retail space mirroring the active retail spaces along Westlake.

The primary entrance and double height lobby space are located along a Green Street at the Northwestern corner of 8th Avenue and Blanchard Street. At this corner, we are proposing a bulb out to provide a larger and safer pedestrian experience. Lush landscaping, benches, and contrasting paving enhance Blanchard street to provide an inviting and attractive streetscape for both pedestrians and nearby transit patrons. These improvements will complete the Green Street improvements on Blanchard Street, and create a gateway connection between the Green Street and the Westlake Avenue transit corridor.

Wrapping the corner along 8th Avenue, the warm and inviting lobby space extends into the porte cochere space, providing a grand entry for residents to valet their vehicle or ride their bicycles into, while providing a safe, engaging, and visually pleasing experience for pedestrians.

In addition to improving the streetscape, the project aims to creatively infill an under-utilized downtown parcel, which currently only supports surface level parking. Due to the parcel’s challenging “L” shaped plan, the project utilizes space created by cantilevering over the existing 4-story building at the north, “The Butcher’s Table” and the existing 1-story Shake Shack building to the south. The development team has secured agreements through outreach and financial partnership to preserve the neighboring structures and continue operation while enhancing the form and vitality of the block with high-density housing and retail services.

Located in an area defined by an expanding mixed-use office habitat and a growing need for supportive urban residential and retail service, the position and use of the project will support and enrich the flourishing urban environment.

## DEVELOPMENT SUMMARY

	TOTAL GFA	UNITS	RETAIL	PARKING SPACES
<b>PROPOSED (NEW) BUILDING</b>				
ROOF	725 SF			
LEVEL 45 - MECHANICAL	2,345 SF			
LEVEL 44 - AMENITY	8,164 SF			
LEVEL 43 - RESIDENTIAL UNITS	10,758 SF	4		
LEVEL 30-42 - RESIDENTIAL UNITS	10,758 SF	130 (10 per floor)		
LEVEL 11-29 - RESIDENTIAL UNITS	10,758 SF	209 (11 per floor)		
LEVEL 10 - RESIDENTIAL UNITS	10,454 SF	11		
LEVEL 09 - RESIDENTIAL UNITS	9,993 SF	10		
LEVEL 08 - RESIDENTIAL UNITS	9,580 SF	8		
LEVEL 07 - RESIDENTIAL UNITS	9,062 SF	8		
LEVEL 06 - RESIDENTIAL UNITS	7,053 SF	6		
LEVEL 05 - AMENITY	7,053 SF			
LEVEL 04 - RESIDENTIAL UNITS	8,078 SF	7		
LEVEL 03 - RESIDENTIAL UNITS	8,078 SF	7		
LEVEL 02 - BIKE LOUNGE AND PACKAGE ROOM	7,053 SF			
LEVEL 01 MEZZ - BOH / EGRESS	640 SF			
LEVEL 01 - LOBBY / MAIL / RETAIL / PORTE COCHERE / LOADING	7,950 SF		969 SF	
LEVEL B1 - BOH / MECHANICAL	7,693 SF			
LEVEL B2 - PARKING	7,693 SF			27
LEVEL B3 - PARKING	7,693 SF			27
<b>PROPOSED TOTAL</b>	<b>474,775 SF</b>	<b>400 UNITS</b>	<b>969 SF</b>	<b>54 SPACES</b>
<b>EXISTING THE BUTCHER'S TABLE "TBT"</b>				
TBT LEVEL 4 - OFFICE	5,059 SF			
TBT LEVEL 3 - OFFICE	5,059 SF			
TBT LEVEL 2 - OFFICE	4,992 SF			
TBT LEVEL 1 - RESTAURANT	5,130 SF		5,130 SF	
TBT LEVEL B1 - RESTAURANT	5,011 SF		5,011 SF	
<b>TBT TOTAL</b>	<b>25,251 SF</b>		<b>10,141 SF</b>	
<b>TOTAL AREA</b>	<b>500,026 SF</b>			



DEVELOPMENT OBJECTIVES : ZONING DATA    DOWNTOWN MIXED COMMERCIAL “DMC” 240/290-440

STANDARD/REQUIREMENT	PROPOSED	STANDARD/REQUIREMENT	PROPOSED
23.49.042: PERMITTED USES		23.49.019: Parking quantity, location, and access requirements, and screening and landscaping of parking areas	
- All uses are permitted outright, except those prohibited by SMC 23.49.046, and parking, which shall be regulated by 23.49.045.	COMPLIES, Proposed uses are apartments, and retail on the Westlake Avenue frontage. Parking is below-grade, all parking is valet/attendant parking with accessible drop-off area.	- No parking is required in Downtown zones - Parking not at street level, within structures must be located below street level or separated from street level by other uses - Bicycle Parking required according to 23.54.015K - Off-street loading if meeting standards in 23.54.035 - Curb cut location most preferred on 8th Avenue, then Westlake Avenue, and lastly Blanchard Street Curb cut width and number to comply with 23.54.030	COMPLIES, No surface parking provided: All parking levels of located in basement (below grade) No non-residential parking provided For Bicycle Parking, see 23.54.01 For Off-street loading, see 23.54.035 Curb cuts are all located on 8th Avenue.
23.54.015: REQUIRED PARKING AND MAXIMUM PARKING LIMITS		23.49.022: MINIMUM SIDEWALK AND ALLEY WIDTH	
SMC Table B for 23.54.015 - Required parking for residential uses II. L. all residential uses within urban centers or within station area overlay district = no minimum requirement	COMPLIES, 54 Off-Street Parking spaces are provided. 54 Spaces / 400 Units = 0.135 spaces per Unit	- Minimum sidewalk widths are established by Map 1C. - Blanchard Street - variable (12' when unmarked) - Westlake Avenue - 18'	-Blanchard Street - COMPLIES: 12' wide - Westlake Avenue - DEPARTURE REQUESTED
SMC 23.54.030.h. Attendant parking. In downtown zones, any off street parking area or structure providing more than 5 parking spaces where automobiles are parked solely by attendants employed for that purpose shall have parking spaces at least 8' x 15. Provisions of subsection a,b, c, d, e do not apply, unless attendant operation discontinued, then it shall apply.	COMPLIES, Spaces provided are 16'-0" x 8'-0"	23.49.056.A: MINIMUM FACADE HEIGHTS	
23.49.008: STRUCTURE HEIGHT		Westlake Ave. (Class I) & Blanchard St. (Green St.) = 25' min. 8th Ave. (Class II) = 15' min. - Curb cut width and number to comply with 23.54.030	COMPLIES, All Facades on 3 frontages are greater than 25' height
- Residential Maximum Height Limit = 440' (without bonuses) - 10% allowed to max height limit for Residential, if enclosed portion is 9,000 sf or below and occupied by uses permitted in Section 23.49.008 (Height with added 10% = 484')	COMPLIES, Structure Height is 440' to top of Residential Floors. Structure between 440' and 484' conforms to uses permitted in Section 23.49.008 with enclosed areas less than 9,000 sf	23.49.056.B.1: FACADE SETBACK LIMITS	
23.49.009: STREET LEVEL USE REQUIREMENTS		- Westlake Avenue as designated on Map 1H requires property line facade. For Structures greater than 15' in height: - No setback limits above 15', max. setback is 10' - Between 15'-35' above sidewalk grade, facade shall be located within 2 feet of street lot line except: i. Max Setback is 10' ii. Total Facade is set back more than 2' from the street lot line cannot exceed 40% iii. No setback can be deeper than 2' that is wider than 20' iv. The facade shall return to within 2' of street lot line between each setback area for min. 10'	COMPLIES, Facade setbacl at northern corner of facade is above 15' and less than 10' deep, and less than 40% of total facade.
- Applies to lots abutting streets on Map1G (Westlake Avenue) - Uses permitted in Section 23.49.009A - Minimum of 75% of street frontage	COMPLIES, 127' - 11" of the 158' - 10" ' Frontage is occupied by General Sales and Services and Eating and Drinking Establishments, qualifying uses	23.49.056.B.2: GENERAL SETBACK LIMITS	
23.49.010: COMMON RECREATION AREA		- General Setback Limits apply to Blanchard St. and 8th Ave. - Applies between 15' height (25' facade min. HT)	COMPLIES. There are no facade setbacks at Blanchard St. or 8th St. between 15' HT and 25' HT
- Required for new developments with over 20 dwelling units - 5% of total gross floor area required (shall not exceed size of lot) - Up to 50% can be enclosed, minimum horizontal dimension of 15', cannot be less than 225 sf - Open space on ground floor is counted as twice amount - Up to 50% can come from Green Street development	DEPARTURE REQUESTED	23.49.056.C: FACADE TRANSPARENCY REQUIREMENTS	
23.49.011: FLOOR AREA RATIO		- Applies to area 2' - 8' facade above sidewalk - Does not apply to portions of structures in residential use - Westlake Ave. (Class I) & Blanchard St. (Green St.) = 60% required - 8th Ave. (Class II) = 30% required	COMPLIES.
- DMC 240/290-440: Base FAR = 5 / Maximum FAR = 8 - Residential Use - Exempt	COMPLIES	23.49.056.D: BLANK FACADE LIMITS	
23.49.016: OPEN SPACE		- Blank facades apply to 2' - 8' of facade above sidewalk - Does not apply to facades with residential uses - Garage doors width permitted to be doors + 5' - Blank facades must be separated by transparent areas of 2' wide - Westlake Ave. and Blanchard St.: Cannot be more than 15' wide and cannot exceed 40% of facade - 8th Ave.: Cannot be more than 30' wide and cannot exceed 70% of facade	COMPLIES.
- 20 sf per 1,000 sf of gross office floor square footage for projects with 85,000 sf gross floor area (Residential - Exempt)	COMPLIES, Residential use is exempt		
23.49.018: OVERHEAD WEATHER PROTECTION AND LIGHTING			
- Continuous overhead weather protection required for Blanchard St., 8th Ave., Westlake Ave. -Provide adequate lighting on facade or overhead protection - Exceptions: open space, driveways, loading docks -Lower edge of overhead weather protection must be a minimum of 10' and a maximum of 15' above sidewalk	DEPARTURE REQUESTED		

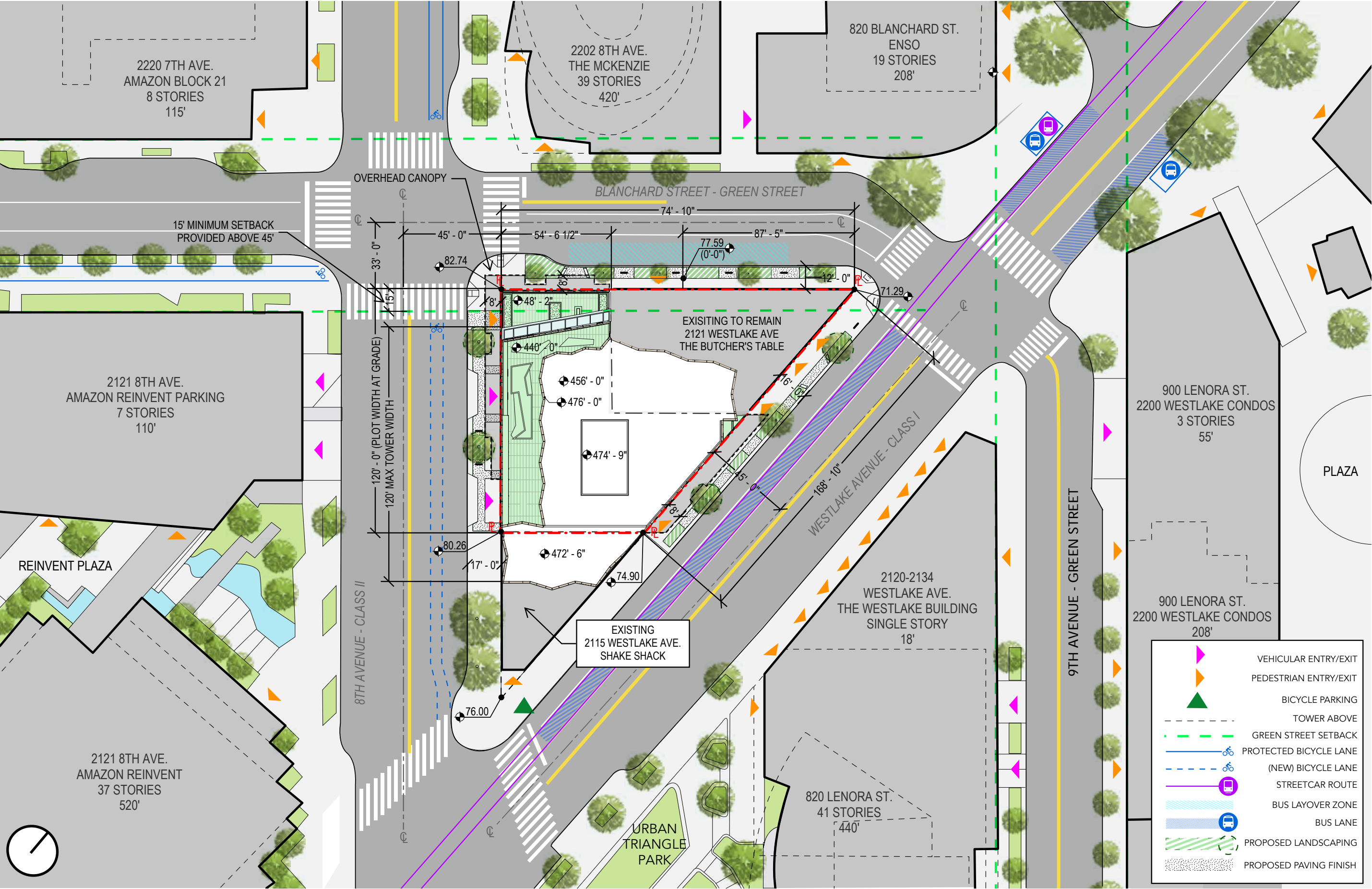


DEVELOPMENT OBJECTIVES : ZONING DATA

STANDARD/REQUIREMENT		PROPOSED	STANDARD/REQUIREMENT		PROPOSED
23.49.056.E. STREET TREE REQUIREMENTS			23.54.030: PARKING SPACE AND ACCESS STANDARDS		
- Street trees are required on Westlake Ave., Blanchard St., and 8th Ave. (According to standards in Right-of-Way Improvements Manual) - Areaways are located beneath sidewalk on 8th street, so, street trees shall be planted in below-grade containers with provisions for watering trees		COMPLIES.	- Attendant parking spaces = 8' x 15' - Sections A,B,C,D, E do not apply for attendant parking - 2 curb cuts permitted on 8th Ave. (Minor Arterial) - Exception for 20' curb cut to match driveway width for two-way traffic - Distance between curb cuts must be 30' - EV Parking garages for multiple residences = 20% required to be EV ready (round up)		COMPLIES, 2 curb cuts for loading and car parking by attendant are provided on 8th Ave. separated by over 32' feet. 20% of spaces will be EV ready.  All parking is valet/attendant parking with accessible drop-off area. No accessible spaces required within garage.
23.49.056.F. SETBACK AND LANDSCAPING REQUIREMENTS FOR LOTS LOCATED WITHIN THE DENNY TRIANGLE			23.54.035: LOADING BERTH REQUIREMENTS AND SPACE STANDARDS		
Provide landscaping on Westlake Ave. and 8th Ave. Exceptions for vehicular driveways and entrances which cannot be over 50% of length. - Blanchard St. must comply to the 'Green Street Plan'		COMPLIES.	- Serving Medium Demand (eating/drinking establishments, utilities): 10,000-60,000 is minimum with 1 loading berth requirement - Could be waived having less than 16,000 sf - Min. width of loading berth is 10' and 14' in vertical clearance - Min. length is 35'		COMPLIES. (2) berths at 11' x 39' loading berth are provided
23.49.058.A.1 Downtown Office Core 1 (DOC1), Downtown Office Core 2 (DOC2), and Downtown Mixed Commercial (DMC) upper-level development standards					
STANDARDS APPLYING TO STRUCTURES IN RESIDENTIAL USE:					
23.49.058.C.1: TOWER FLOOR AREA LIMITS			23.054.040: SOLID WASTE AND RECYCLABLE MATERIALS, STORAGE, AND ACCESS		
- Average residential gross floor area per story of a tower if height exceeds base height limit for residential use = 10,700 sf - Maximum residential floor area of any story in a tower = 11,500 sf		COMPLIES, The average area per story for the tower above 85' is 10,696 SF	- More than 100 dwelling units: 575 sf plus 4 sf for each additional unit above 100 required; required min. area can be reduced by 15%, if min. horizontal dimension is 20' - Non-residential development (GFA): - 0-5,000 SF: 82SF / 5,001-15,000: 125 SF - Mixed use development shall meet the storage spaces requirements shown in Table A for 23.54.040 for residential development, plus 50% of the requirement for non-residential development. - Curb cut width and number to comply with 23.54.030		COMPLIES. 1,598 SF Required for Storage, 1,721 SF Provided
23.49.058.C.2: MAXIMUM TOWER WIDTH					
- Maximum Tower Width of a building above 85' along the general north/south axis of a site (8th Avenue) shall be 120' or 80% of width of lot measured on the Avenue, whichever is less.		COMPLIES. The combined plot length at 85' above grade is 201' - 8" 80 % of 201' - 8" is 161 - 4" > 120' The width of the tower parallel to the Avenue is 120'			
23.49.058.D: TOWER SPACING IN DMC ZONES					
23.49.058.D.4.no separation is required: a. Between structures on different blocks, except as may be required by view corridor or designated green street setbacks. 23.49.058.D.4. -All portions of the tower that are above 125 feet in height must be separated from any other existing tower that is above 160 feet in height, and the minimum separation required between towers from all points above the height of 125 feet in each tower is 60 feet		COMPLIES. There are no other towers on the block.  If 23.49.058.D.4. Applies, Complies - Seperation between towers on other blocks is greater than 60'			
23.49.058.E.2: UPPER LEVEL SETBACKS					
- Blanchard Street (designated Green street) requires continuous upper-level setback of 15', measured from abutting green street lot line, above 45'		DEPARTURE REQUESTED			
23.54.015: BICYCLE PARKING					
- Required Residential Bike Parking: - Long Term: 1 per dwelling unit / Short Term: 1 per 20 dwelling units - After 50 spaces, additional spaces are required at 3/4 ratio from table 23.54.015 - Required Retail (Eating & Drinking) Bike Parking: - Long Term: 1 space per 5,000 sf / Short Term: 1 space per 2,000 sf		COMPLIES			

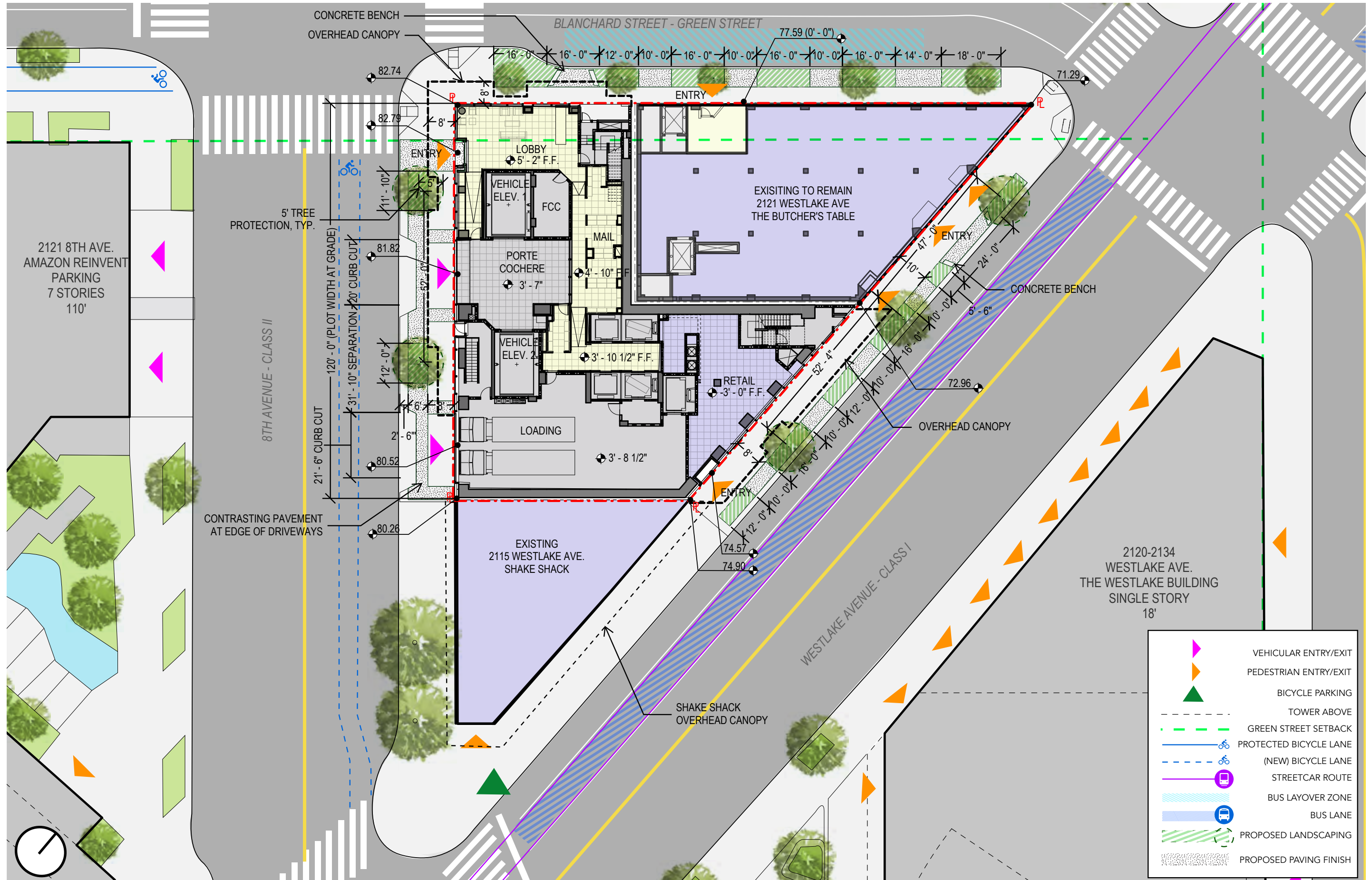


COMPOSITE SITE PLAN





# COMPOSITE SITE PLAN: ENLARGED





# DESIGN REVIEW GUIDELINES: DESIGN TEAM RESPONSE

## Site Planning and Massing

### A-1 Respond to the Physical Environment

This proposal is for a new high-rise residential building located at the intersection of Westlake Avenue, Blanchard Street, and 8th Avenue. The project aims to creatively infill an under-utilized downtown parcel, which currently only supports surface level parking. Due to the parcel’s challenging “L” shaped plan, the project utilizes space created by cantilevering over the existing 4-story building at the north, “The Butcher’s Table” and the existing 1-story Shake Shack building to the south.

### A-2 Enhance the skyline

As recommended by the Board, we further investigated the terraced overhang language in creating a more cohesive and unified design concept. We initially examined the use of materiality to reinforce the undulating forms, and we felt this resolved some of the Board’s concerns. After further study we developed the proposed pleated tower design that directly relates to the undulating overhangs. We believe this is an elegant and bolder concept which unifies the base and top of the building.

The mechanical screen at the tower top has been thoughtfully resolved as a series of clean extrusions as a continuation of the pleated form. The framed patterning of the recessed metal panels at the top also reinforce the relationship between the top and base. As per the Board’s suggestion, the recesses have been deepened to be more effective and added to the western roof screen to create continuity. This continuity is further accentuated with integrated lighting which highlights the “crown” of the building, enhancing the Seattle skyline.

## Architectural Expression

### B-1 Respond to the Neighborhood Context

The building is situated between two existing buildings on the North and South elevations. The concept equally distributes the tower mass on each side of the non-standard shape of the block. The overhang is reduced through a concept of terraced setbacks. This approach provides a scaled modulation that is compatible with the existing buildings while providing adequate relief.

### B-2 Create a Transition in Bulk & Scale

The base of the building has been reconsidered and refined. The design goal for the base is to be responsive and analogous to the volume and height of The Butcher’s Table while creating a cohesive transition to the upward expression of the articulated facade. To break down the scale and fit in better with the surrounding adjacent buildings, Level 5 and 6 are more transparent with spandrel and glass. This transition reduces the bulk and creates better proportions for the building, but is not so contrasting that it creates visual discontinuity or dissonance.

### B-3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area

The residential entrance is located on the corner of 8th Ave and Blanchard St which faces west. The entry is accented by a new proposed bulb out, custom entry door, and textured sidewalk, defining the corner entrance into the building. Additionally, the proportions of the base are derived from the 4-story datum of The Butcher’s Table and the 1-story datum of the Shake Shack.

### B-4 Design a Well-Proportioned & Unified Building

The pin-wheel massing concept, which was supported by the Board, was maintained through our conceptual studies and is still a vital component in the proposed design. However, we re-approached the expression of the exterior facade, by developing two wall textures: the “pleated facade” and “framed window facade”. The objective is to allow each facade to evolve naturally from the building’s massing. The pleated facade is inspired by and originates from the two expressive cantilevers on the North and South elevations. This language is expressed in the champagne coloring. The framed window facade is derived from the rigid structural exterior moment frames that support the tower and are expressed in the silvery, white. Consistent use of color reinforce the architectural languages and unify the building.

## The Streetscape

### C-1 Promote Pedestrian Interaction

The project proposes a new retail store frontage situated on the East elevation of the site along Westlake Ave, replacing the existing surface level parking. This new frontage is accentuated with a new planting strip that includes bike racks and a canopy denoting the retail entry. The residential entry is located on the corner of 8th Ave and Blanchard St. as well as the porte cochere, which acts as an extension of the lobby space, creating visual interest and activity.

The street level of the building is accented by a dark granite material, grounding the project at its base, which contrasts from the tower’s material language. We believe the variety of textures and combination of colors create a visually dynamic exterior expression at the pedestrian scale.

### C-2 Design Facades of Many Scales

As we developed the two-facade concept of the proposed design, we carefully considered the impacts of scale and proportions. Originating from the building’s structural grid, the framed window facade language is traced from the base volume, changes scale up the tower, and resolves at the crown. The pleated texture of the tower is an organic evolution of the undulating overhang as the tower grows from the base. This is in keeping with the “fulcrum” concept from the EDG meeting.



# DESIGN REVIEW GUIDELINES: DESIGN TEAM RESPONSE

C-3 Provide Active - Not Blank - Facades  
C-4 Reinforce Building Entries

The lobby, porte cochere, and interstitial space between, provide high transparency and activity along 8th Ave. The intention is for the porte cochere to be an extension of the lobby with high quality finishes and lighting that convey a grand entry and provide safety and visual interest along the façade. The lobby is situated on the corner of 8th Ave and Blanchard St, creating transparency at the Northwestern corner facing a green street and other retail uses. Along Westlake Ave, the new retail space enlivens the street frontage with storefront glazing.

C-5 Encourage Overhead Weather Protection

The pedestrian entries are protected by continuous canopies with integrated downlights, which run the full length of the street level frontages. The silvery, white canopies maintain continuity of the silvery, white frames and fits in well to the rest of the podium design. The residential lobby is a double-height space creating an open, welcoming experience for pedestrians.

## Public Amenities

D-1 Provide Inviting & Usable Open Space

The architectural design has been coordinated with the proposed landscape design to distinguish the building entries with paving patterns. In addition, bike racks, benches, and planting strips along the three frontages of the project site enhance the pedestrian experience.

D-2 Enhance Building with Landscaping  
D-3 Provide elements that define the place

The proposal includes two residential outdoor terraces on Level 5 and Level 44. Each terrace brings the experience of landscaping to a larger variety of recreational activities. This is achieved with movable furnishings and large format glass doors that allow of flexible use and a variety of activities which provide improved accessibility to the terraces.

D-4 Provide appropriate signage  
D-5 Provide adequate lighting  
D-6 Design for personal safety & security

The proposed signage and lighting plans are intended to create a warm, welcoming experience for pedestrians at the street level. The canopies have integrated lighting along the entire length of the building frontage for increased safety and visibility.

Signage has been proposed at the residential lobby, porte cochere, retail, and loading dock to help pedestrians navigate the project's street level uses. A warm, transparent, double-height lobby space emphasize the corner of 8th Ave and Blanchard St as the main entry point.

The porte cochere is accented with sconces on either side of the portal and is visually intended to be a grand entrance emphasized by high-quality finishes and refined lighting design. Integrated wayfinding signage create a clear, safe path for vehicles and bicyclists. Mirrors and warning systems also protect and alert pedestrians as they travel along 8th Ave.

## Vehicular Access & Parking

E-1 Minimize Curb Cut Impacts  
E-2 Integrate Parking Facilities  
E-3 Minimize the Presence of Service Areas

Based on the board's concern with regard to the vehicular uses along 8th Ave, the porte cochere provides a hospitality quality experience for the residents. The intention is for the porte cochere to be an extension of the residential lobby. This concept engages pedestrians with an open facade displaying a warm, welcoming space, while providing a safe and visually pleasing experience.

Eliminating an existing curb cut on Westlake Ave. and locating a retail store frontage there improves the current conditions and creates a safer, more interesting, and lively pedestrian experience. In addition, the existing, northern most curb cut has been relocated away from the intersection of 8th Ave and Blanchard St., also increasing visibility for bicyclists and pedestrians



# BOARD COMMENTS



Previous DRB Concept

North View of Tower from Westlake Ave

## Summarized Board Comments from DRB #1 - May 24, 2022

### 1. Architectural Concept and Detailing

- a. appreciated the pinwheel concept with “pleated” and “framed window” facade types; concern about transitions and clarity of architectural language
- b. concerned with lack of unifying details; detailing of transitions should be consistent
  - i. suggested reveals as a solution that can be further explored, but welcomed alternatives
  - ii. further study on transition between white “framed window” and champagne “crown”

### 2. Facade Treatment:

- a. further development of clear architectural language and consistent application of material; how do they relate to “pleated”, “framed”, and “spandrel”
- b. supported consistent podium facade design on all frontages; materiality should be consistent with overall language ; questioned use of champagne at base
- c. further study of how the podium meets the tower; materiality of the base (level 5 and 6) should be vertically integrated with tower above
- d. concerned with highly-visible blank facade above Shake Shack; treatment should relate to tower or podium
- e. supported wrapped “crown” expression; concerned with depth of recesses; treatment should be consistent
- f. supported the use of lighting as a unifying element; lighting installation should fully wrap the “crown” to strengthen concept

### 3. Street & Landscape

- a. supported treating the porte cochere as an exterior lobby; appreciated that residential lobby connects to the porte cochere via hallway along sidewalk
- b. stated proposed landscape plan successful; supported paving patterns and use of subtle texture to distinguish drive aisles across sidewalk
- c. appreciated that total amount of common recreation space increased since EDG; inclined to support departure due to sense of openness and increased accessibility at Level 5 garden
- d. supported lighting and signage concept plans; recommended changed to lighting of crown
- e. deliberated over merits of code compliant and hybrid sidewalk; noted SDOT encouraged 10’ pedestrian clear zone; inclined to support provided width of the pedestrian clear zone increases
- f. directed further development of canopy design that is part of cohesive architectural concept; materiality informed by facade types in tower and articulation related to podium.

## Development Standard Departures

- 1. Common Recreation Area (SMC 23.49.010.B.2):** maintained preliminary support based on applicant’s rationale; operable windows/doors achieves sense of openness and accessibility
- 2. Minimum Sidewalk Width (SMC 23.49.022, Map1C):** acknowledged SDOT comment; DRB inclined to support applicant’s rationale, provided applicant maximizes width of pedestrian clear zone; potential to maintain strong street edge, while providing pedestrian volumes
- 3. Upper Level Setbacks (SMC 23.49.058.E.2):** preliminary support based on applicant’s rationale; responds to datums of adjoining structure
- 4. Overhead Weather Protection (SMC 23.49.018):** inclined to support to accomodate street trees, provided canopy is cohesive to architectural concept; not inclined to support tapered ends; only support where necessary for tree clearance requirements



# RESPONSE TO BOARD COMMENTS

## Summary of Response to Board Comments from DRB #1 - May 24, 2022

In response to the comments we received from the DRB, we have further studied and developed the treatment and materials of the façade with the following goals:

- 1) Create distinction between “pleated” and “framed window” expressions to develop clear architectural languages (Design Guideline B-4, B-4.3)
- 2) Identify and develop unifying architectural details at material transitions and use consistently as appropriate (Design Guideline A-2, B-4, B-4.3)
- 3) Unify top, tower and base by consistent application of materials and treatments (Design Guideline A-2, B-3, B-4, B-4.3, D-5.1)

## Design narrative for achieving the above goals:

Based on our “fulcrum” and “pinwheel” concepts, we maintained the “pleating” and “framed window” expressions, but changed our approach to material application. By isolating the champagne metal to the “pleated” language and the silvery-white to the “framed window” language they are made more distinct. These two contrasting expressions complement and play off of each other to produce a “wrapping” effect between massing volumes.

To better integrate the base into the rest of the tower, the frames have been revised to be silvery, white and correlate to the overall material concepts, unifying the tower as a whole. This continuity in silvery, white from the tower down to the base, anchors the tower to the corner of Blanchard Street and 8th Avenue.

At the top of the building, the recessed frames have been deepened and continued along the entire perimeter, creating a “crown”. This “crown” is further emphasized with lighting, which provides a prominent feature along the Seattle skyline.

After carefully considering material application, the intersections between materials were identified and developed to have more consistent transitions. Reveals are used where applicable and enlarged to a consistent 18” x 12” to better match the scale of the tower and appear stronger. Elsewhere, geometry was also adjusted to allow materials to terminate at inside corners.

Overall, the revisions made have produced a cohesive, unified building, strengthening the overall concept and improving architectural clarity.





# ITEMIZED RESPONSE TO DRB #1 - MAY 24, 2022

Priorities and Recommendations		Design Team Responses
1a.	The Board appreciated the revised approach to the pinwheel concept since the second EDG meeting, which was pushed further by establishing the “pleated” and flatter “framed window” façade types. The Board, however, was concerned about the transitions between these different façade types and the clarity of the architectural language and requested the project return for a second Recommendation meeting to consider additional information showing how the materiality and detailing have been further developed to successfully express the design concept and mass. (B-4, B-4.3)	We appreciate the Board’s comments and suggestions, and have revised our color palette and application to better compliment the “pinwheel” concept. To create more of a distinction between the “pleated” and “framed window” expressions, the podium frames have been revised to be a silvery, white tone, matching the tower above. By doing this, the champagne color becomes isolated to the cantilevered portions, which accentuate the “pleated” language, clarifying the differences in architectural expressions. See page 41 and 43 for reference.
1b.	The Board was concerned with the lack of unifying architectural details; particularly, the detailing of the transitions between the “pleated” and “framed window” façade types. The Board stated that the detailing of these transitions should be deliberate and distinguish between the different parts of “pinwheel” mass. The Board noted that these transitions could be distinct or blurred, but either way the approach should be consistent on all facades of the building (B-4, B-4.3) i. The Board suggested that the 1-foot-3-inch reveal detailed on page 34 of the first Recommendation packet is a solution that could be further explored and consistently applied to all transition points; however, they welcomed alternatives. ii. The Board directed further study of the transition between the white-colored “framed window” façade type and the champagne-colored “crown”; particularly, where the transition is coplanar. (A-2, B-4, B-4.3)	After re-examining our material locations, we further identified and developed details at intersections. Considering the Board’s recommendations, both vertical and horizontal transitions have been resolved, with inside corners and reveals utilized as solutions. Where reveals are used, they have been uniformly enlarged to be 1-foot-6-inch wide and 1-foot deep (previously 1-foot-3-inch wide and 1-foot deep), which appears to be more appropriate for the scale of tower and visually more apparent from a distance. In addition, we have designed unique reveals for the 8th Avenue and Westlake Avenue facades. See pages 36-38 for material transition diagrams and reveal details.
2a.	The Board directed further development of a clear architectural language and consistent application of material, including careful study of the application of the champagne-colored metal panel, white-colored metal panel, and spandrel glass as it relates to either the “pleated” or “framed window” façade types. (B-4) i. The Board appreciated the warmth of the champagne-colored metal panels and contrasting white-colored metal panels as it distinguishes itself within the immediate architectural context of glass towers, and - in response to public comment-noted the matter finish will help reduce light and glare impacts.	We are maintaining the “lighter colored metal” concept supported by the Board with the combination of warm champagne and silvery, white metal panels. By re-examining the material application, the “pleated façade” concept is reinforced as a prominent feature, complemented by the framed window expression clad in white metal panel. This warm palette helps to distinguish the building amongst the dominating cool blue and grey tones prevalent in the immediate vicinity of the site. See page 39 for the facade material treatment.
2b.	The Board supported the consistent podium façade design on all frontages; however, they stated the materiality should be consistent with the overall architectural language of the tower. The Board questioned the use of the champagne-colored metal panel at the base since the podium does not otherwise incorporate elements of the “pleated façade” type. (B-3, B-4)	We appreciate the Board’s observation and understand the concerns of discontinuity in materiality. In response we have altered the base color to a lighter tone creating visual coherence and anchoring the corner of 8th Avenue and Blanchard Street. This also maintains the consistency in material application, allowing the “pleated” language to be more distinct from the white, silvery “framed” language. See page 75 for the updated tower base rendering.
2c.	The Board directed further study of how the podium meets the tower and noted that the materiality of the base of the tower (levels 5 and 6) should be vertically integrated with the tower above. (B-4)	There is a natural transition between the tower and podium that occurs at Level 5, where the massing is reduced by the Green Street Setback on Blanchard Street. In order to break down the tower scale and allow the podium to better relate to surrounding adjacent buildings, Levels 5 and 6 are intended to have a more neutral expression, and implements spandrel glass matched to the vision glass to create a separating element distinct from both the tower and podium. Below this element, and as described in response to 2.a and b. above, we have changed the metal elements on Levels 2-4 to match the white, silvery color of the framed tower above, thus providing continuity between the podium and the tower. See page 42 for reference.



# ITEMIZED RESPONSE TO DRB #1 - MAY 24, 2022

Priorities and Recommendations		Design Team Responses
2d.	The Board was concerned with the highly-visible blank façade above the adjacent 1-story structure (Shake Shack) and noted the treatment should relate to either the treatment of the tower above or to the podium on either side. (B-3, B-4)	<p>The Shake Shack building has a different owner, and as part of our agreement to cantilever 801 Blanchard over their building, they will maintain the ability to vertically expand the Shake Shack building up to the same height as The Butcher's Table – this is why the cantilevers on 801 Blanchard do not begin at a lower elevation.</p> <p>We recognize the Board's concern about the façade treatment of this lot line wall, and have refined the design to have the podium façade treatments on Westlake and 8th Avenue wrap the corners onto the south façade, and relate to the reveals between the framed wall and pleated facades described in 1.b above. Between these returns, the champagne color of the pleated façade above continues down, with a geometric pattern derived from both the street facades continued horizontally, and a triangular pattern derived from the pleated façade above. In addition to the champagne color, two additional colors are used in the pattern to create depth on the façade surface. Finally, the transition between the street façade returns and the champagne patterned façade includes a subtle reveal at a slight angle inward from the vertical, bringing the champagne façade more lightly down to the Shake Shack roof, and allowing the street façade returns to relate more strongly to each other.</p> <p>See page 43 for reference.</p>
2e.	The Board supported the wrapped "crown" expression as it unifies the top of the tower however, they were concerned that the depth of the recesses within the "crown" of the tower may be too shallow and encouraged deepening the recess or simplifying the modulation. The treatment should be consistent around the top of the tower. (A-2, B-4)	<p>Agreed. To remain consistent and strengthen our "crown" concept, we have added recesses across the western façades to create continuity. The recesses were also deepened to 12" to make the lighting more prominent and bolder to highlight architectural features.</p> <p>See page 46-47 for reference.</p>
2f.	The Board supported the use of lighting as a unifying element at the top of the tower but stated the lighting installation should fully wrap the "crown" to strengthen this concept. (B-4.3, D-5.1)	<p>Agreed. As described in 2.e, we have added recesses to the western facades, and will include the same lighting as the rest of the crown to provide a coherent design that improves the Seattle skyline.</p> <p>See page 46-47 for reference.</p>
3a.	The Board supported treating the porte cochere as an exterior lobby and dynamic space for pedestrians, bicyclists, and vehicles. The Board appreciated that the residential lobby connects to the porte cochere via a hallway along the sidewalk edge. (B-4.2, C-1.1, C-1.3)	<p>Noted. The porte cochere will continue to be developed further to be cohesive with the lobby, using similar high-quality finishes and complimentary to the surrounding streetscape. This will allow for an active and enhanced pedestrian experience along 8th avenue.</p> <p>See page 48-49 for reference.</p>
3b.	The Board stated the proposed landscape plan was successful – and supported the paving patterns and use of subtle texture to distinguish drive aisles across this sidewalk. (D-2, E-1)	<p>Noted. Design approach will remain the same.</p> <p>See page 61-70 for the proposed landscape plan.</p>
3c.	The Board appreciated that the total amount of common recreation area had increased since EDG. The Board continued to be inclined to support the departure from common recreation requirements, due to the sense of openness between the interior and exterior amenity spaces achieved by operable window/door system and the increased accessibility to the Level 5 garden area. (B-4.2, D-1.3)	<p>Noted. The common recreation areas maintain the Nanawalls or similar on Level 5 and Level 44, which allow for an openness and increased flexibility for maximized uses and opportunities for a variety of recreational activities.</p> <p>See page 82-83 and MUP Revision #2 sheet G002D for departure rationale and diagrams.</p>
3d.	The Board supported the lighting and signage concept plans as shown in the first Recommendation packet, but recommended changed to the lighting of the "crown" as discussed above. (D-4, D-5)	<p>Noted, see previous comment 1e for developments to the lighting at the "crown."</p>



# ITEMIZED RESPONSE TO DRB #1 - MAY 24, 2022

Priorities and Recommendations		Design Team Responses
3e.	In response to SDOT comment, the Board deliberated over the merits of the Code compliant and hybrid sidewalk width departure alternatives along Westlake Ave. The Board noted that SDOT encouraged a 10-foot pedestrian clear zone and indicated they would be inclined to supported the requested departure from sidewalk width requirements, provided that the width of the pedestrian clear zone increases, and pinch-points created by landscaping, bike parking, and pedestrian furnishings are minimized, while providing sufficient soil volumes for street trees. (B-3, C-1)	We understand SDOT's concerns and appreciate the Board's suggestions. We have revised the landscape plan and site plan to provide a widened 10' sidewalk width on Westlake Ave. This will create a gracious space for pedestrians and help alleviate any traffic on Westlake Ave., while providing enough soil volumes for street trees. See page 65 for reference.
3f.	The Board directed further development of a canopy design that is part of a cohesive architectural concept, with materiality informed by the architectural language of the "pleated" or "framed window" façade types and articulation that related to the podium. The Board's support for the requested departure from overhead weather protection is dependent on the resolution of this item. (B-4.2, B-4.3, C-1, C-5)	Based on the Board's comments, the canopy has been simplified by eliminating most of the angles at the ends and inward toward the trees. Instead, the panels have been redesigned to be more regularly spaced to better compliment the podium design. The canopy material has also been revised to match the silvery, white color of the framed wall facades directly above.  The only canopy that has kept tapered ends is on Westlake Avenue, which follows the same lot line angle as the Shake Shack's canopy adjacent to the project. This helps to maintain continuity, but also creates coherence between the two building's canopies. We continued this pattern on the north side by angling the canopy end to be parallel with The Butcher's Table lot line. See page 87 and MUP Revision #2 sheet G002D for the departure rationale and canopy diagrams.
D1	Common Recreation Area (SMC 23.49.010.B.2.):The Code requires a minimum of 50-percent of the required common recreation area to not be enclosed; a maximum of 50-percent may be enclosed. The applicant proposes to allow 9,620 sf of enclosed common recreation area, which is 63-percent of the total required common recreation area (15,193 sf) – exceeding the maximum by an additional 13-percent.  The Board maintained preliminary support for the requested departure from common recreation area requirements based on the applicant's design rationale. The resulting design with operable windows/doors achieves a sense of openness and accessibility between the interior and exterior amenity spaces. (B-4.2, D-1.3)	Noted. The project continues to show Nanawalls or similar at all amenity exterior/interior connections. Due to clarifications by SDCI Zoning in the MUP Corrections Notice #2, the areas have been revised and recalculated, but still exceed the required area. See pages 82-83 and MUP Revision #2 sheet G002D for the departure rationale and supporting diagrams.
D2	Minimum Sidewalk Width (SMC 23.49.022, Map 1C):The Code requires minimum 18-foot wide sidewalk along Westlake Ave. The applicant proposed a minimum of 16-foot wide sidewalk.  The Board acknowledged SDOT comment, but was inclined to support the requested departure from minimum sidewalk width based on the applicant's design rationale, provided that the applicant maximizes the width of the pedestrian clear zone as encouraged by SDOT. The resulting would have the potential to maintain a strong street edge, while providing sufficient pedestrian volumes. (B-1, B-3)	We appreciate the Board's support and have revised the landscape plan and site plan to provide a 10' wide clear path on Westlake Ave. This results in a strong street edge and gracious pedestrian space, without compromising plantings and other landscaped elements. See page 65 for reference.



ITEMIZED RESPONSE TO DRB #1 - MAY 24, 2022

Priorities and Recommendations		Design Team Responses
D3	<p>Upper Level Setbacks (SMC 23.49.058.E.2):The Code requires a continuous 15-foot upper level setback above 45-feet along designated green streets that is not a designated view corridor requiring view corridor setbacks (Blanchard St.). The applicant proposes to intrude within the required setback for height of 2.13-feet to 5.67 feet above 45-feet, for a length of 53.5-feet along Blanchard St.</p> <p>The Board indicated preliminary support for the requested departure from upper level setback requirements based on the applicant’s design rationale. The resulting design better responds to the datums of the adjoining structure (Butcher’s Table). (B-1, B-3)</p> <p>Staff Note: This Code section was incorrectly cited as SMC 23.49.056.E.2 in the first Recommendation packet.</p>	<p>Thank you for the staff note - The code citation has been revised to show the correct citation SMC 23.49.058.E.2. No changes have been made for this setback since the last Recommendation meeting. See page 86 and MUP Revision #2 sheet G002D for the rationale and corresponding diagram.</p>
D4	<p>Overhead Weather Protection (SMC 23.49.018): The Code requires minimum 8-foot deep overhead weather protection. The applicant proposes a 5-foot minimum on 8th Ave, a 3.5-foot minimum on Blanchard St, and a 5-foot minimum on Westlake Ave. The applicant also proposes an angular canopy design that tapers at the ends along each frontage; these taped ends do not meet the minimum depth requirements, but are not clearly dimensioned in the first Recommendation packet.</p> <p>The Board was inclined support the requested departure to accommodate street trees, provided that the canopy is designated to contribute to a cohesive architectural concept. The Board was not inclined to support the tapered ends of the angular canopy design, and noted they would only support the departure where necessary to meet street tree clearance requirements. (B-1, B-3, C-1, C-5)</p>	<p>As per the Board’s comments, the canopies on Blanchard Street and 8th Avenue have been revised and developed to no longer have angled ends, which provide more space for tree protection and rationalize the panel sizes and shapes to better fit in with the building.</p> <p>The only canopy that has kept tapered ends is on Westlake Avenue, which follows the same lot line angle as the Shake Shack’s canopy adjacent to the project. This helps to maintain continuity, but also creates coherence between the two building’s canopies. We continued this pattern on the north side by angling the canopy end to be parallel with The Butcher’s Table lot line.</p> <p>See page 87 and MUP Revision #2 sheet G002D for the departure rationale and canopy diagrams.</p>



# DESIGN EVOLUTION PROCESS



PREVIOUS DESIGN :  
DRB 1



NEW PROPOSED  
DESIGN

## OPPORTUNITIES

- Dark podium grounds the building
- Clear separation between podium and tower
- Simplified south facade design

## CONSTRAINTS

- Podium not coherent with rest of design
- Material application inconsistent
- Architectural languages unclear
- Transitions unclear
- Requires departure

## COMPLIANCE

- 4 Departures Requested
- SMC 23.49.010B - Common Recreation Area
  - SMC 23.49.022 - Minimum Sidewalk and Alley Width
  - SMC 23.49.058.E.2 - Upper Level Setbacks
  - SMC 23.49.018 - Overhead Weather Protection and Lighting

## OPPORTUNITIES

- Material application corresponds to architectural language
- "Pleated" facade is more prominent
- Cohesive base, tower, top relationship
- Stronger corner presence at 8th Ave. and Blanchard St.
- Clear transitions
- Continuous "crown" design

## CONSTRAINTS

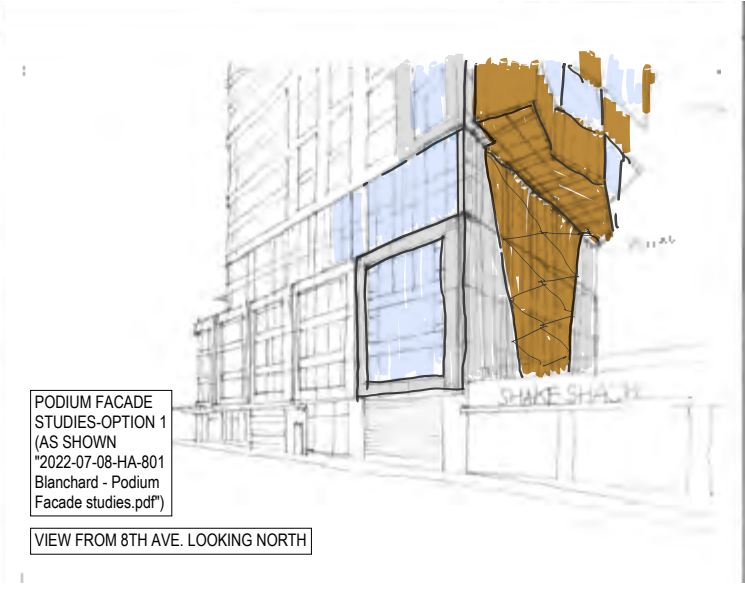
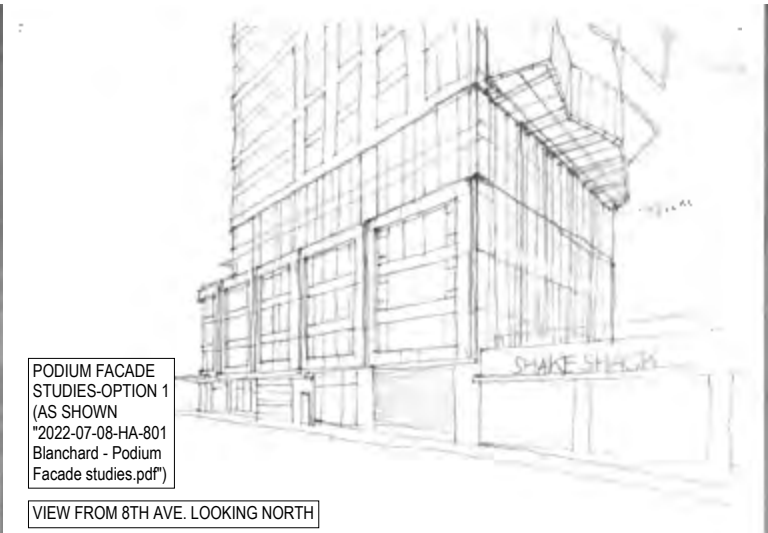
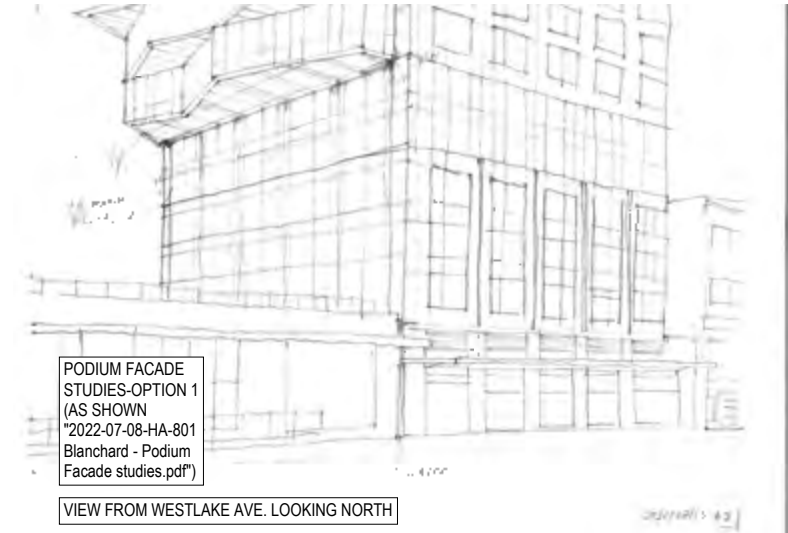
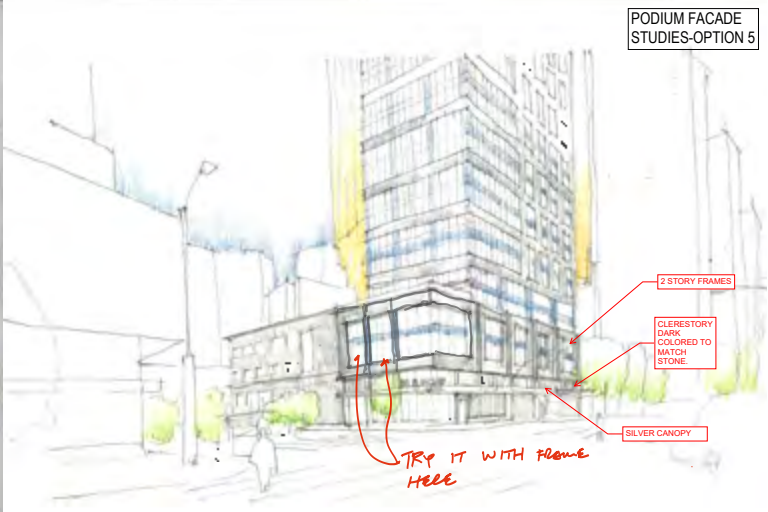
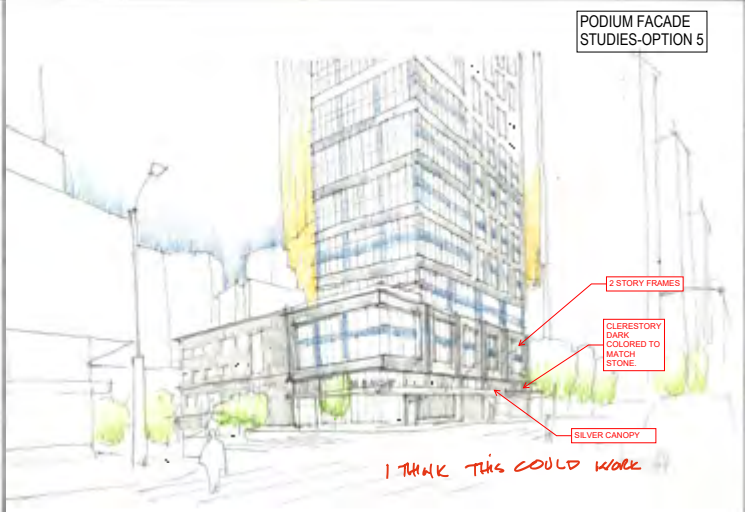
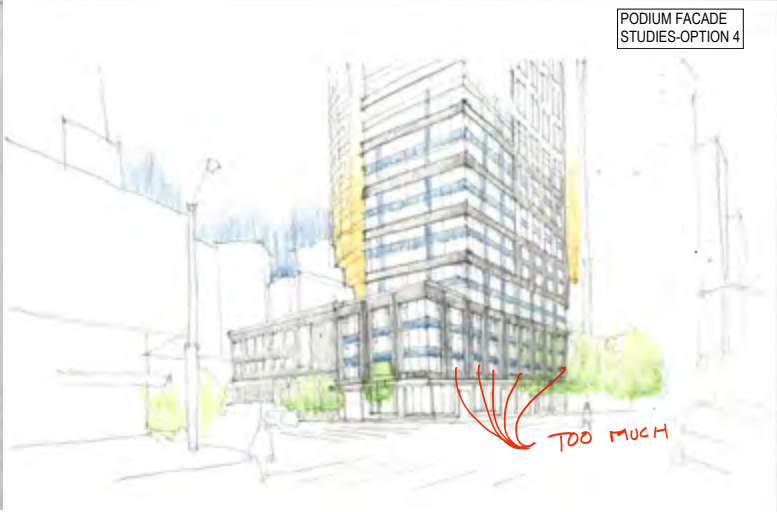
- Requires departure

## COMPLIANCE

- 4 Departures Requested
- SMC 23.49.010B - Common Recreation Area
  - SMC 23.49.022 - Minimum Sidewalk and Alley Width
  - SMC 23.49.058.E.2 - Upper Level Setbacks
  - SMC 23.49.018 - Overhead Weather Protection and Lighting



SKETCHES/STUDIES



SOUTH FACADE STUDIES

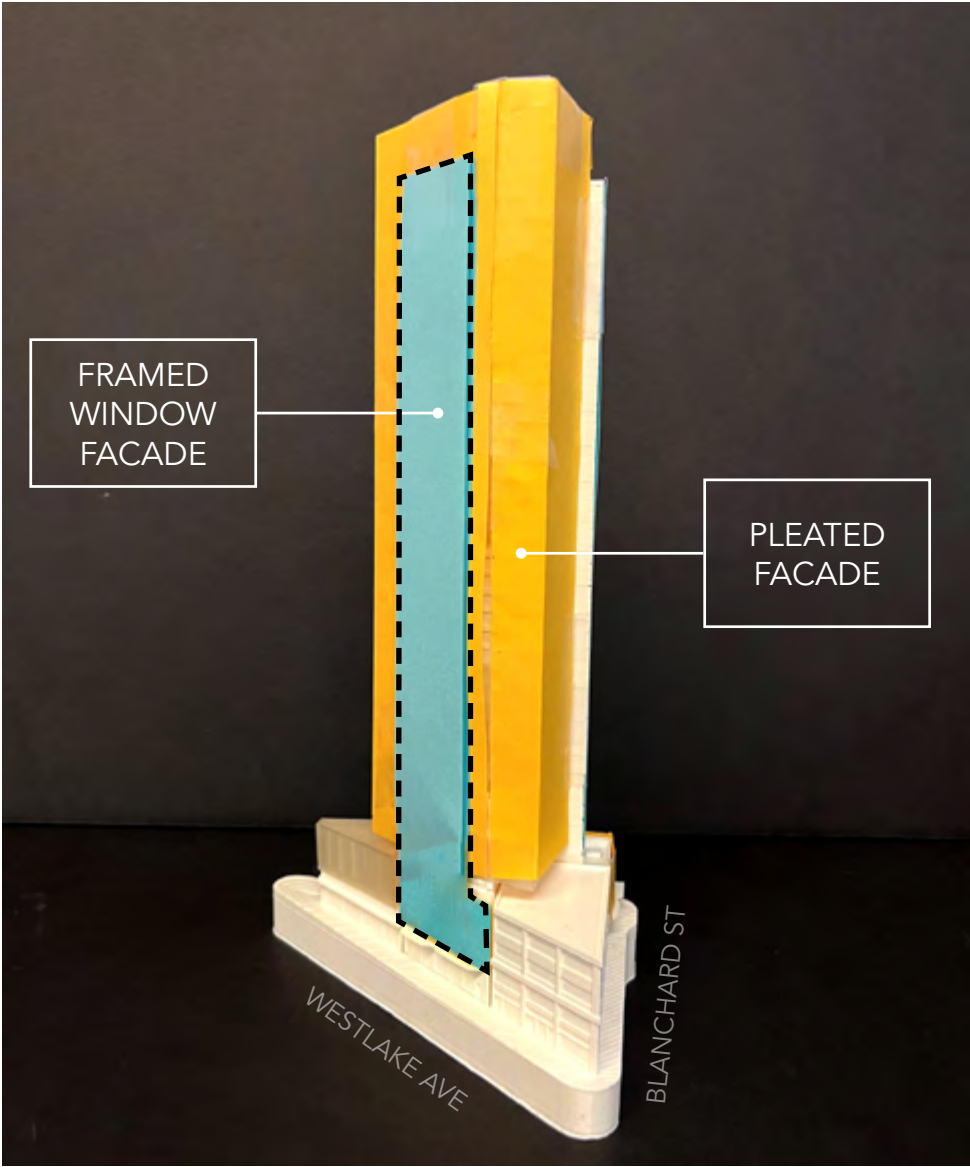
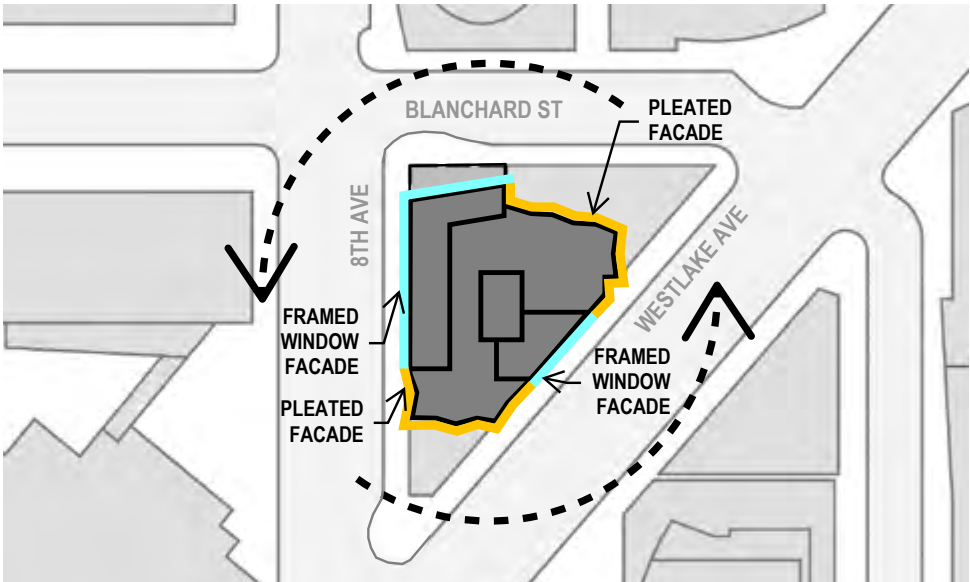


# RESPONSES TO DRB #1 - MATERIAL APPLICATION

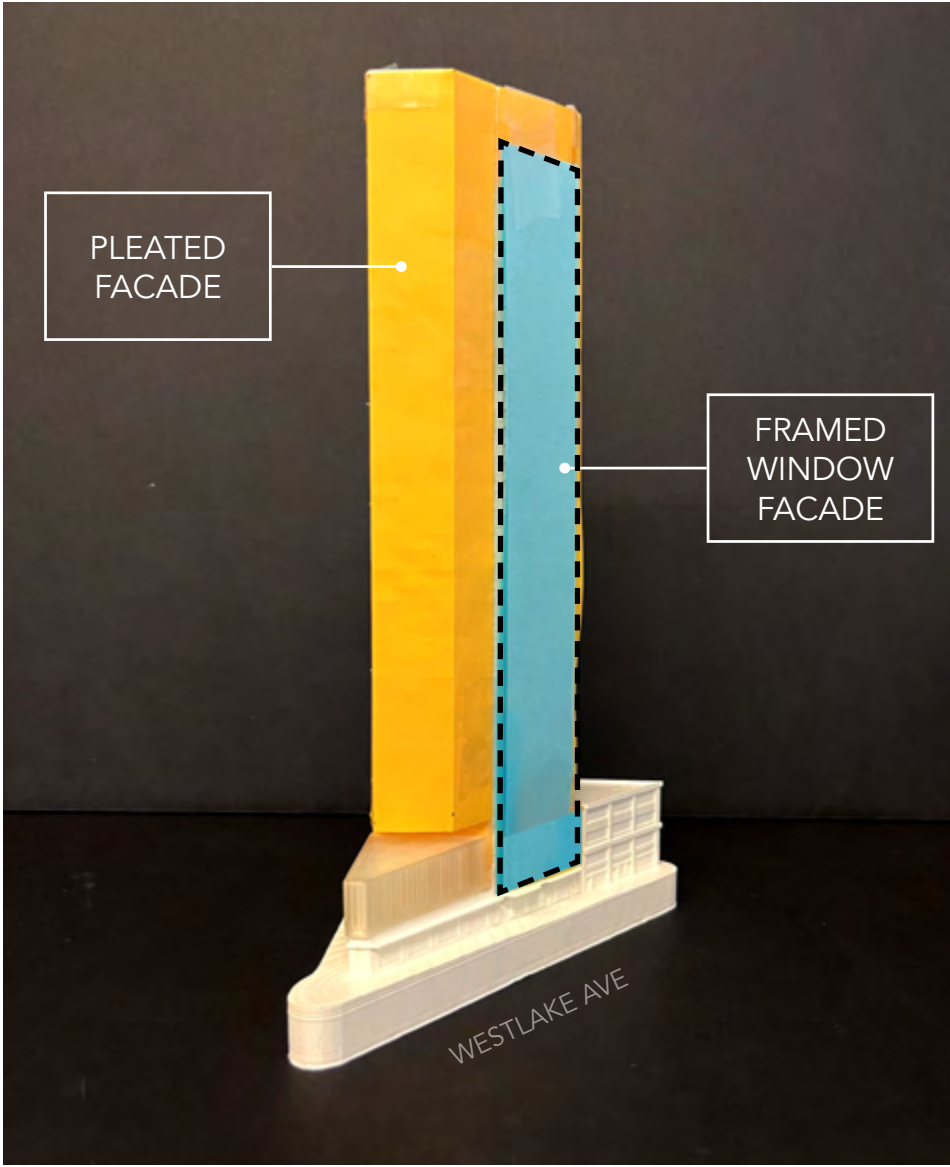
## 1. Architectural Concept and Detailing

a. The Board appreciated the revised approach to the pinwheel concept since the second EDG meeting, which was pushed further by establishing the “pleated” and flatter “framed window” façade types. The Board, however, was concerned about the transitions between these different façade types and the clarity of the architectural language and requested the project return for a second Recommendation meeting to consider additional information showing how the materiality and detailing have been further developed to successfully express the design concept and mass. (B-4, B-4.3)

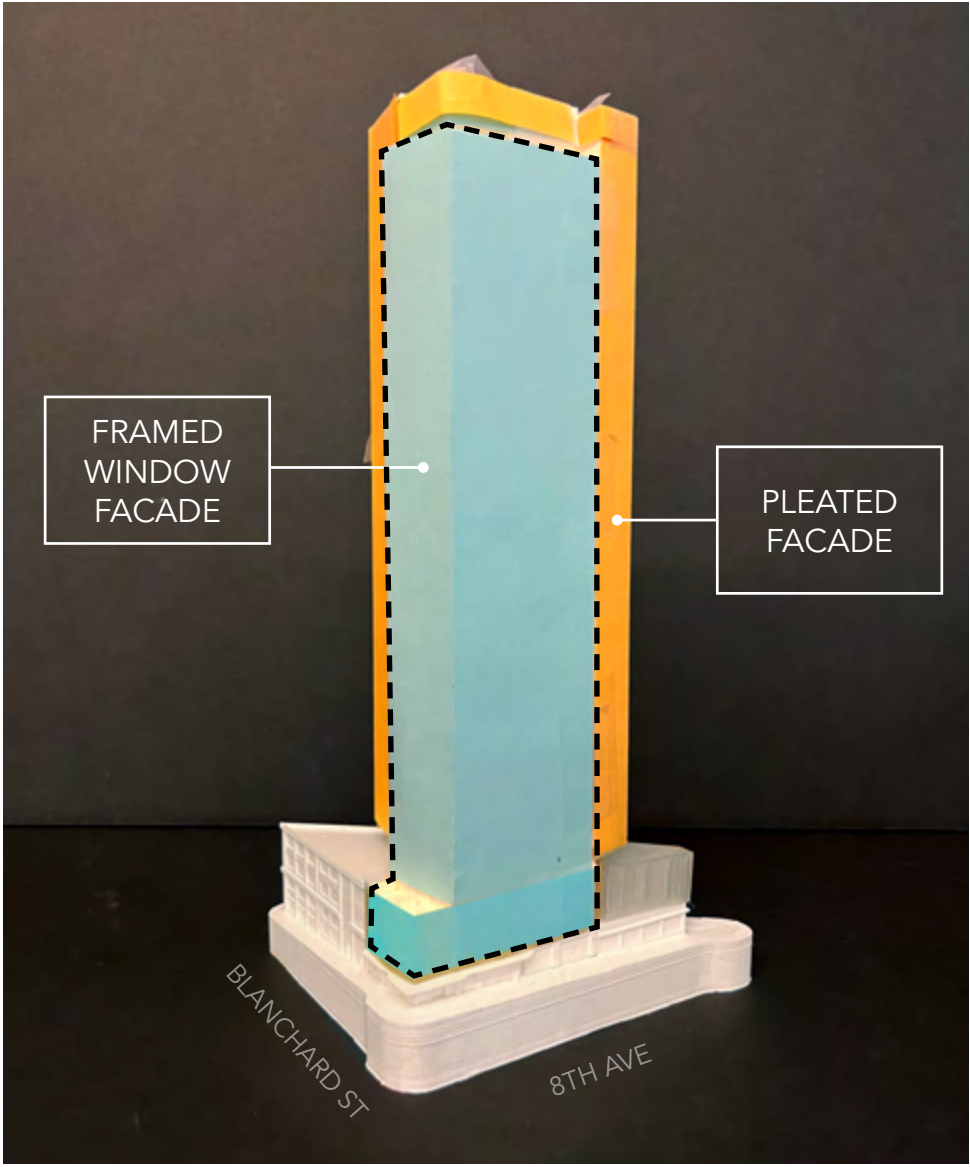
**Response:** We appreciate the Board’s comments and suggestions, and have revised our color palette and application to better compliment the “pinwheel” concept. To create more of a distinction between the “pleated” and “framed window” expressions, the podium frames have been revised to be a silvery, white tone, matching the tower above. By doing this, the champagne color becomes isolated to the cantilevered portions, which accentuate the “pleated” language, clarifying the differences in architectural expressions.



View from Northeast



View from Southeast



View from Northwest



RESPONSES TO DRB #1 - 8TH AVE. BASE

- ① Champagne Aluminum Metal Cladding
- ② Platinum Mica Metal Cladding
- ③ Gray Velvet Metal Cladding
- ④ Mesabi Black Granite
- ⑤ Silver Travertine
- ⑥ Vision Glass
- ⑦ Spandrel Glass

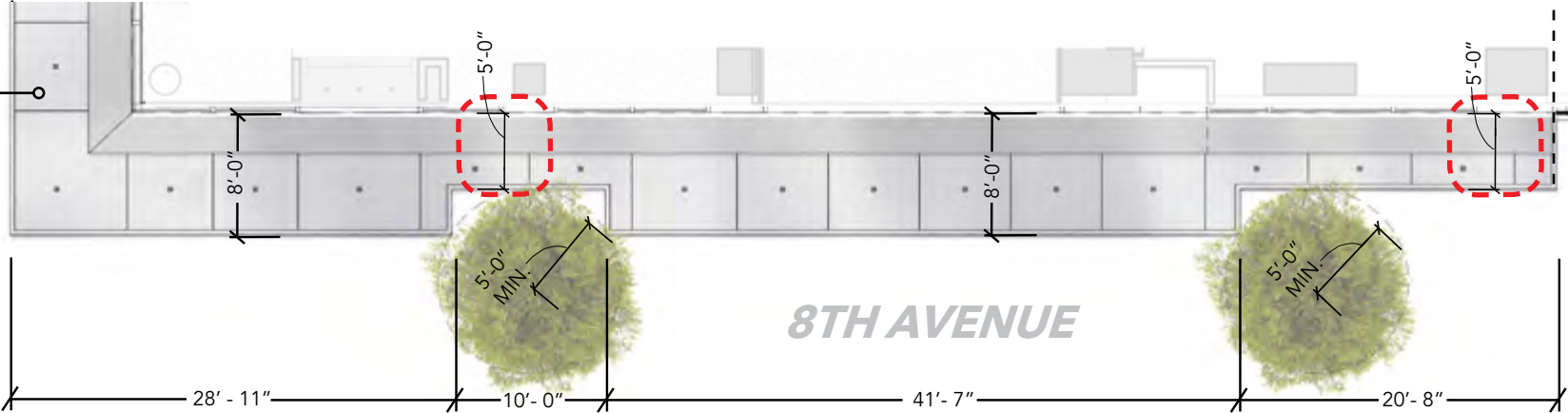
ALUMINUM METAL CANOPY WITH INTEGRATED DOWNLIGHTS



CUSTOM GLASS RESIDENTIAL ENTRYWAY

SCONCE LIGHT FIXTURES

PANELIZED ROLL UP DOOR (LOADING)



CANOPY ON 8TH ST RCP



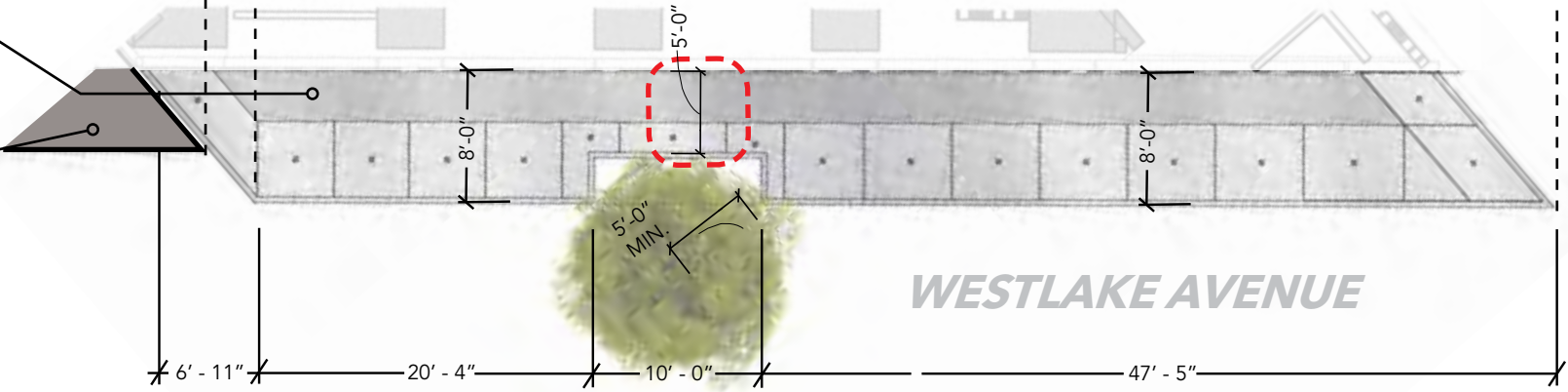
RESPONSES TO DRB #1 - WESTLAKE AVE. BASE

- ① Champagne Aluminum Metal Cladding
- ② Platinum Mica Metal Cladding
- ③ Gray Velvet Metal Cladding
- ④ Mesabi Black Granite
- ⑤ Silver Travertine
- ⑥ Vision Glass
- ⑦ Spandrel Glass
- ⑧ Dark Bronze Aluminum Metal Cladding
- ⑨ Light Bronze Aluminum Metal Cladding



ALUMINUM METAL CANOPY  
WITH INTEGRATED  
DOWNLIGHTS

EXISTING SHAKE SHACK  
CANOPY



CANOPY ON WESTLAKE ST RCP



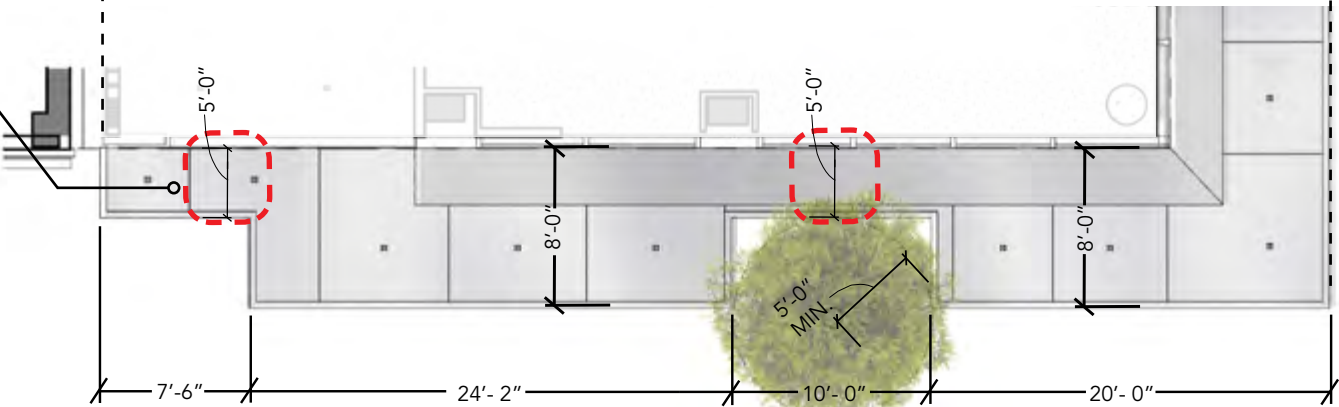
RESPONSES TO DRB #1 - BLANCHARD ST. BASE

- ① Champagne Aluminum Metal Cladding
- ② Platinum Mica Metal Cladding
- ③ Gray Velvet Metal Cladding
- ④ Mesabi Black Granite
- ⑤ Silver Travertine
- ⑥ Vision Glass
- ⑦ Spandrel Glass

THE BUTCHER'S TABLE



ALUMINUM METAL CANOPY WITH INTEGRATED DOWNLIGHTS



BLANCHARD STREET

CANOPY ON BLANCHARD ST RCP



# RESPONSES TO DRB #1 - MATERIAL TRANSITIONS

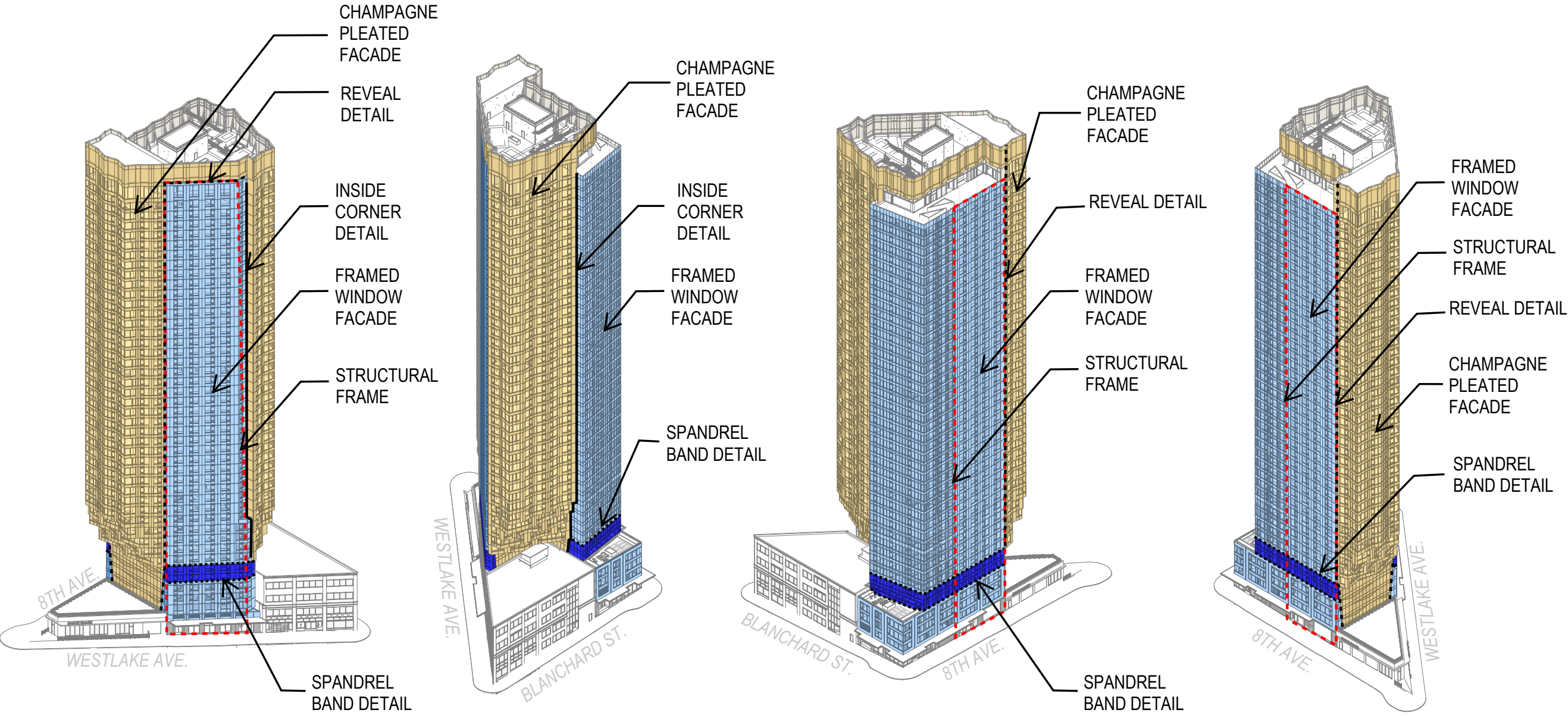
## 1. Architectural Concept and Detailing

b. The Board was concerned with the lack of unifying architectural details; particularly, the detailing of the transitions between the “pleated” and “framed window” façade types. The Board stated that the detailing of these transitions should be deliberate and distinguish between the different parts of “pinwheel” mass. The Board noted that these transitions could be distinct or blurred, but either way the approach should be consistent on all facades of the building (B-4, B-4.3)

i. The Board suggested that the 1-foot-3-inch reveal detailed on page 34 of the first Recommendation packet is a solution that could be further explored and consistently applied to all transition points; however, they welcomed alternatives.

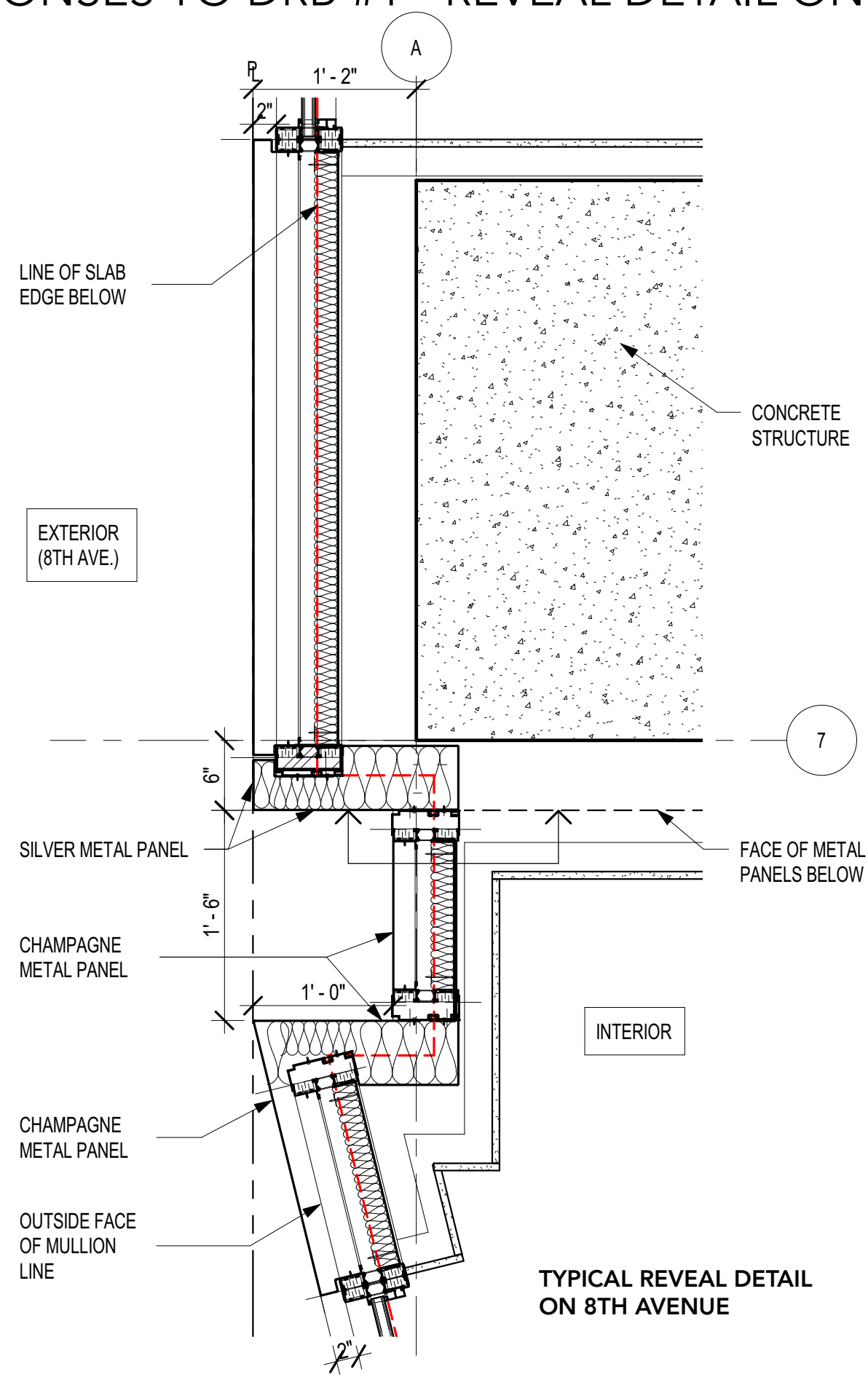
ii. The Board directed further study of the transition between the white-colored “framed window” façade type and the champagne-colored “crown”; particularly, where the transition is coplanar. (A-2, B-4, B-4.3)

**Response:** After re-examining our material locations, we further identified and developed details at intersections. Considering the Board’s recommendations, both vertical and horizontal transitions have been resolved and where appropriate, reveals have been utilized as solutions. These reveals have been uniformly enlarged to be 18” wide and 12” deep, which appears to be more appropriate for the scale of tower and visually more apparent from a distance. We have added transition diagrams to the revised Design Recommendation Booklet.

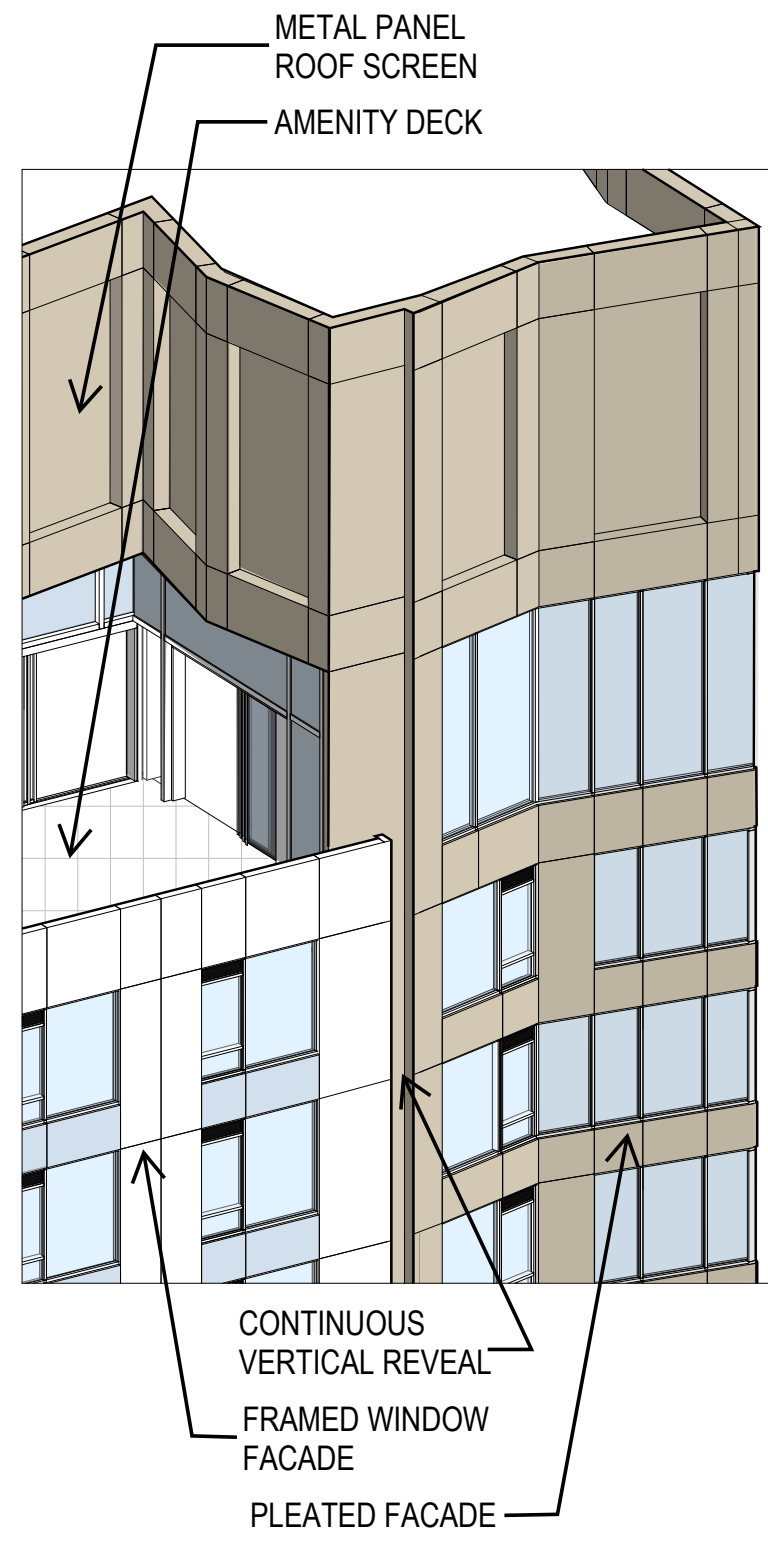




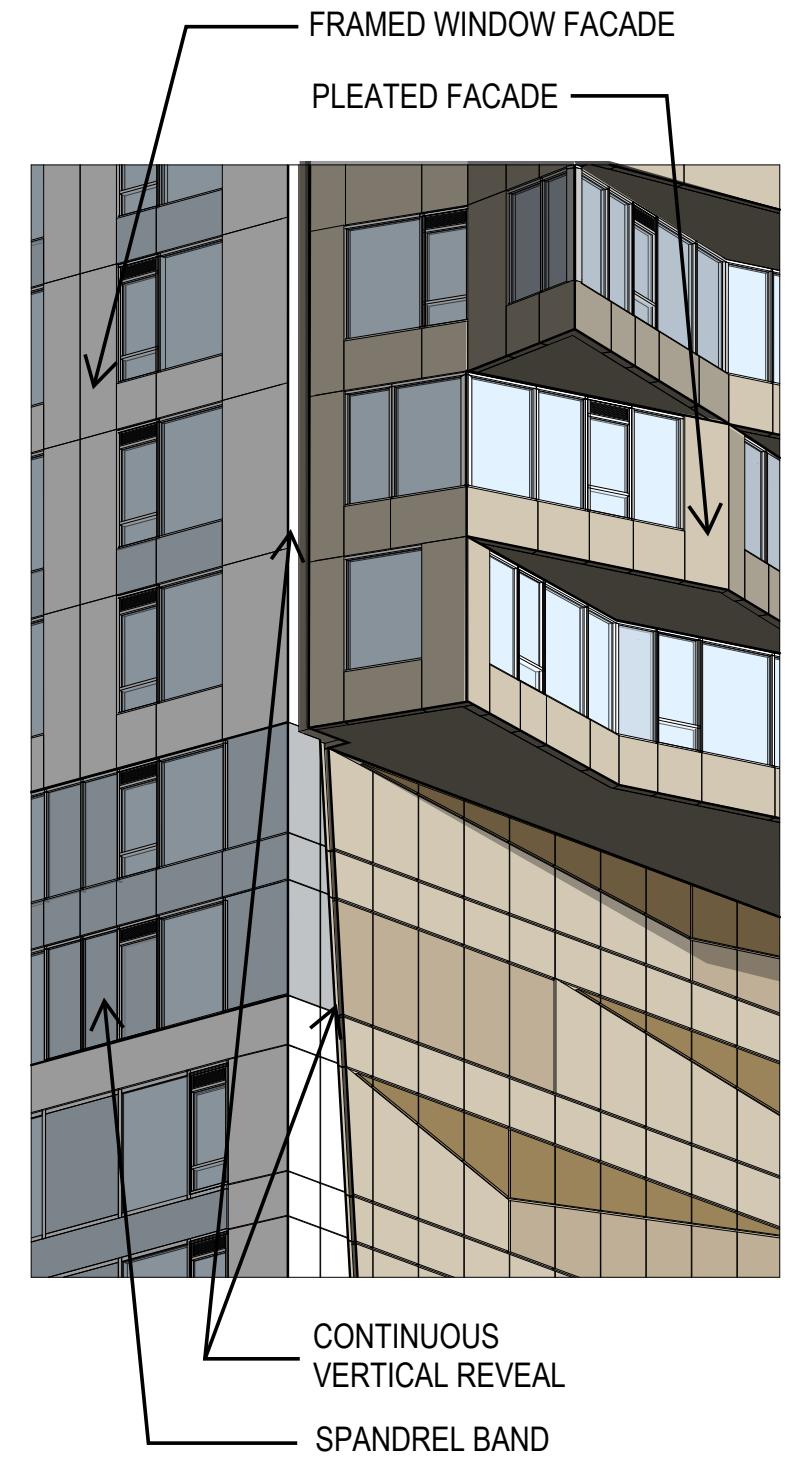
RESPONSES TO DRB #1 - REVEAL DETAIL ON 8TH AVE.



TYPICAL REVEAL DETAIL ON 8TH AVENUE



SOUTH END OF AMENITY DECK ON 8TH AVE.



UNDERSIDE OF SOUTH CANTILEVER ON 8TH AVE.







# RESPONSES TO DRB #1 - MATERIALITY

## 2. Façade Treatment

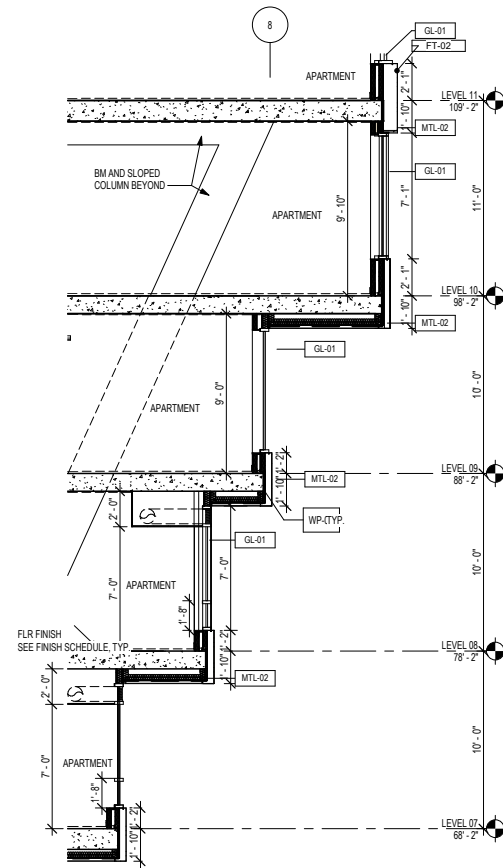
- a. The Board directed further development of a clear architectural language and consistent application of material, including careful study of the application of the champagne-colored metal panel, white-colored metal panel, and spandrel glass as it relates to either the “pleated” or “framed window” façade types. (B-4)
  - i. The Board appreciated the warmth of the champagne-colored metal panels and contrasting white-colored metal panels as it distinguishes itself within the immediate architectural context of glass towers, and - in response to public comment-noted the matter finish will help reduce light and glare impacts.

**Response:** We are maintaining the “lighter colored metal” concept supported by the Board with the combination of warm champagne and silvery, white metal panels. By re-examining the material application, the “pleated façade” concept is reinforced as a prominent feature, complimented by the framed window expression clad in white metal panel. This warm palette helps to distinguish the building amongst the dominating cool blue and grey tones prevalent in the immediate vicinity of the site.





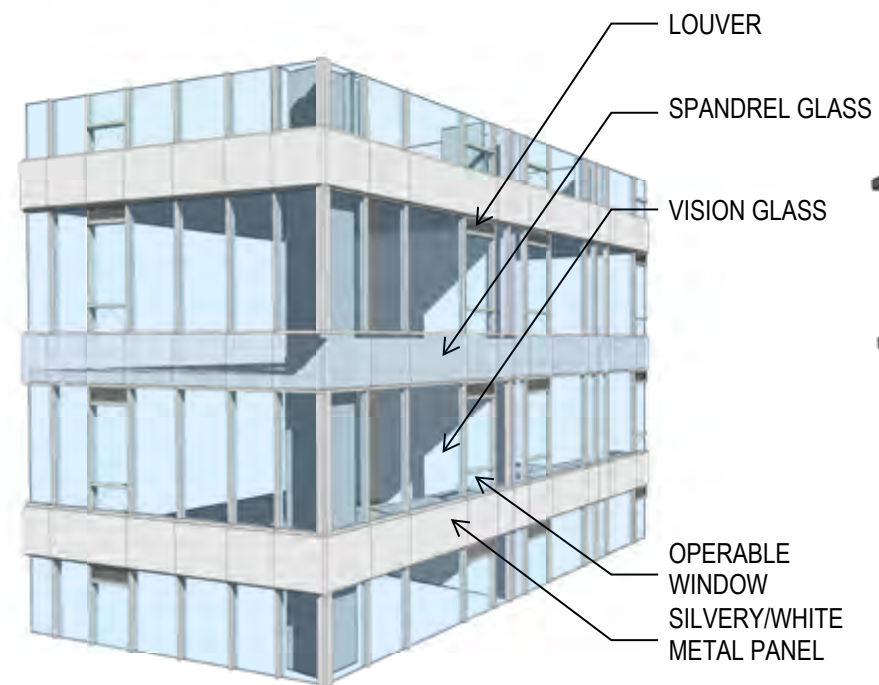
## RESPONSES TO DRB #1 - FACADE TYPES



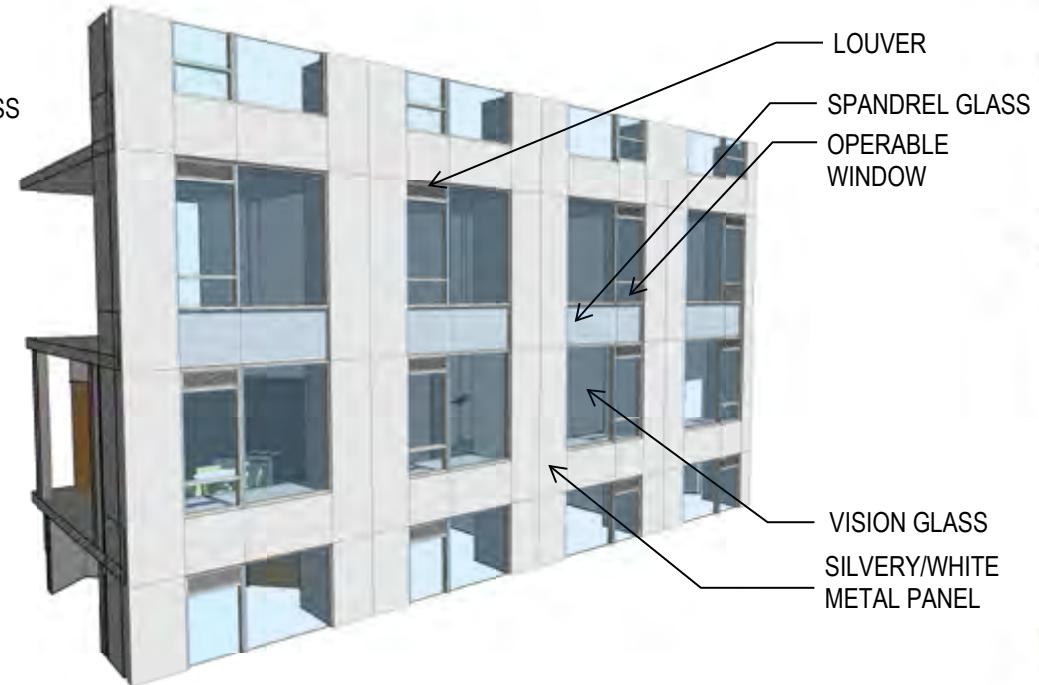
## PLEATED FACADE DETAIL



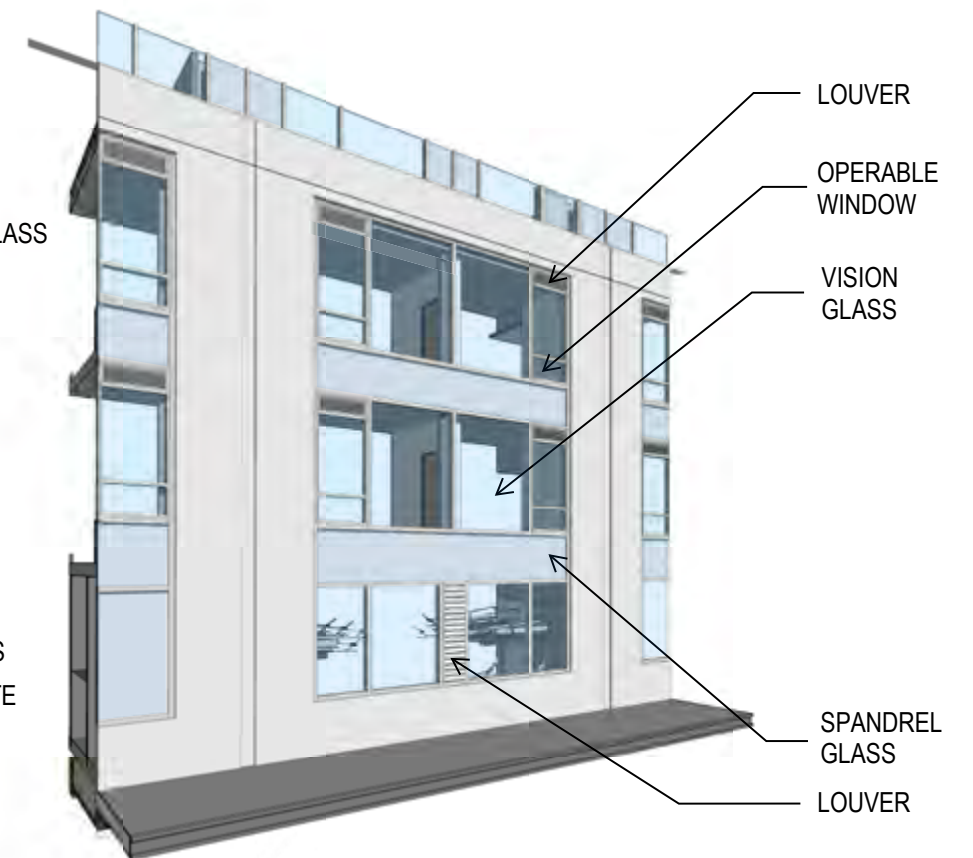
### PLEATED FACADE TYPE



### FRAMED CORNER WINDOW FACADE TYPE



### FRAMED WINDOW FACADE TYPE



### BASE WINDOW FRAME FACADE TYPE



# RESPONSES TO DRB #1 - TOWER BASE (8TH AND BLANCHARD AVE)



Previous Design: DRB 1



New Proposed Design

## 2. Façade Treatment

**b.** The Board supported the consistent podium façade design on all frontages; however, they stated the materiality should be consistent with the overall architectural language of the tower. The Board questioned the use of the champagne-colored metal panel at the base since the podium does not otherwise incorporate elements of the “pleated façade” type. (B-3, B-4)

**Response:** We appreciate the Board’s observation and understand the concerns of discontinuity in materiality. In response we have altered the base color to a lighter tone creating visual coherence and anchoring the corner of 8th Avenue and Blanchard Street. This also maintains the consistency in material application, allowing the “pleated” language to be more distinct from the white, silvery “framed” language.



# RESPONSES TO DRB #1 - TOWER TO BASE TRANSITION

## 2. Façade Treatment

c. The Board directed further study of how the podium meets the tower and noted that the materiality of the base of the tower (levels 5 and 6) should be vertically integrated with the tower above. (B-4)

**Response:** *There is a natural transition between the tower and podium that occurs at Level 5, where the massing is reduced by the Green Street Setback on Blanchard Street. In order to break down the tower scale and allow the podium to better relate to surrounding adjacent buildings, Levels 5 and 6 are intended to have a more neutral expression, and implements spandrel glass matched to the vision glass to create a separating element distinct from both the tower and podium. Below this element, and as described in response to 2.a and b. above, we have changed the metal elements on Levels 2-4 to match the white, silvery color of the framed tower above, thus providing continuity between the podium and the tower.*



Tower Base



# RESPONSES TO DRB #1 - TOWER BASE

## 2. Façade Treatment

d. The Board was concerned with the highly-visible blank façade above the adjacent 1-story structure (Shake Shack) and noted the treatment should relate to either the treatment of the tower above or to the podium on either side. (B-3, B-4)

**Response:** The Shake Shack building has a separate owner, and as part of our agreement to cantilever 801 Blanchard over their building, they have the right to vertically expand the Shake Shack building up to the same height as The Butcher’s Table – this is why the cantilevers on 801 Blanchard do not begin at a lower elevation. In addition, the portion of the wall below the cantilever is a structural shear wall, and we do not have the opportunity to add openings or windows in this area. We recognize the Board’s concern about the façade treatment of this lot line wall, and have refined the design to have the podium façade treatments on Westlake and 8th Avenue wrap the corners onto the south façade, and relate to the reveals between the framed wall and pleated facades described in 1.b above. Between these returns, the champagne color of the pleated façade above continues down, with a geometric pattern derived from both the street facades continued horizontally, and a triangular pattern derived from the pleated façade above. In addition to the champagne color, two additional colors are used in the pattern to create depth on the façade surface. Finally, the transition between the street façade returns and the champagne patterned façade includes a subtle reveal at a slight angle inward from the vertical, bringing the champagne façade more lightly down to the Shake Shack roof, and allowing the street façade returns to relate more strongly to each other.





RESPONSES TO DRB #1 - TOWER BASE (BLANCHARD AND WESTLAKE AVE)



Previous Design: DRB 1

Revised transition from silver metal to champagne metal to occur at new inside corner

Improved reading of the spandrel band between tower and podium by changing mullion from silver to gray

Revised podium facade material from champagne metal to silver metal



New Proposed Design



RESPONSES TO DRB #1 - TOWER BASE (8TH AND WESTLAKE AVE)



Previous Design: DRB 1

Revised transition from silver metal to champagne metal to occur at new facade reveal

Improved reading of the spandrel band between tower and podium by changing mullions from silver to gray and included gray returns

Refined the design of South Facade (wall above Shake Shack) and included silver returns



New Proposed Design



# RESPONSES TO DRB #1 - TOWER “CROWN” LIGHTING

## 2. Façade Treatment

e. The Board supported the wrapped “crown” expression as it unifies the top of the tower however, they were concerned that the depth of the recesses within the “crown” of the tower may be too shallow and encouraged deepening the recess or simplifying the modulation. The treatment should be consistent around the top of the tower. (A-2, B-4)

**Response:** *Agreed. To remain consistent and strengthen our “crown” concept, we have added recesses across the western façades to create continuity. The recesses were also deepened to 12” to make the lighting more prominent and bolder to highlight architectural features.*

f. The Board supported the use of lighting as a unifying element at the top of the tower but stated the lighting installation should fully wrap the “crown” to strengthen this concept. (B-4.3, D-5.1)

**Response:** *Agreed. As described in 2.e, we have added recesses to the western facades, and will include the same lighting as the rest of the crown to provide a coherent design that improves the Seattle sky-line.*

## 3. Streetscape & Landscape

d. The Board supported the lighting and signage concept plans as shown in the first Recommendation packet, but recommended changed to the lighting of the “crown” as discussed above. (D-4, D-5)

**Response:** *Noted, see previous comment 1e for developments to the lighting at the “crown.”*



Southeast



Southwest



Northeast Above



Southwest Above



RESPONSES TO DRB #1 - TOWER "CROWN" LIGHTING

**Crown Highlight**  
Linear uplighting within recesses in the building's crown accentuate the facade's niches.





# RESPONSES TO DRB #1 - STREETSCAPE & LANDSCAPE

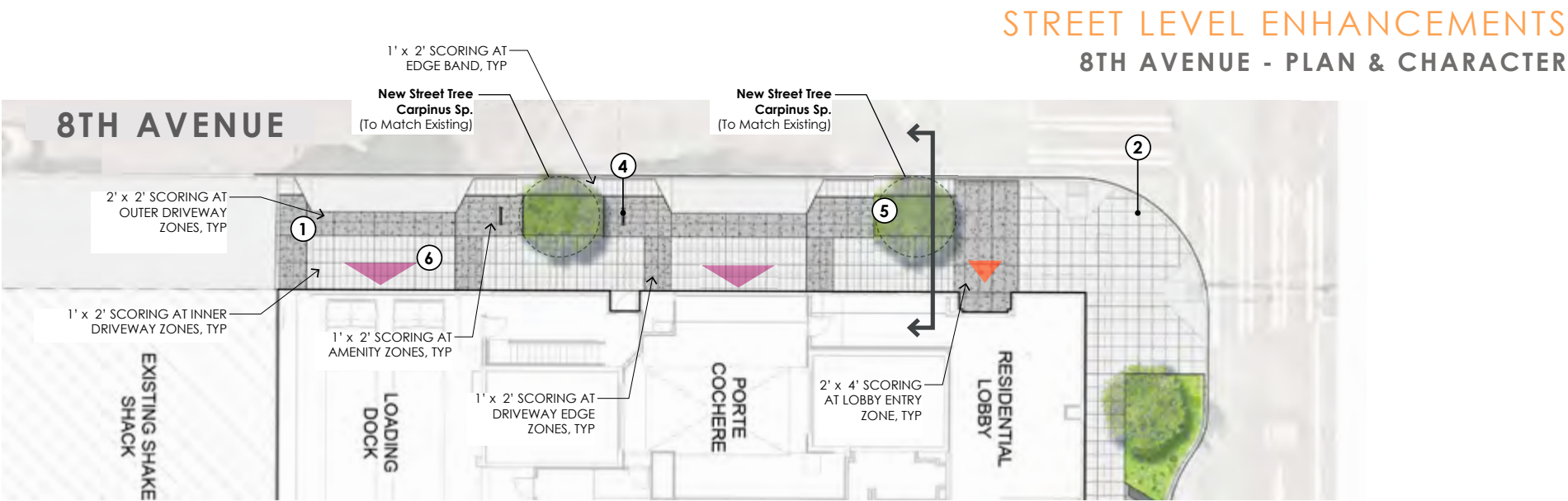
## 2. Streetscape & Landscape

a. The Board supported treating the porte cochere as an exterior lobby and dynamic space for pedestrians, bicyclists, and vehicles. The Board appreciated that the residential lobby connects to the porte cochere via a hallway along the sidewalk edge. (B-4.2, C-1.1, C-1.3)

**Response:** Agreed. We consider the porte cochere as part of one cohesive design together with the lobby. Continuity of floor paving, travertine walls, and consistent lighting design are examples of devices used to tie the porte cochere and lobby spaces together. These high-quality finishes will be visible through the open facade and allow for an active and enhanced pedestrian experience along the 8th Avenue.

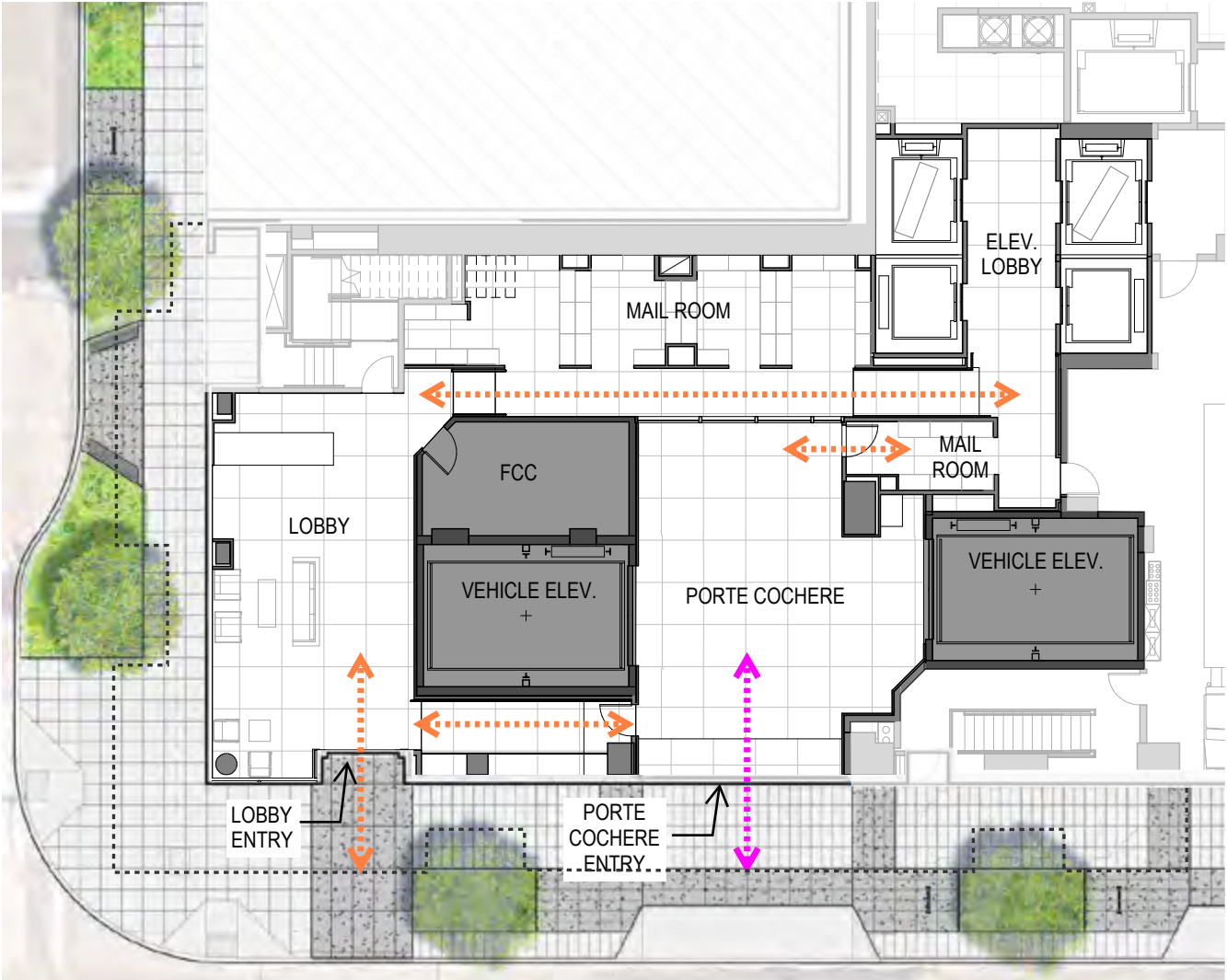
b. The Board stated the proposed landscape plan was successful – and supported the paving patterns and use of subtle texture to distinguish drive aisles across this sidewalk. (D-2, E-1)

**Response:** Noted. The paving patterns and use of subtle texture remain as a feature of the sidewalk and help increase safety along 8th avenue.





RESPONSES TO DRB #1 - PORTE COCHERE



- PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION



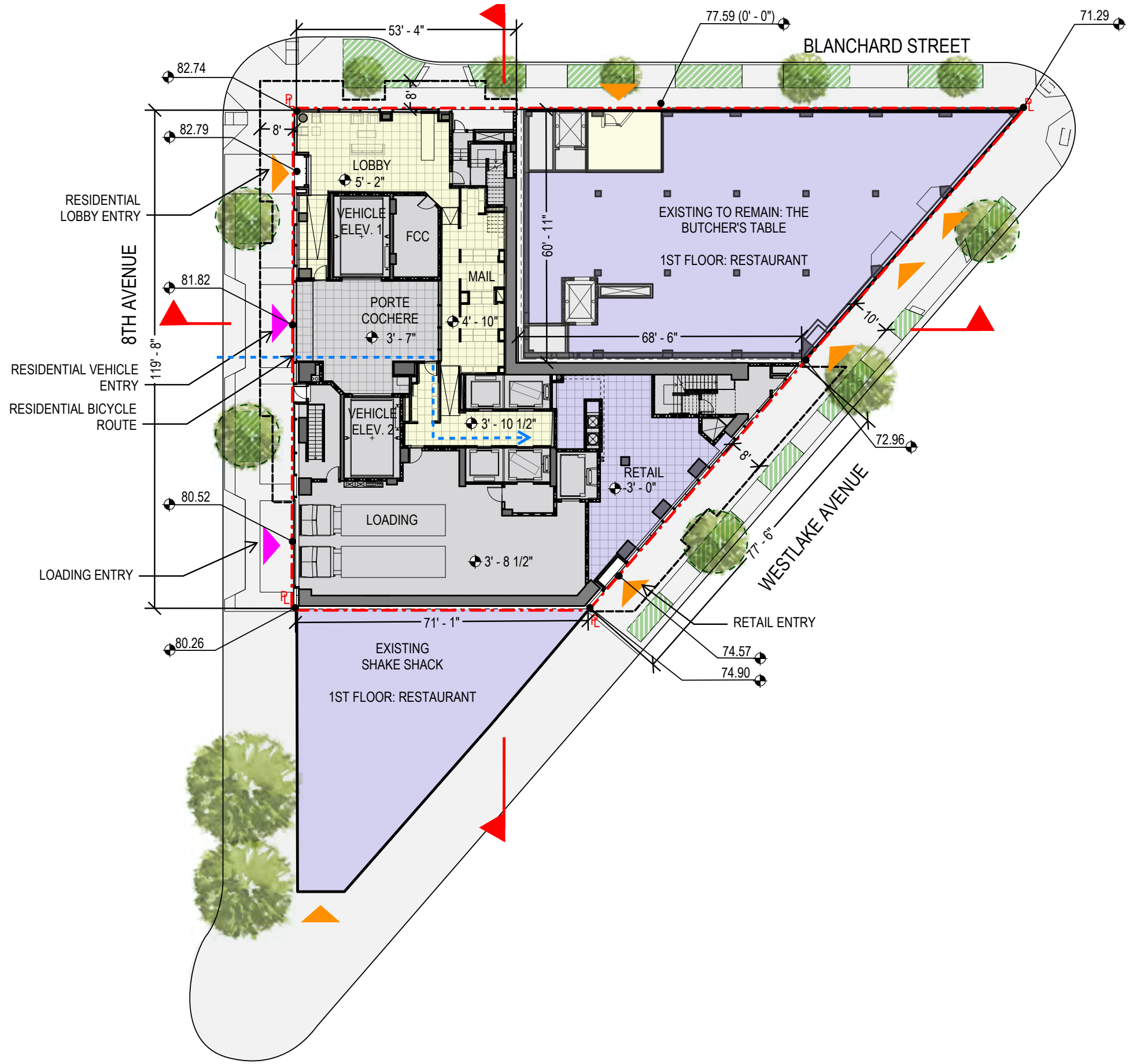
Porte Cochere at Four Seasons Private Residences (706 Mission) - Handel Architects LLP



Porte Cochere at The Pacific - Handel Architects LLP

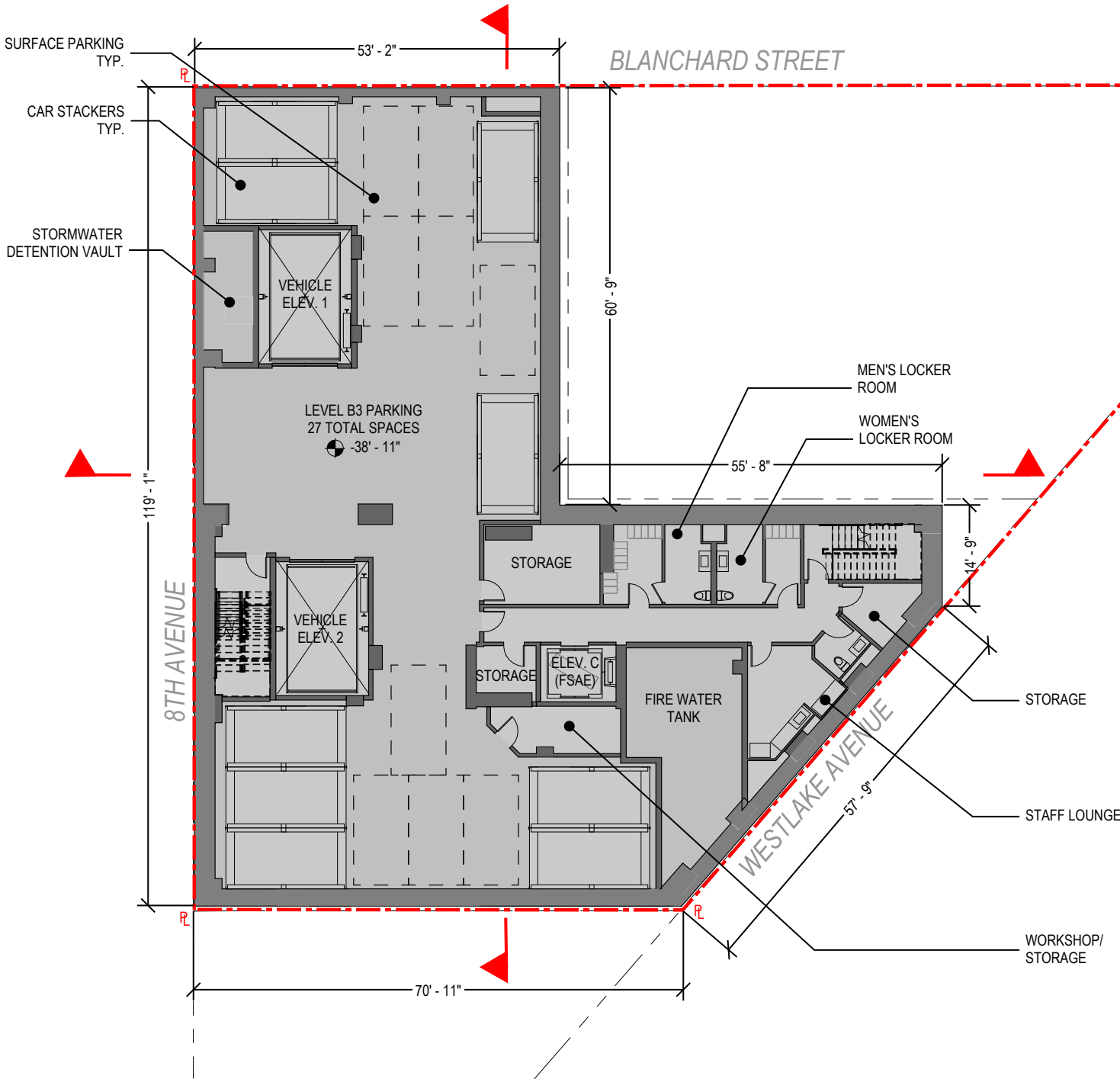


FLOOR PLANS: LEVEL 1 (GROUND LEVEL)

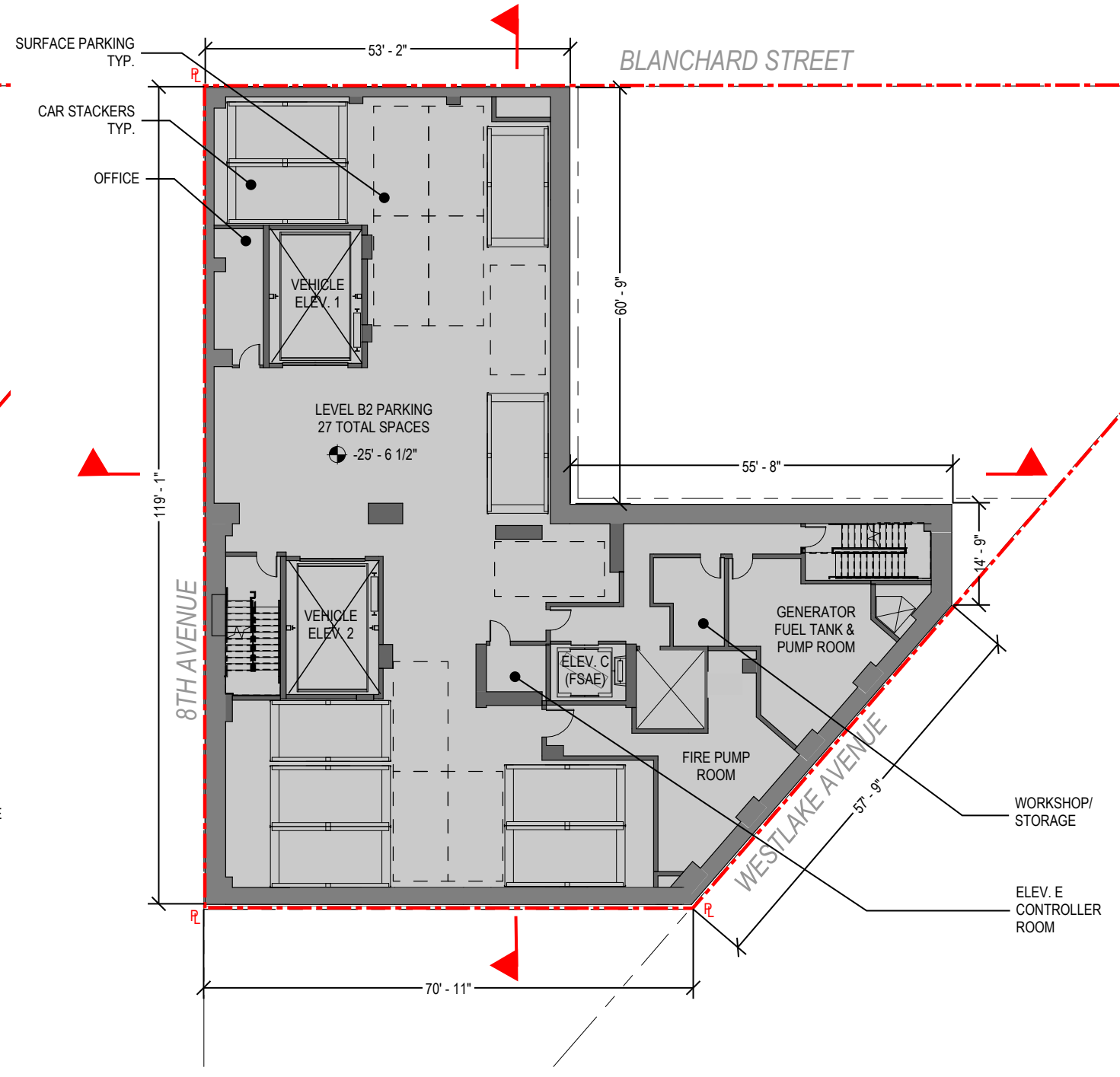




FLOOR PLANS: LEVEL B3 AND B2



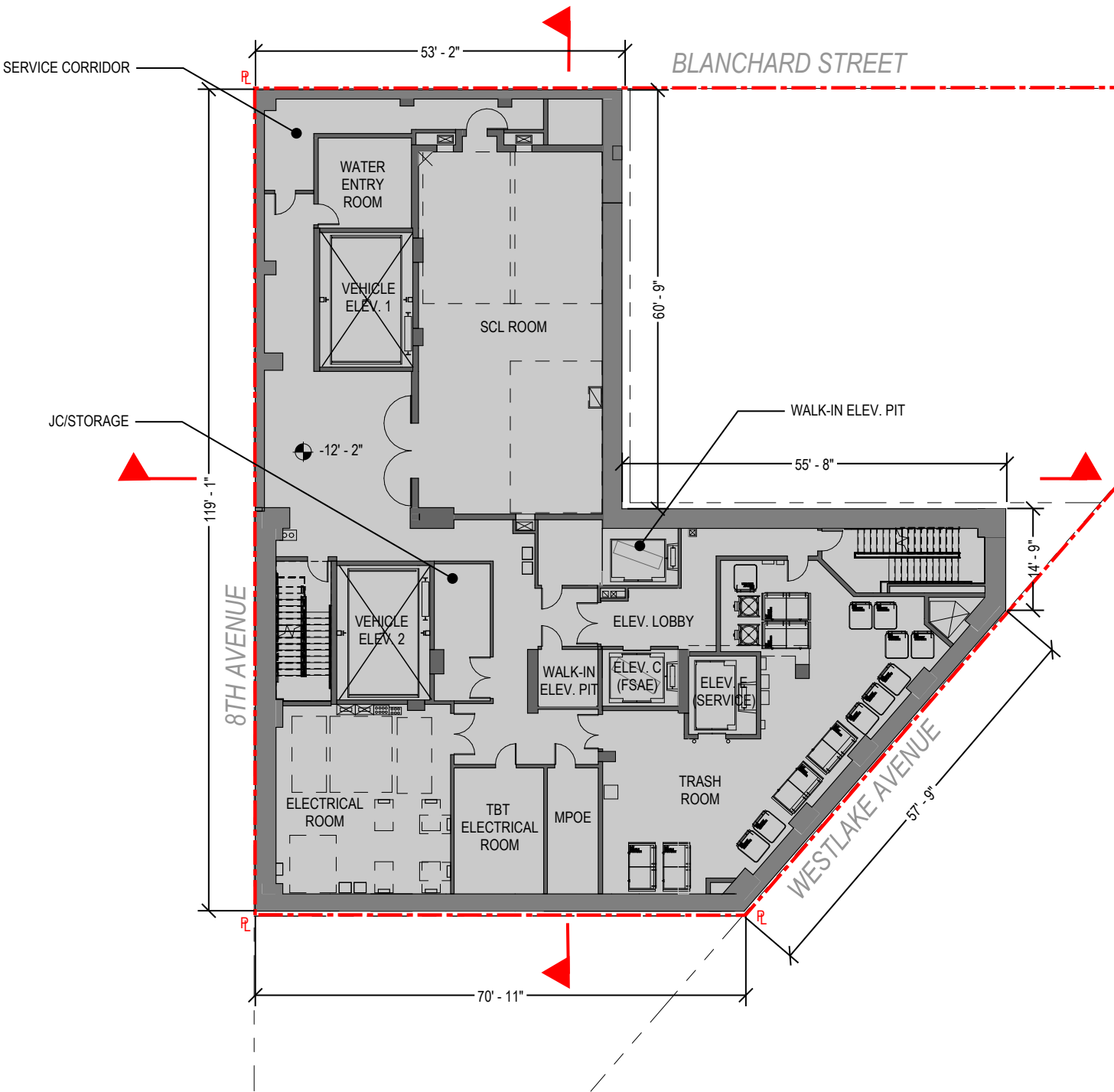
LEVEL B3



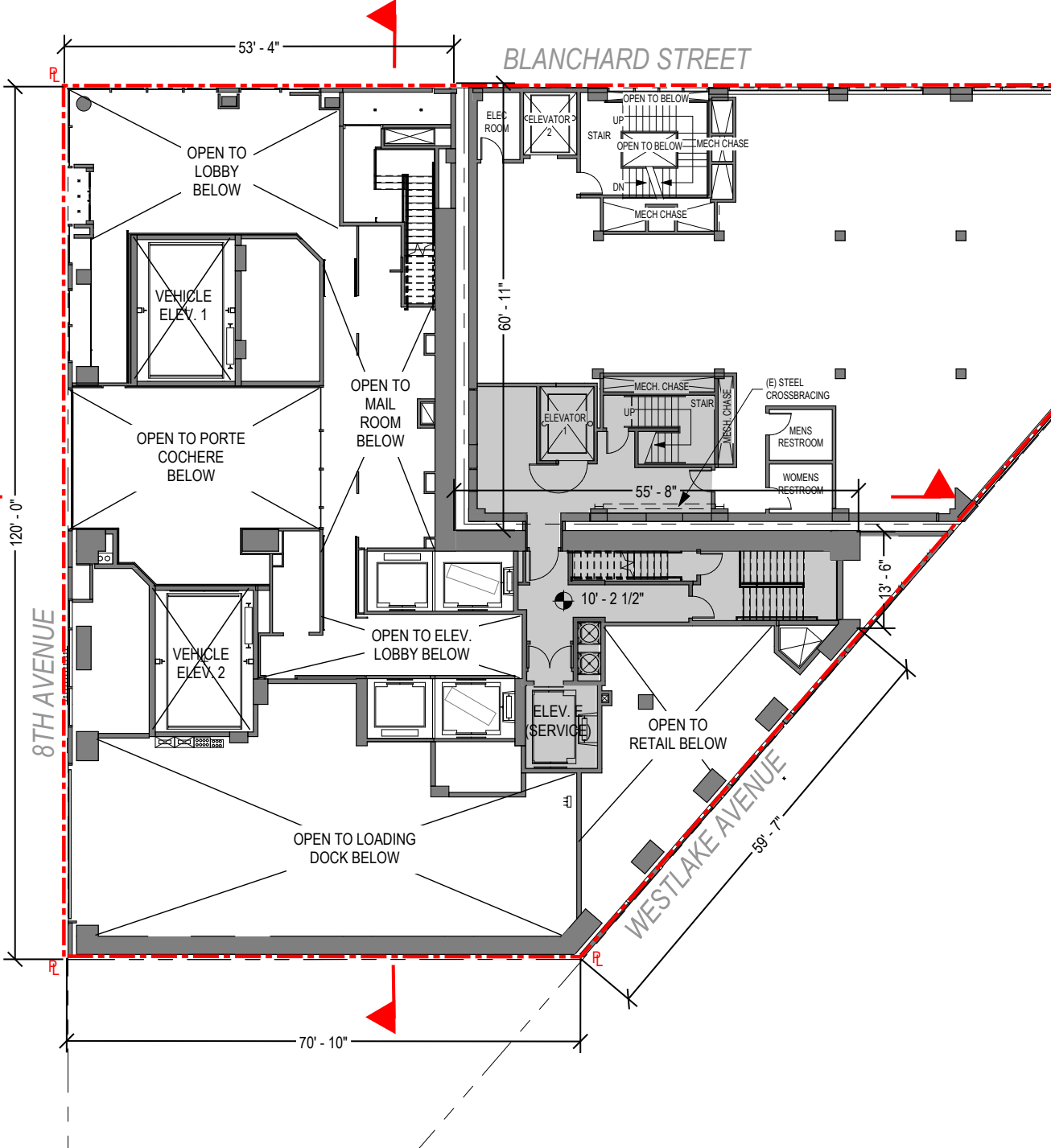
LEVEL B2



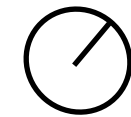
FLOOR PLANS: LEVEL B1 AND 1 MEZZ.



LEVEL B1

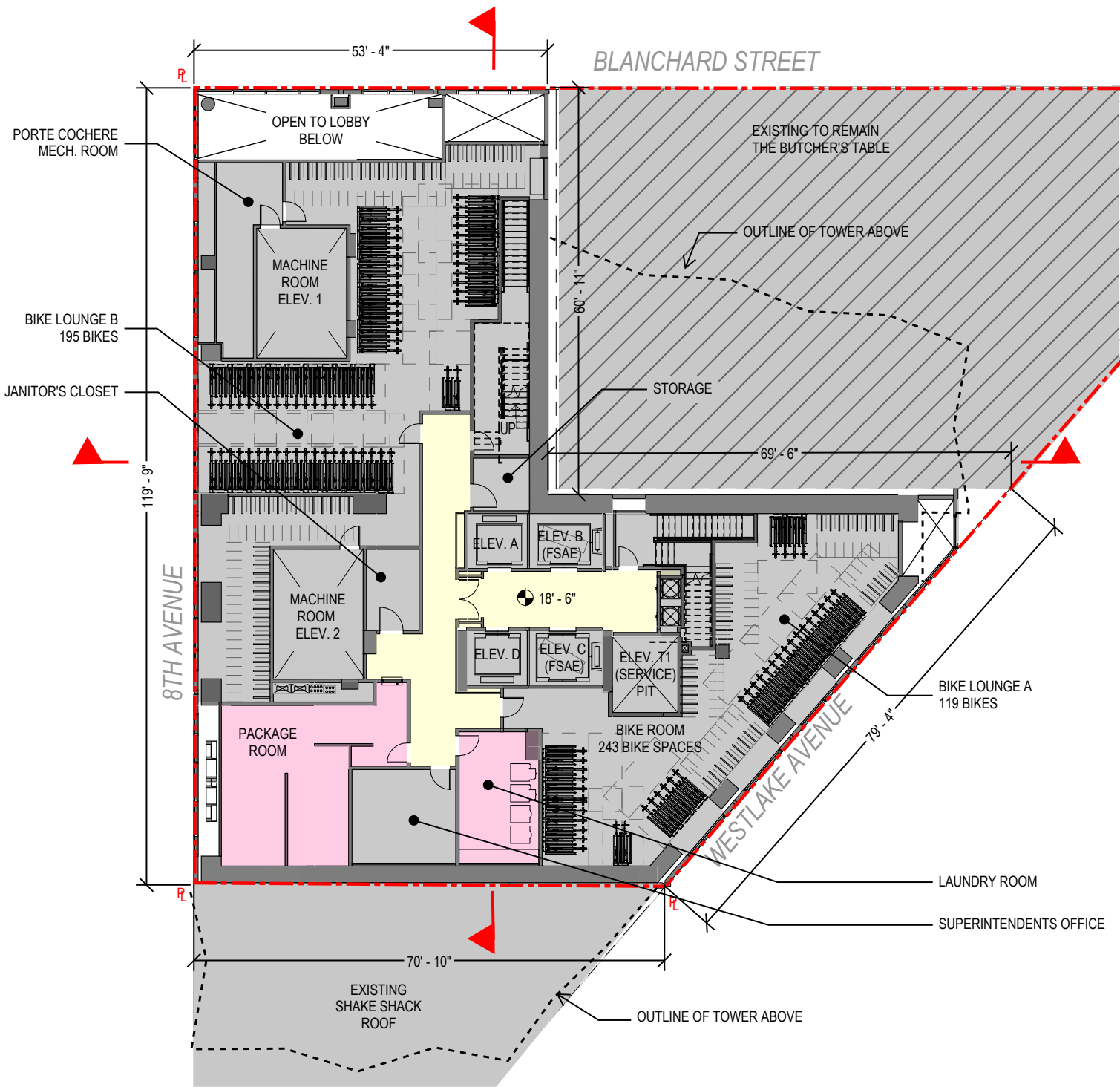


LEVEL 1 MEZZ.

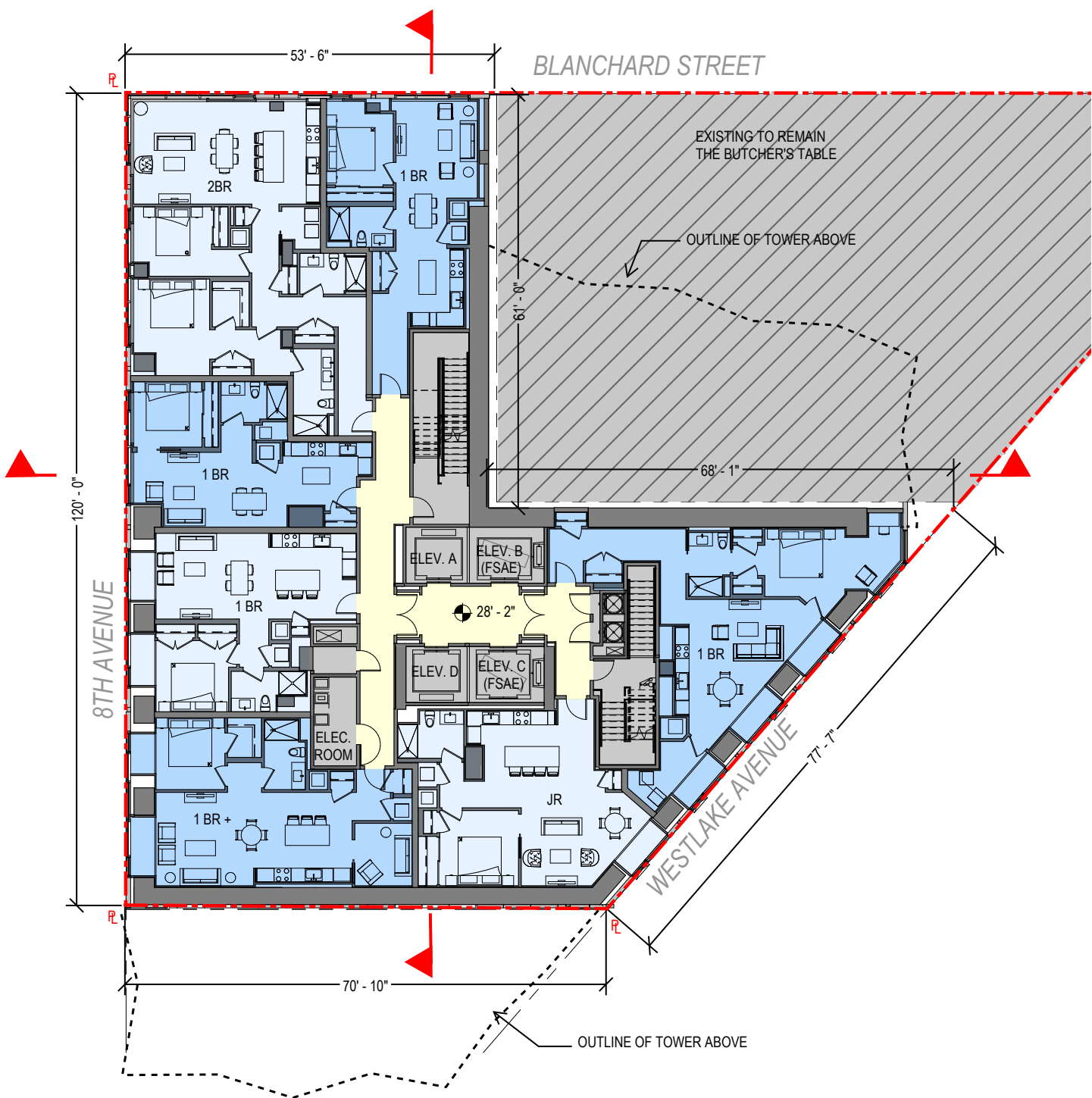




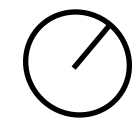
FLOOR PLANS: LEVEL 2 AND LEVELS 3-4



LEVEL 2

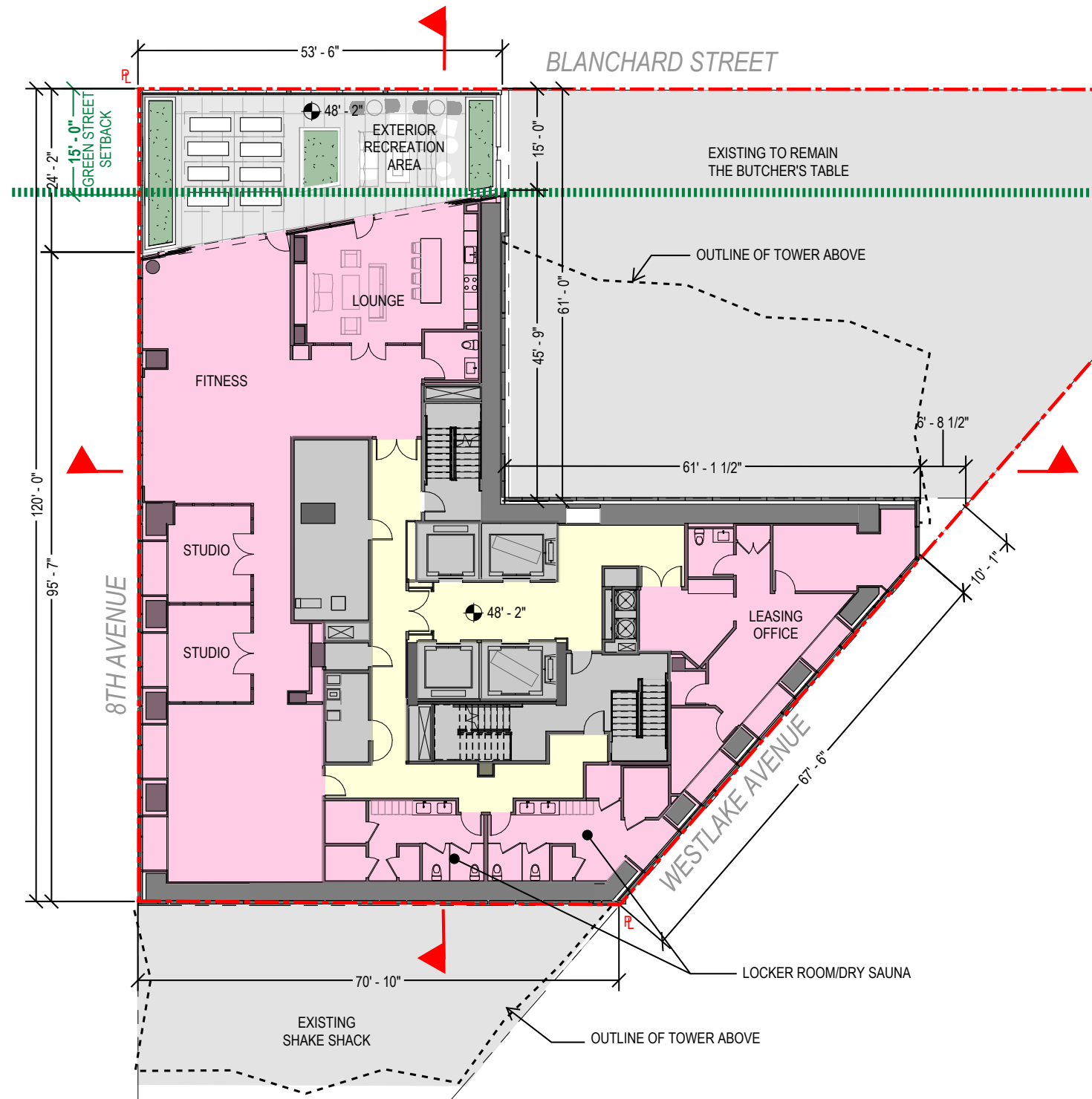


LEVELS 3-4

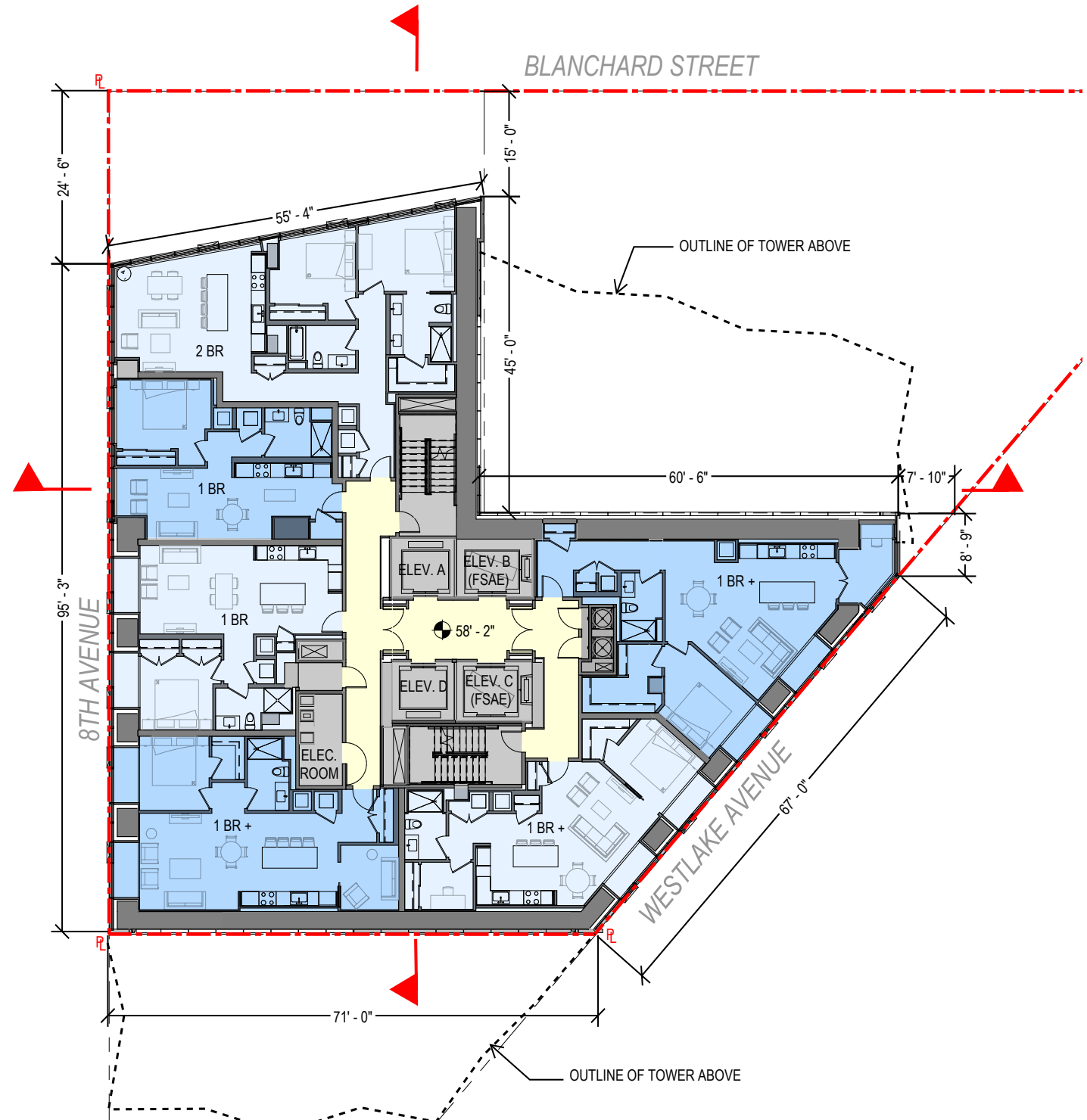




FLOOR PLANS: LEVEL 5 AND LEVEL 6



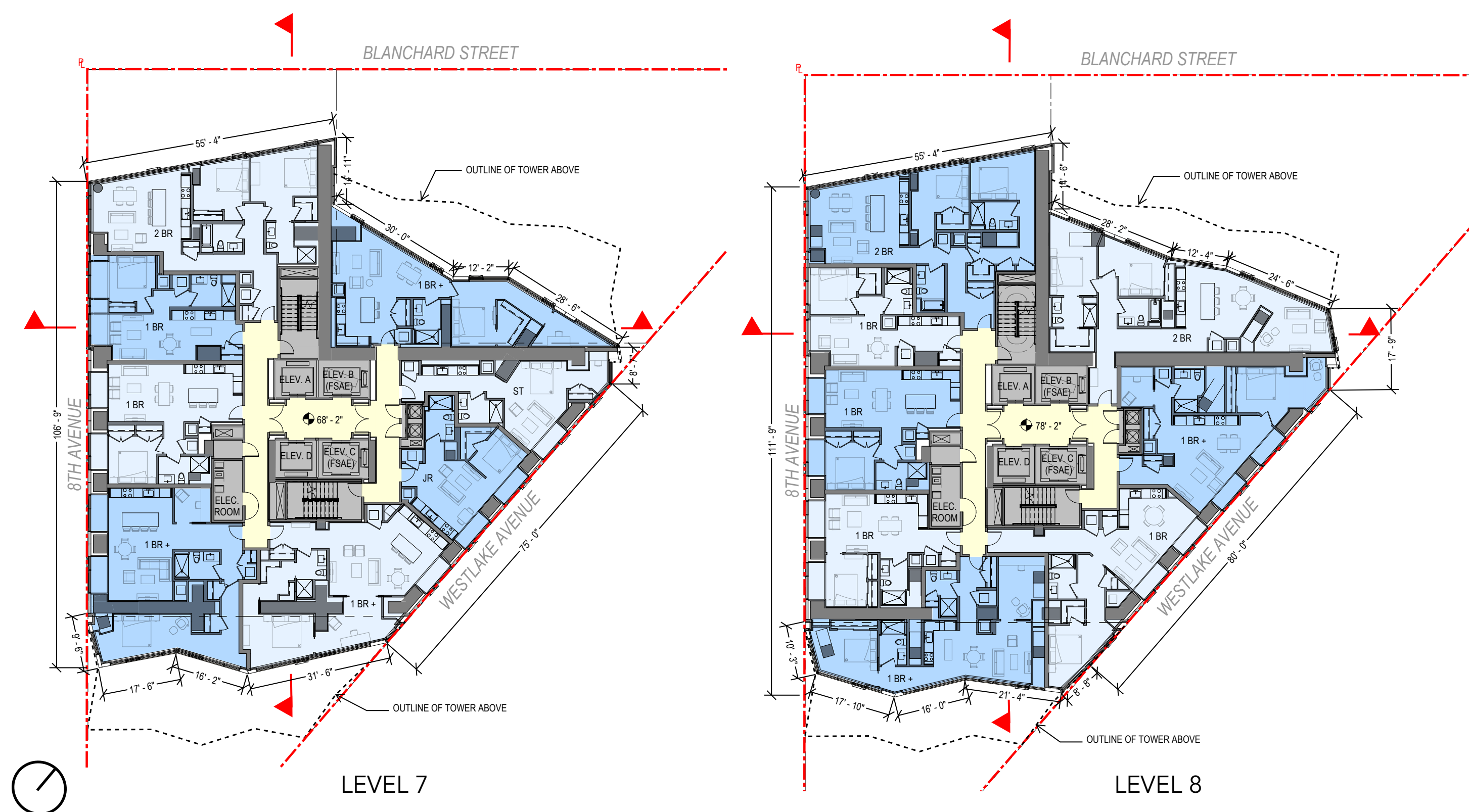
LEVEL 5



LEVEL 6

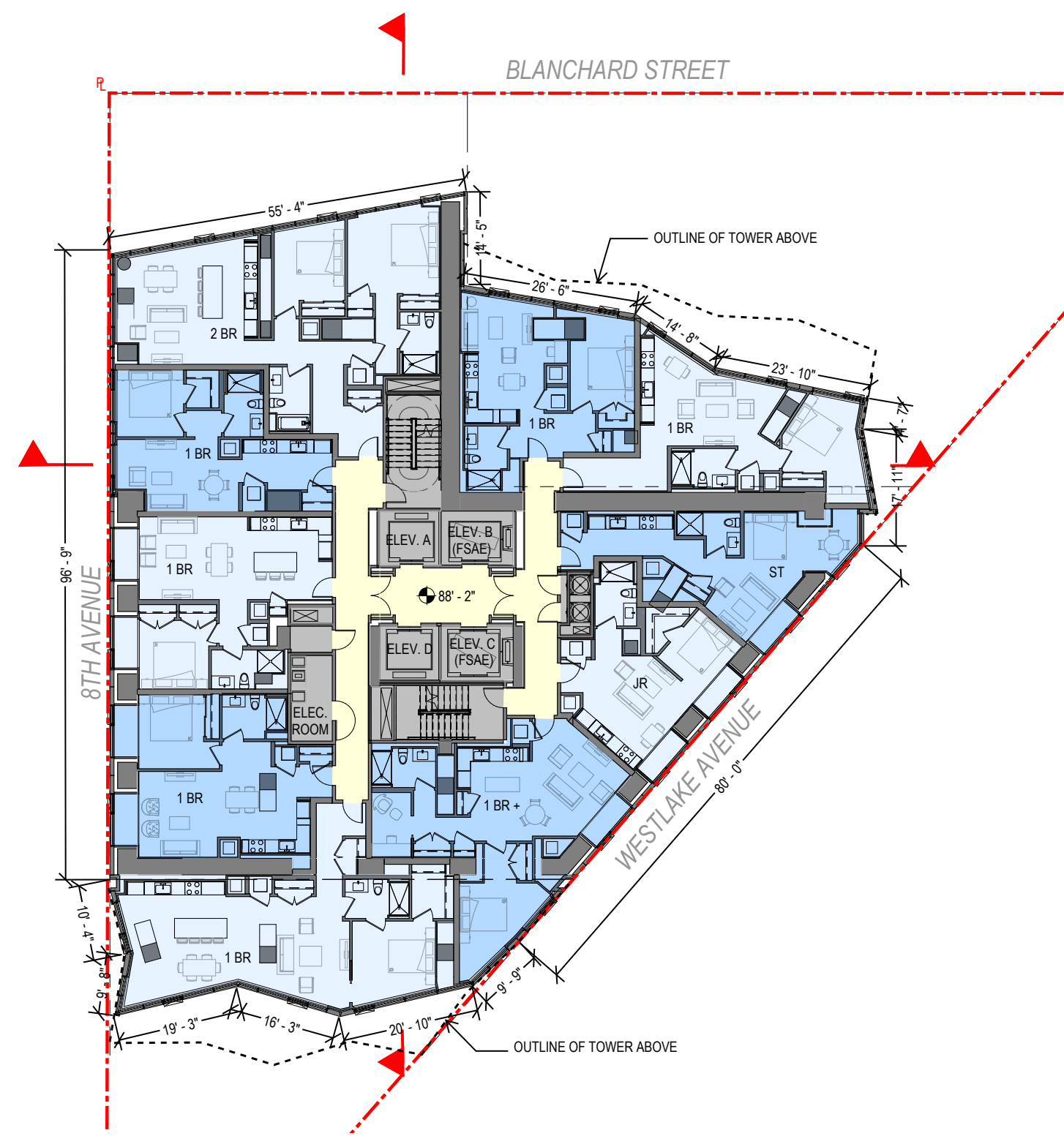


FLOOR PLANS: LEVELS 7 AND LEVEL 8

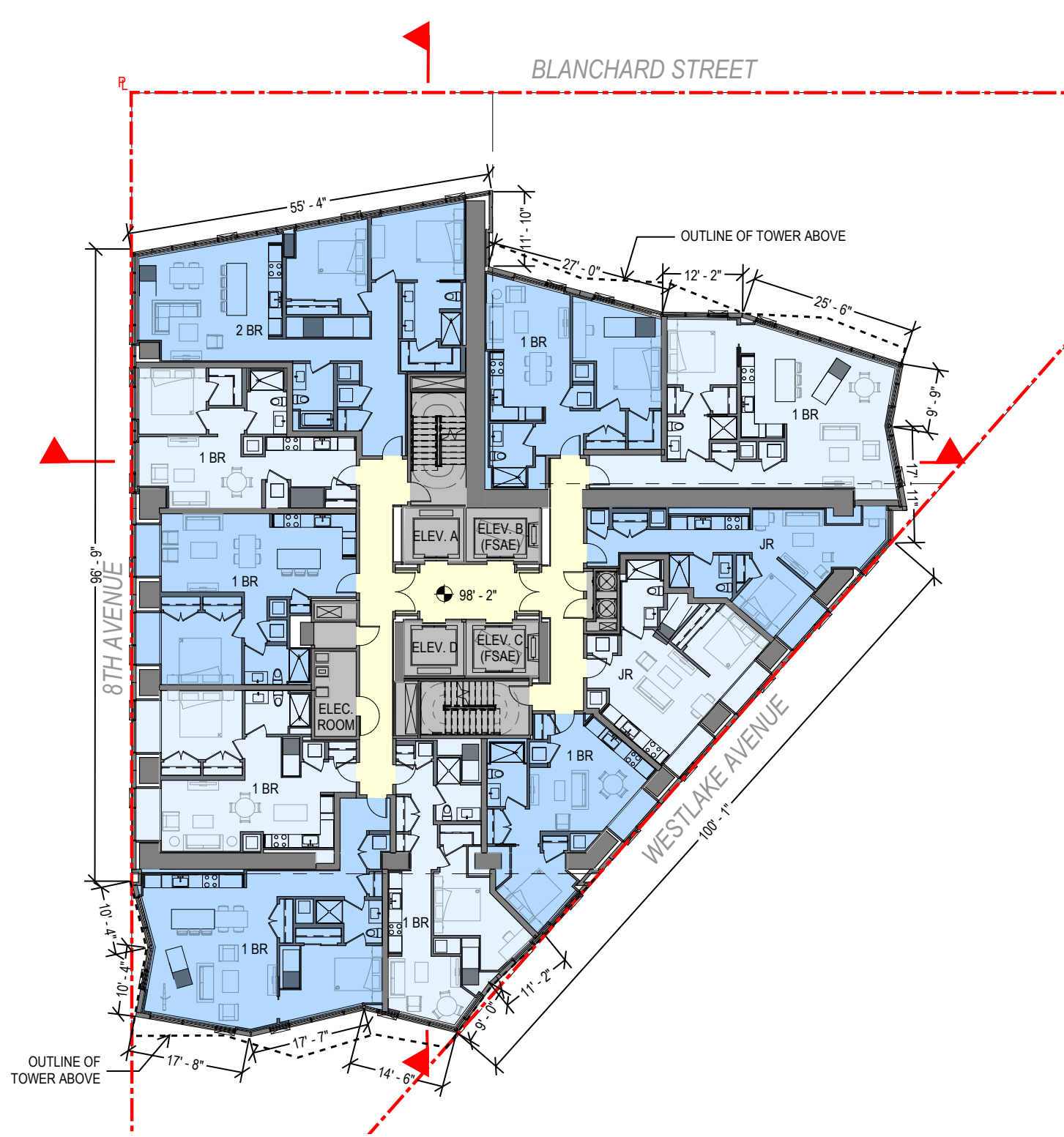




FLOOR PLANS: LEVELS 9 AND 10



LEVEL 9



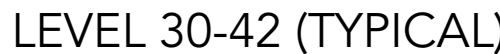
LEVEL 10



## 57

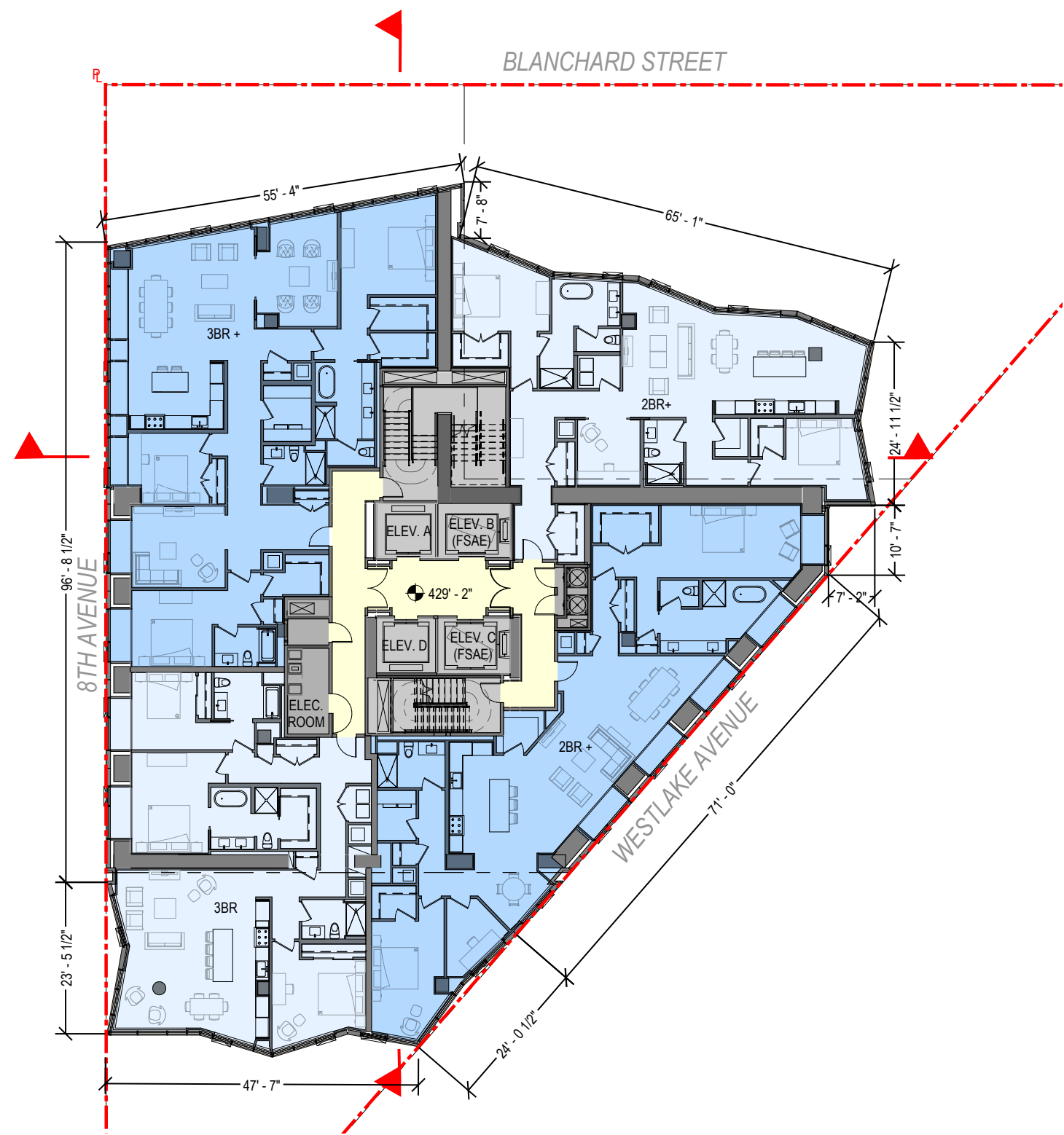


## LEVEL 11-29 (TYPICAL)

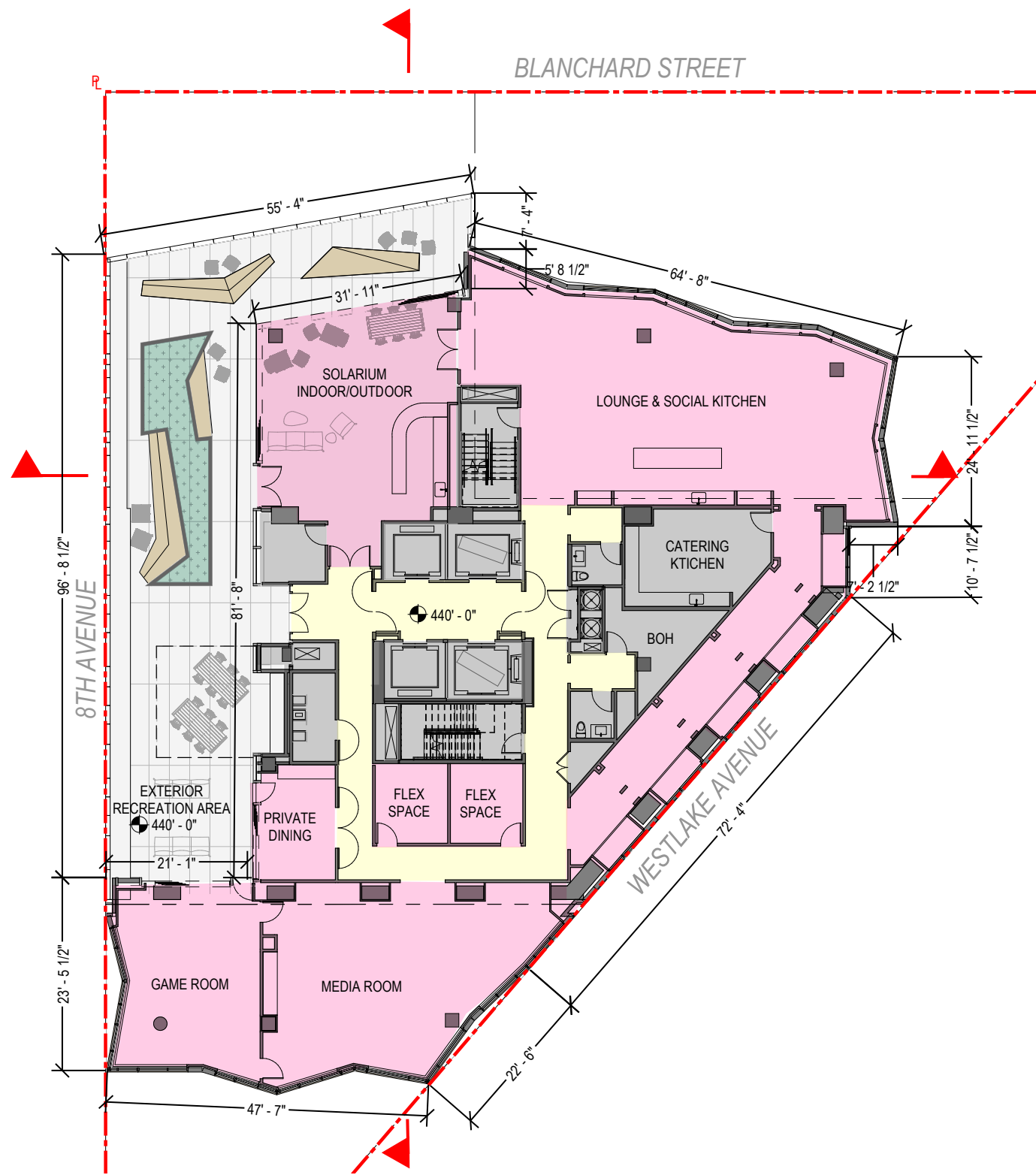




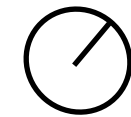
FLOOR PLANS: LEVELS 43 AND 44 (AMENITY)



LEVEL 43

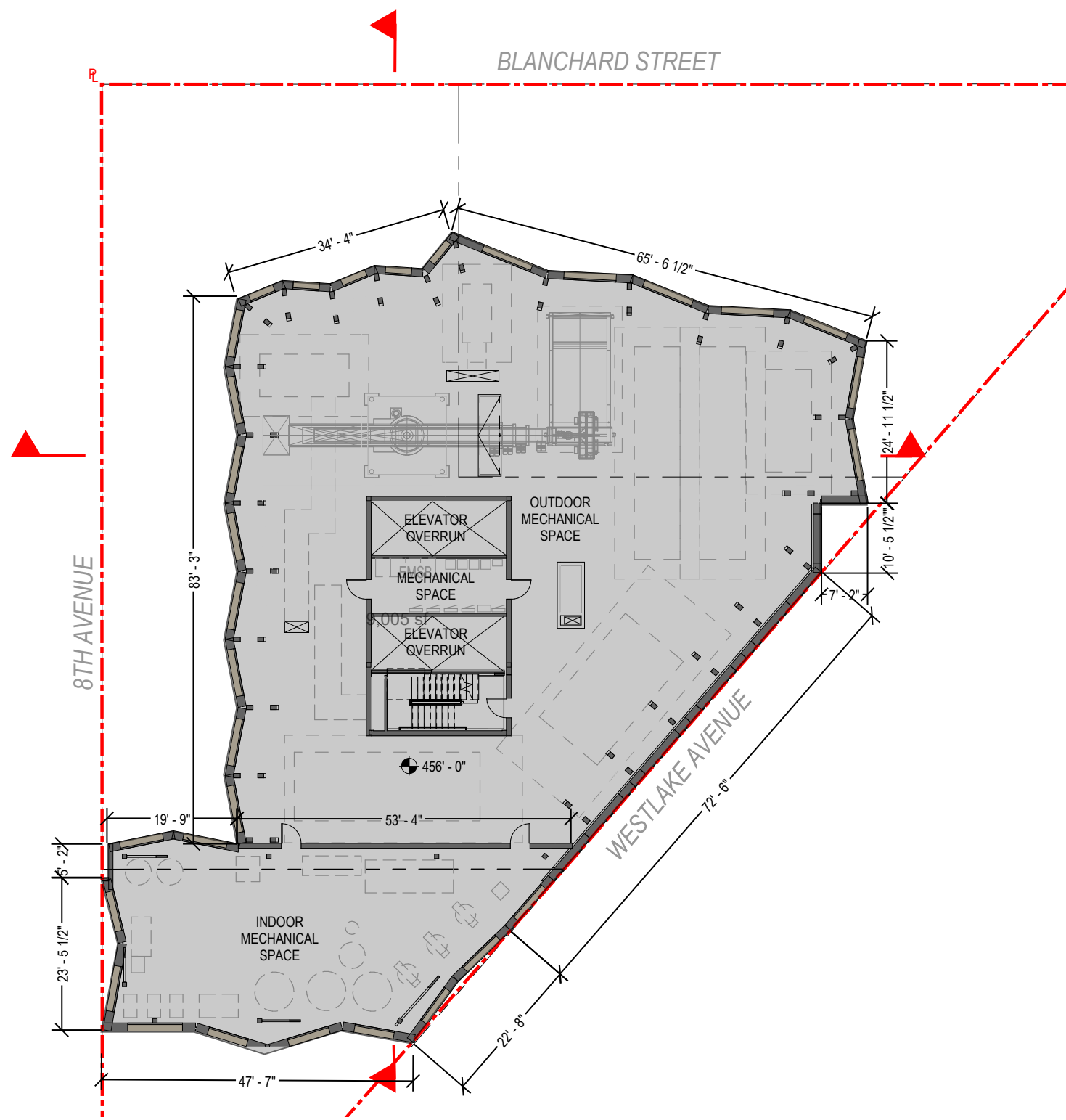


LEVEL 44 (AMENITY)

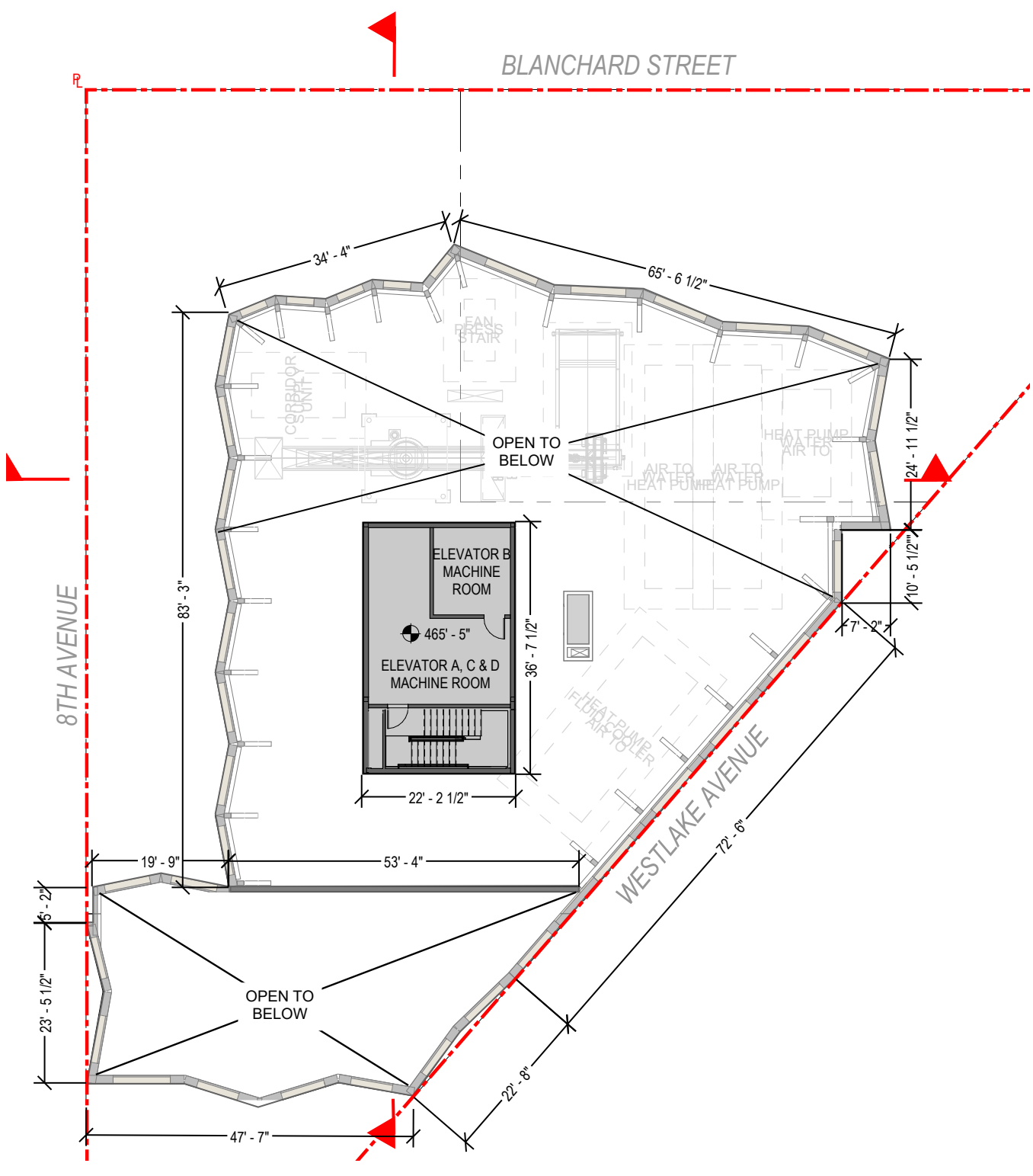




FLOOR PLANS: LEVELS 45 (MECHANICAL) AND 46 (ROOF)



LEVEL 45 (MECHANICAL)

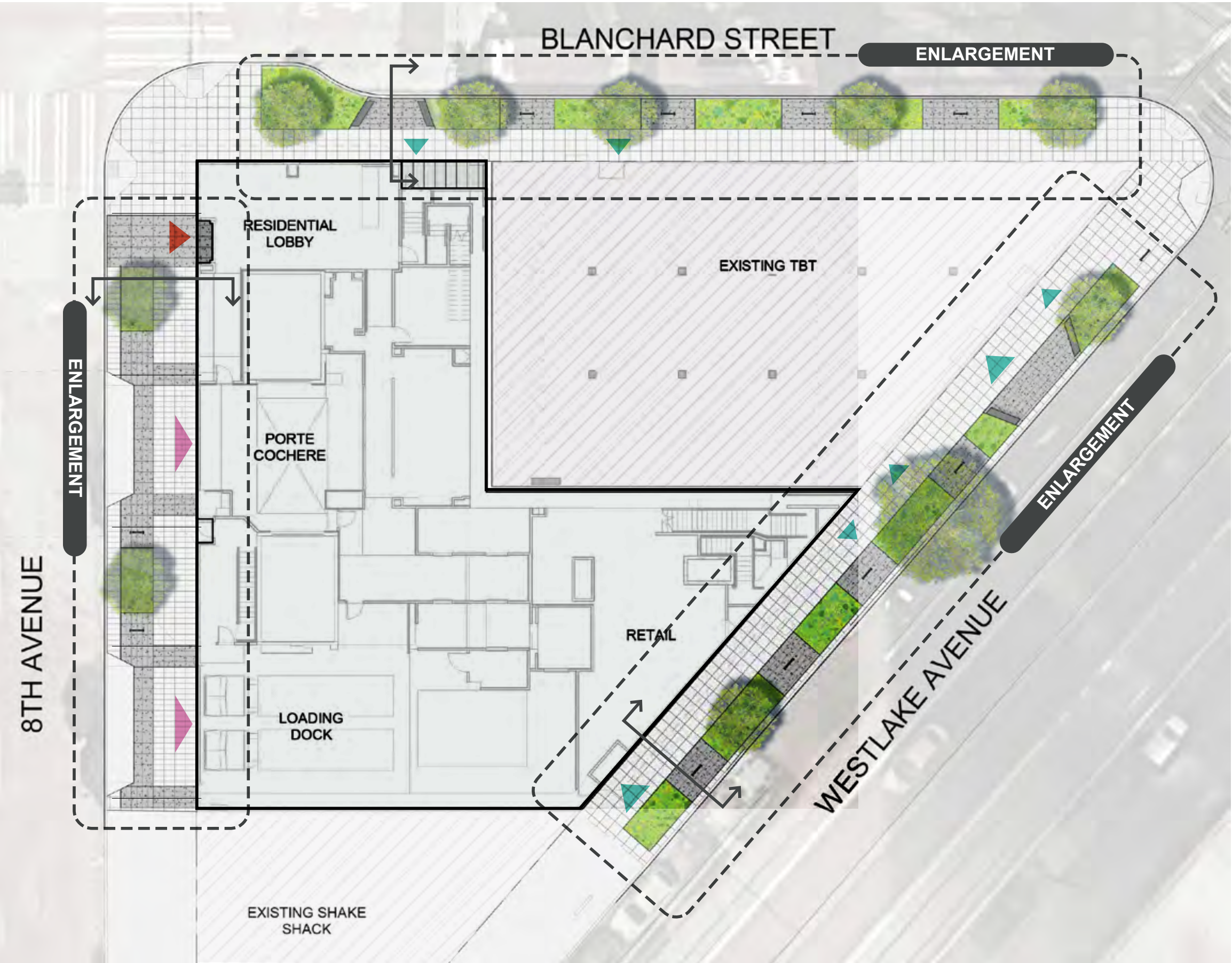


LEVEL 46 (ROOF)

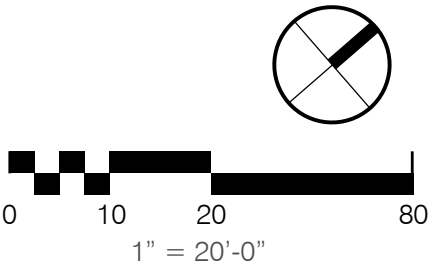




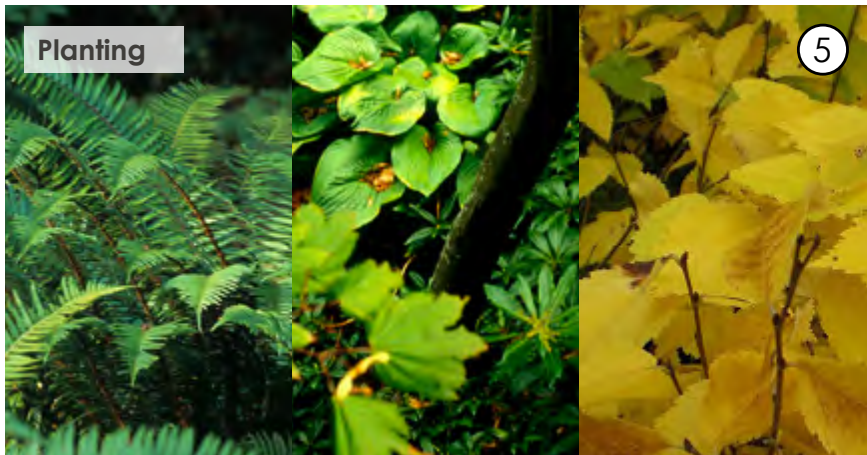
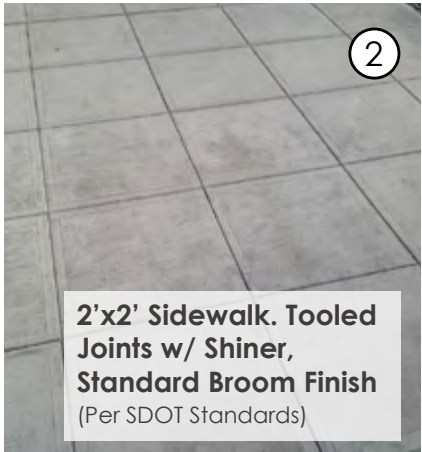
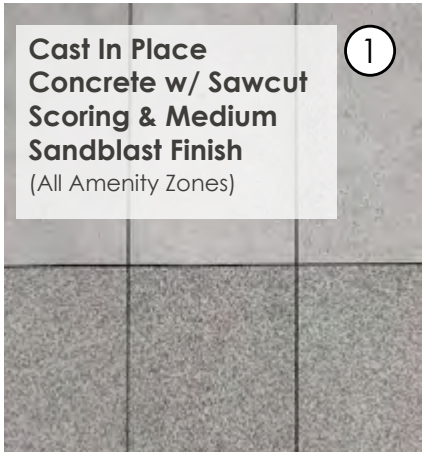
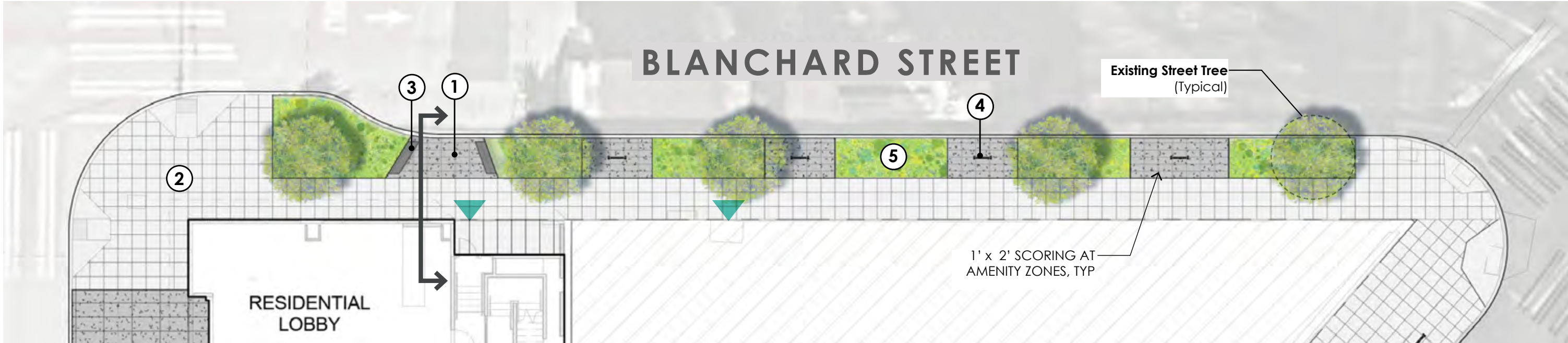




- VEHICULAR ENTRY / EXIT
- LOBBY ENTRY
- RETAIL / SERVICE ENTRY







Blanchard Street Enhancement

- Engage 8th And Blanchard Corner With Bulb-Out
- Add Planting Strip With Paved Openings For Drop-Off & Bike Racks
- Keep Existing Street Trees And Enhance With Bigger Planters
- Add Two New Streetscape Benches Proximate To Entry/Exits

VEHICULAR ENTRY / EXIT

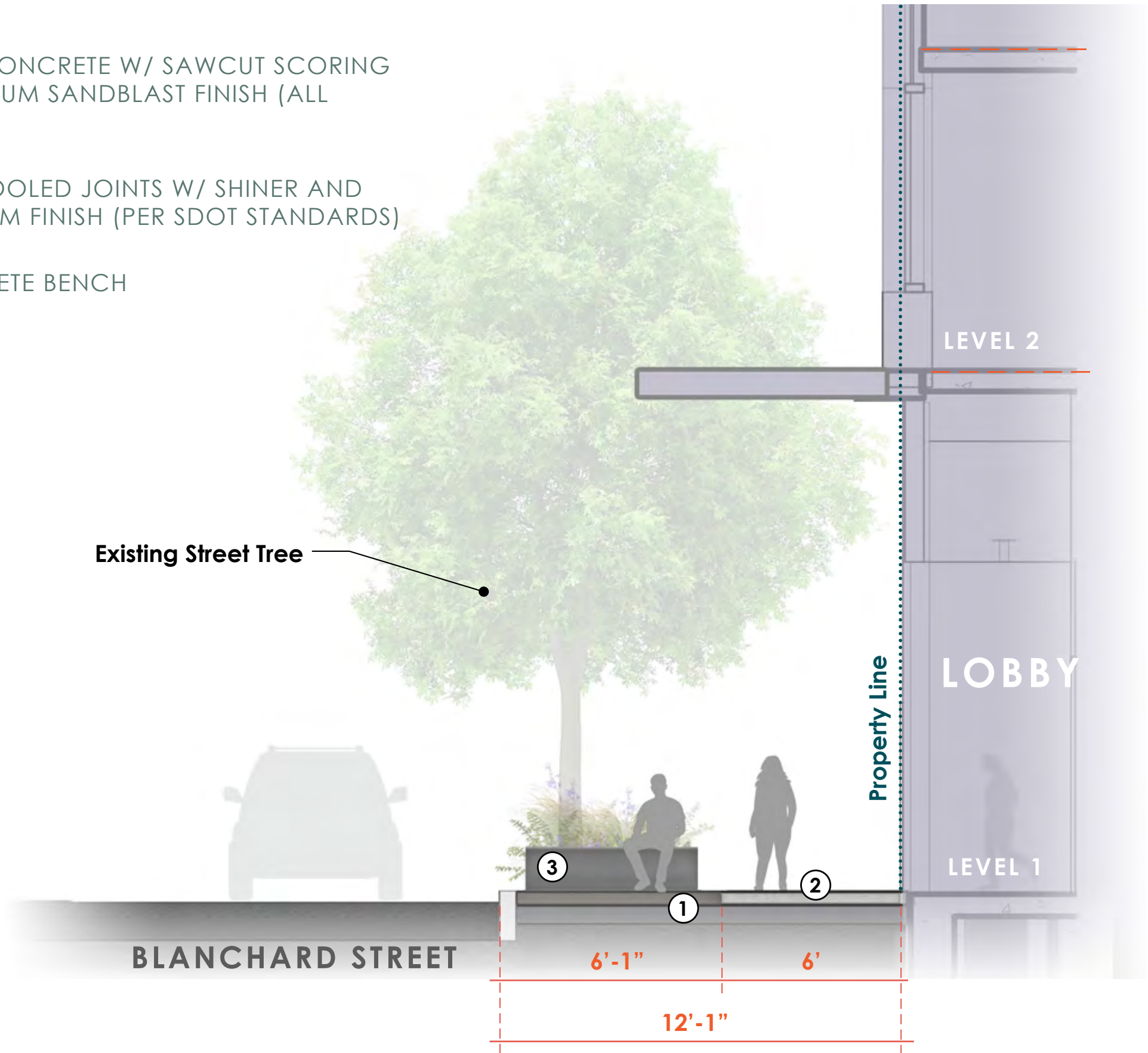
LOBBY ENTRY

RETAIL ENTRY

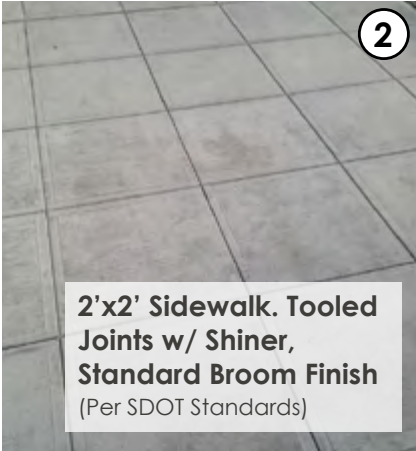
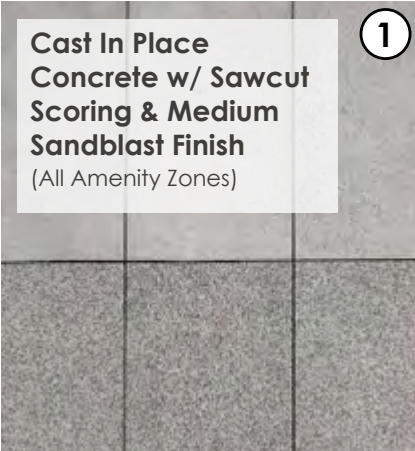
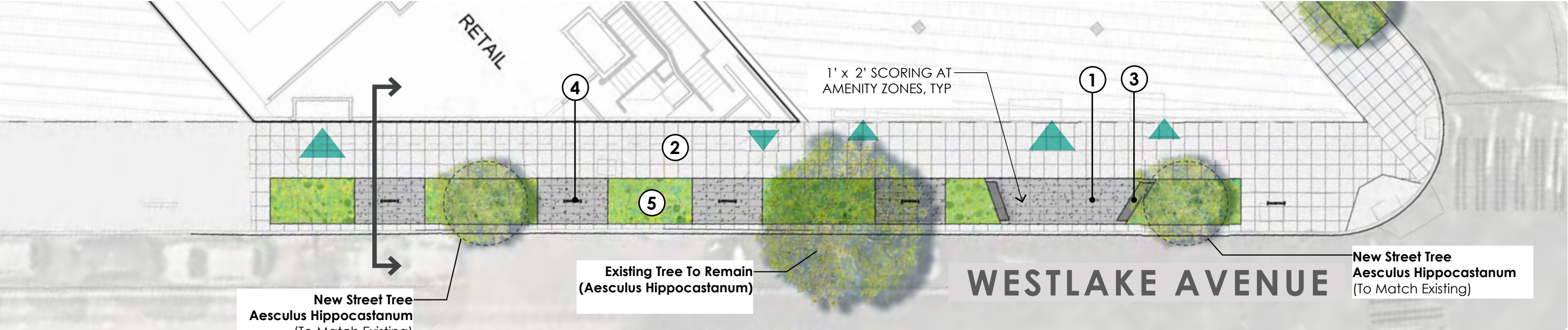


MATERIALS

- ① CAST IN PLACE CONCRETE W/ SAWCUT SCORING (1'X2') AND MEDIUM SANDBLAST FINISH (ALL AMENITY ZONES)
- ② 2X2 SIDEWALK. TOOLED JOINTS W/ SHINER AND STANDARD BROOM FINISH (PER SDOT STANDARDS)
- ③ PRECAST CONCRETE BENCH





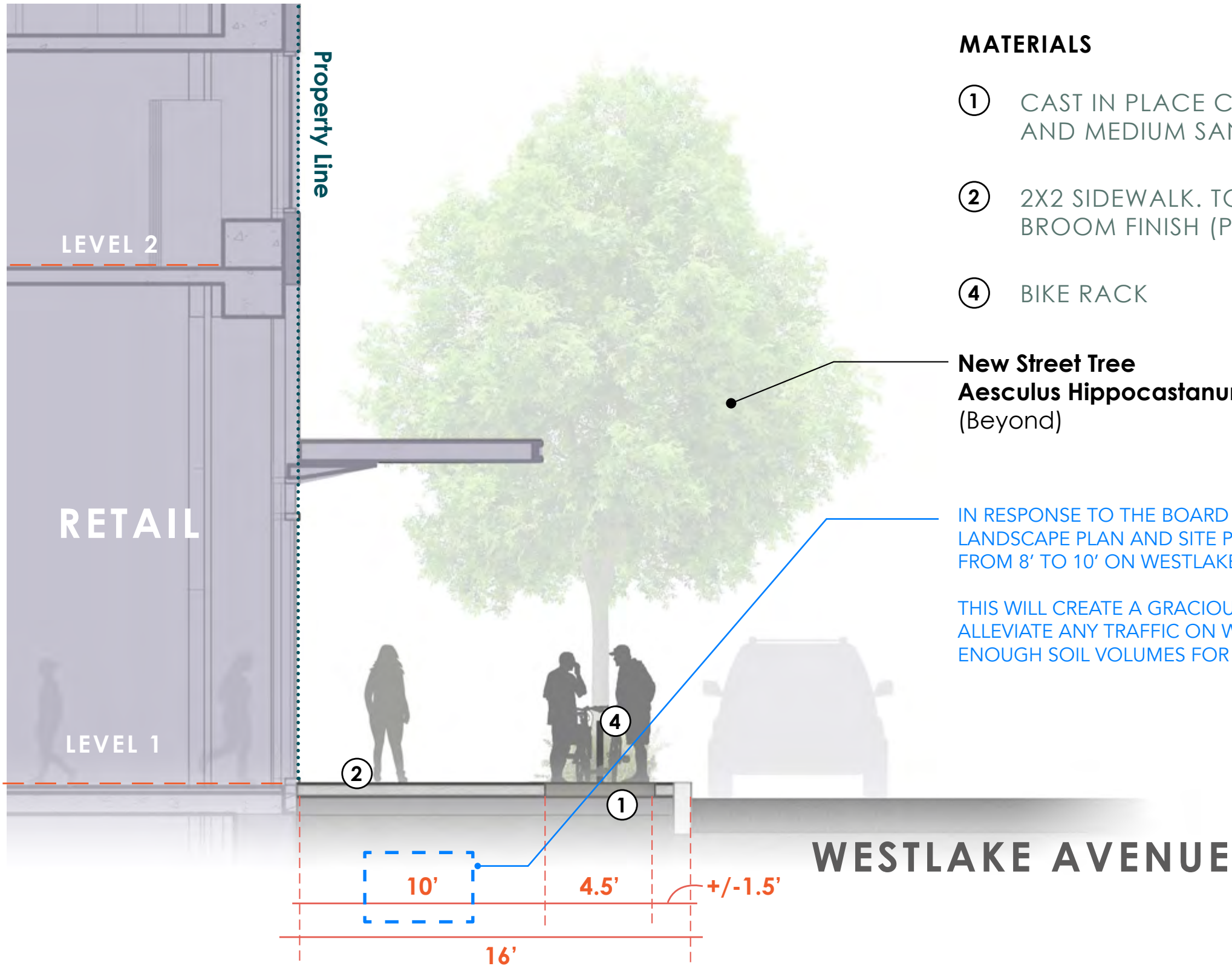


Westlake Avenue Enhancement

- Expand And Enhance Planters To Create Strong Green Edge
- Add Two New Streetscape Benches Proximate To Entry/Exits
- Add Paved Openings (Amenity Paving) For Drop-Off, Benches & Bike Racks
- Add Bike Racks
- Add Street Trees Where Possible

- VEHICULAR ENTRY / EXIT
- LOBBY ENTRY
- RETAIL / SERVICE ENTRY





**MATERIALS**

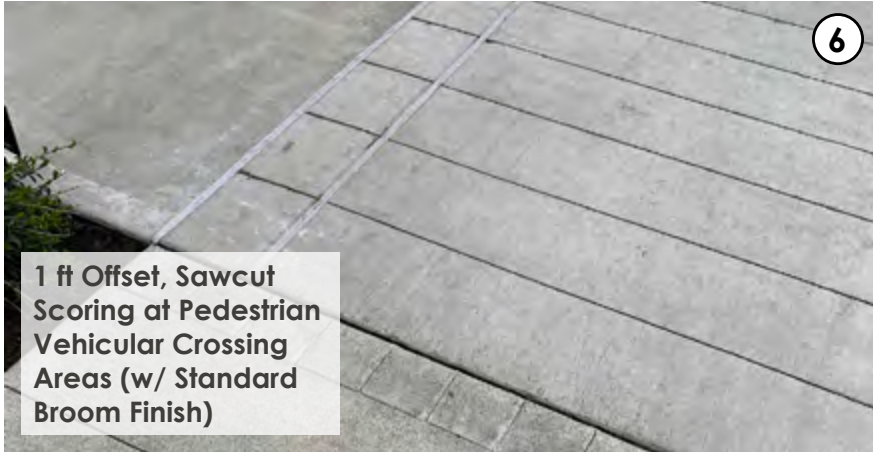
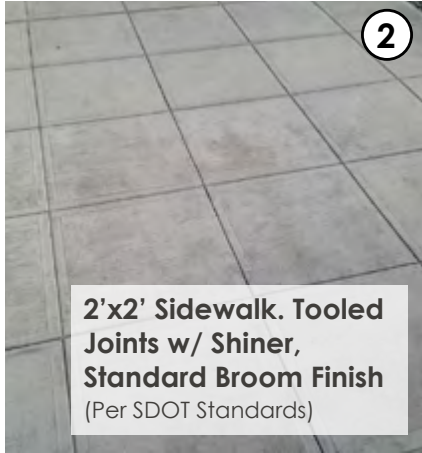
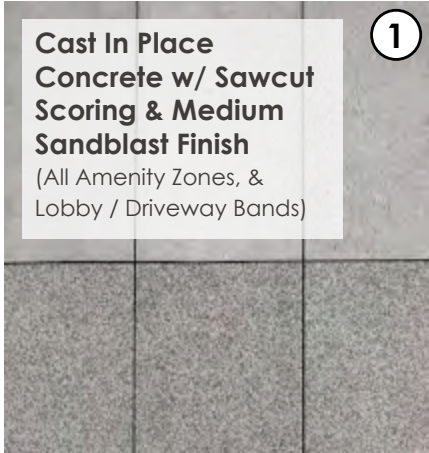
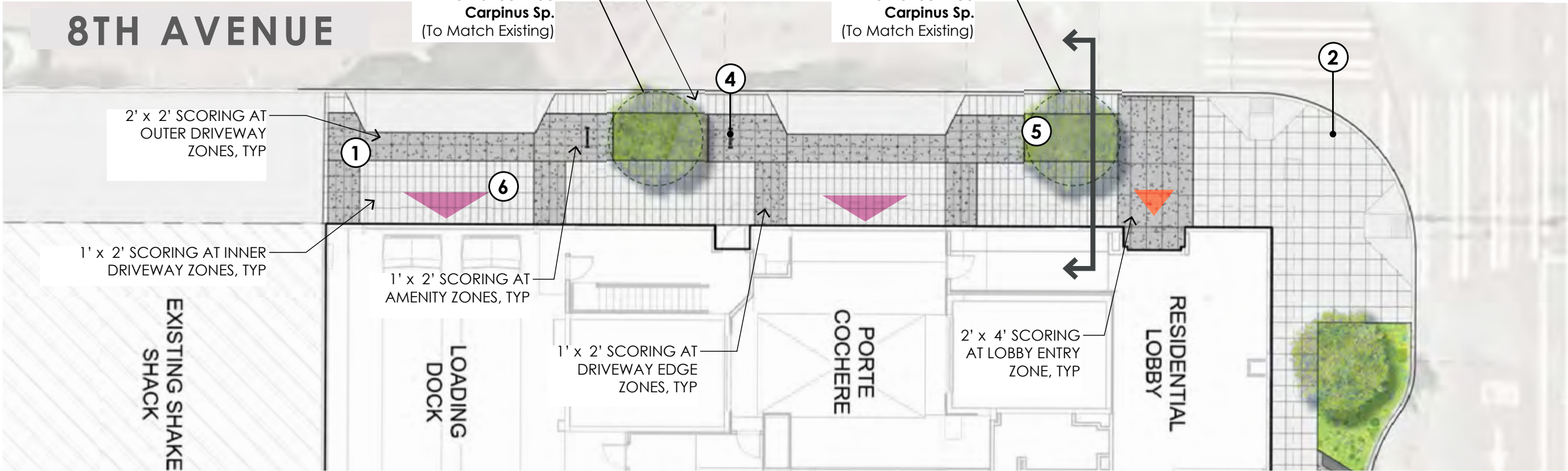
- ① CAST IN PLACE CONCRETE W/ SAWCUT SCORING (1'X2') AND MEDIUM SANDBLAST FINISH (ALL AMENITY ZONES)
- ② 2X2 SIDEWALK. TOOLED JOINTS W/ SHINER AND STANDARD BROOM FINISH (PER SDOT STANDARDS)
- ④ BIKE RACK

**New Street Tree**  
**Aesculus Hippocastanum**  
(Beyond)

IN RESPONSE TO THE BOARD GUIDANCE, WE REVISED THE LANDSCAPE PLAN AND SITE PLAN TO INCREASE THE SIDEWALK WIDTH FROM 8' TO 10' ON WESTLAKE AVE.

THIS WILL CREATE A GRACIOUS SPACE FOR PEDESTRIANS AND HELP ALLEVIATE ANY TRAFFIC ON WESTLAKE AVE., WHILE PROVIDING ENOUGH SOIL VOLUMES FOR STREET TREES.



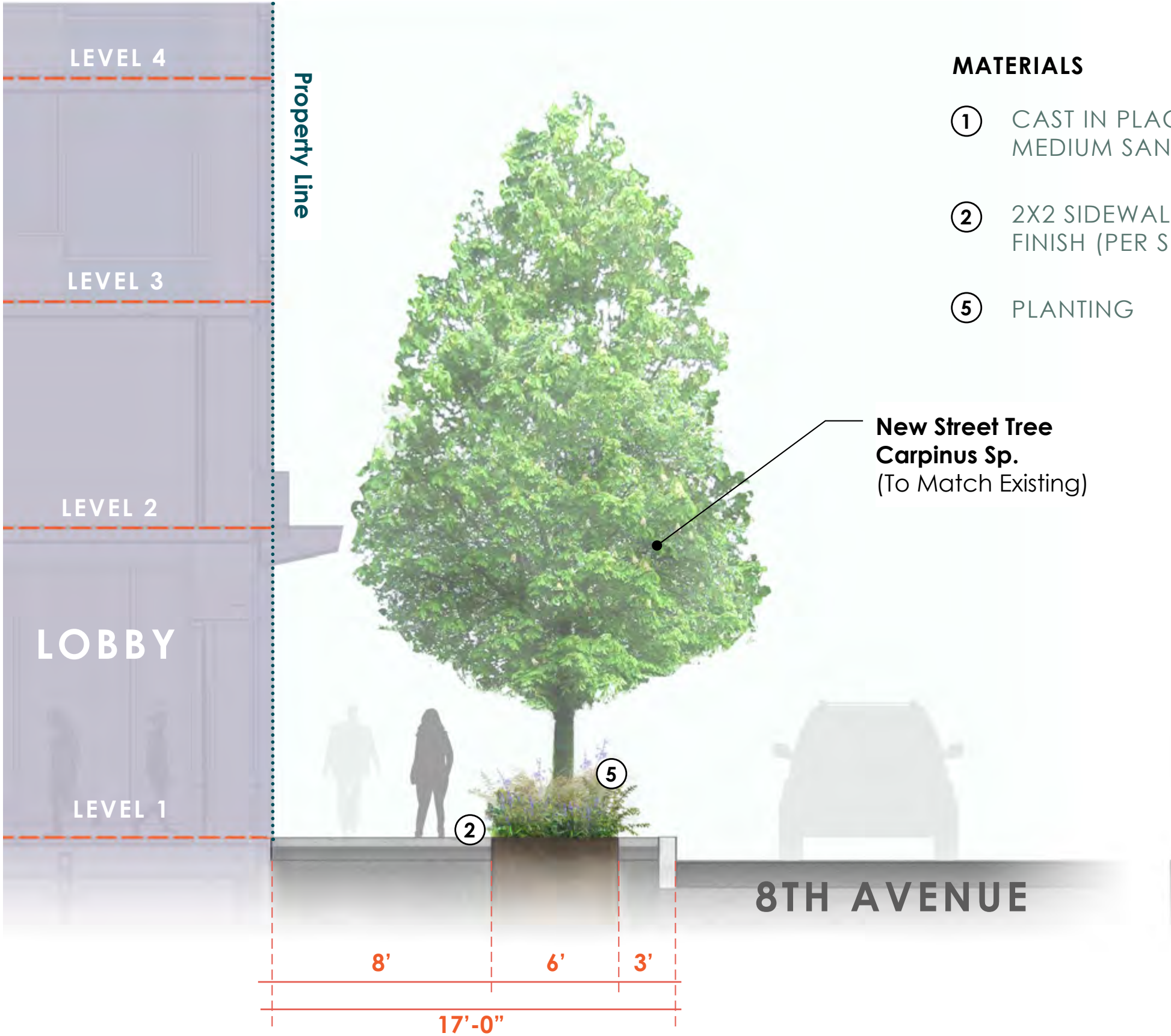


8th Avenue Enhancement

- Add New Street Planters
- Remove Existing Street Trees To Open Views Of Lobby Entrance, Add Two New Street Trees
- Create Smaller Paving Pattern Through Unique Scoring At Retail And Residential Frontages
- Distinguish Building Entries From Driveway Zones With Change To Paving Jointing Pattern, Color, Finish

- ▶ VEHICULAR ENTRY / EXIT
- ▶ LOBBY ENTRY
- ▶ RETAIL / SERVICE ENTRY





**MATERIALS**

- ① CAST IN PLACE CONCRETE W/ SAWCUT (1'X2') SCORING AND MEDIUM SANDBLAST FINISH (ALL AMENITY ZONES)
- ② 2X2 SIDEWALK. SAWCUT SCORING AND STANDARD BROOM FINISH (PER SDOT STANDARDS)
- ⑤ PLANTING



# RESPONSE TO DRB #1: LANDSCAPE

## STREET LEVEL ENHANCEMENTS EXAMPLE PLANTING LIST

### STREET TREES



*Aesculus hippocastanum*  
Horse Chestnut



*Carpinus Sp.*  
Hornbeam

### STREETSCAPE PLANTER UNDERSTORY



*Pennisetum alopecuroides*  
Hameln Fountain Grass



*Lonicera pileata*  
Box Leaf Honeysuckle



*Nepeta racemosa 'Walker's Low'*  
Catmint



*Heuchera 'Peppermint Spice'*  
Coral Bells

### Westlake Avenue & 8th Ave Planting Character

- Sunnier Orientation For Planting Palette
- Pollinator Species
- Ornamental Grasses And Flowering Color

### Blanchard Planting Character

- Shade Oriented Planting Character
- Pacific Northwest Native Focus
- Fall Color



*Sarcococca rusifolia*  
Sweet Box



*Polystichum munitum*  
Western Sword Fern



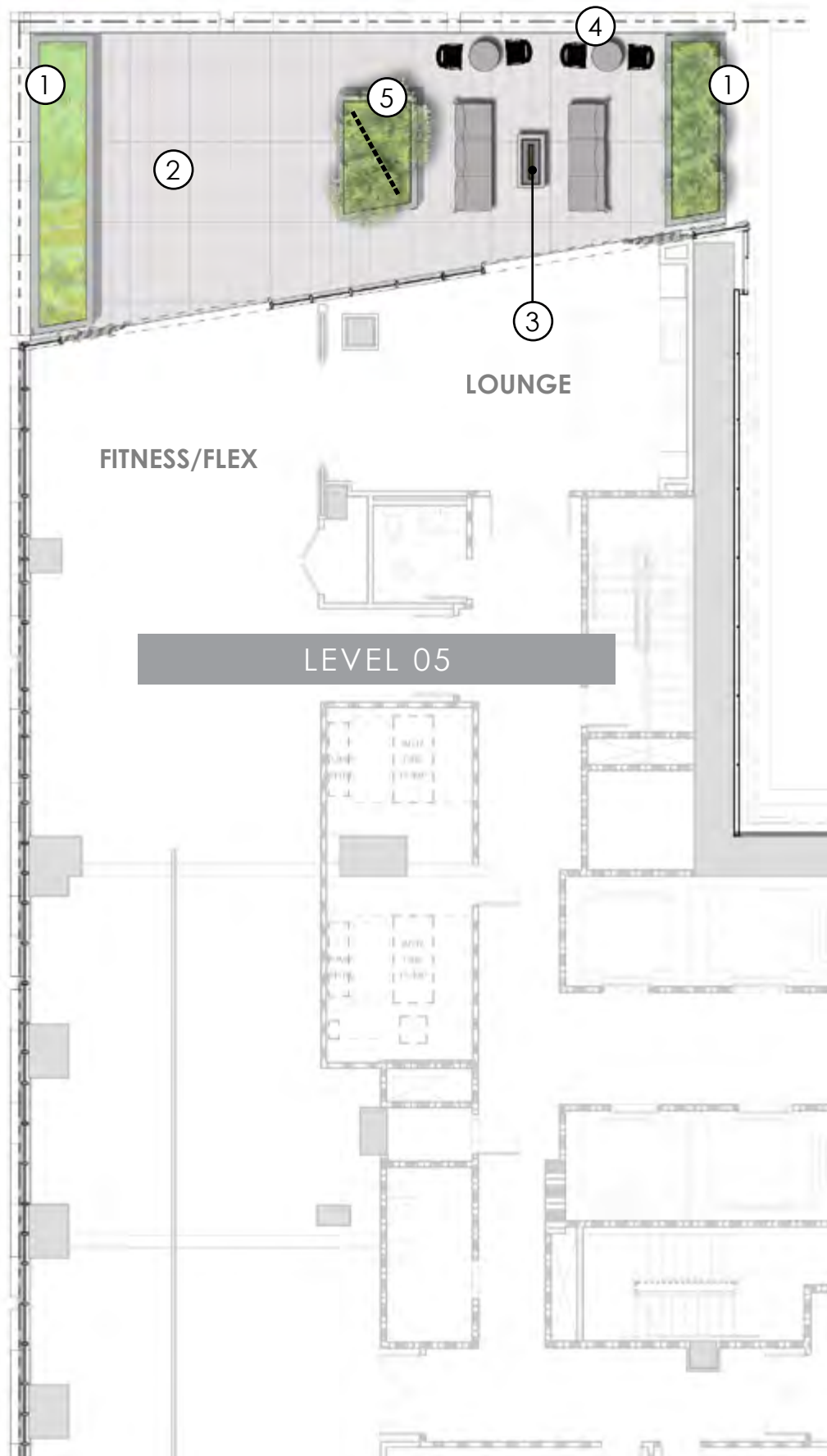
*Ribes sanguineum*  
Red Flowering Currant



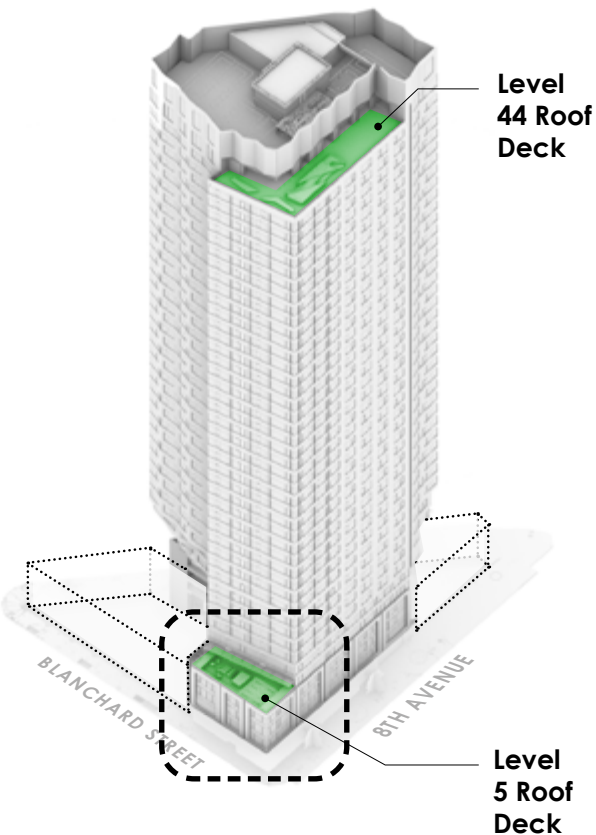
*Vaccinium ovatum*  
Evergreen Huckleberry



# RESPONSE TO DRB #1: LANDSCAPE



- ① Raised (42" height) concrete planters for bio-retention treatment, smooth form finish
- ② Open flexible paved deck area for fitness spill out, large scale linear pavers (pedestal set)
- ③ Outdoor furnishings for lounge spill out w/ gas fire-pit
- ④ Moveable cafe table seating
- ⑤ Low concrete planter (18" height) with sculptural wood screen element between fitness and lounge space



## ROOFTOP AMENITIES

### LEVEL 5 PLAN & CHARACTER

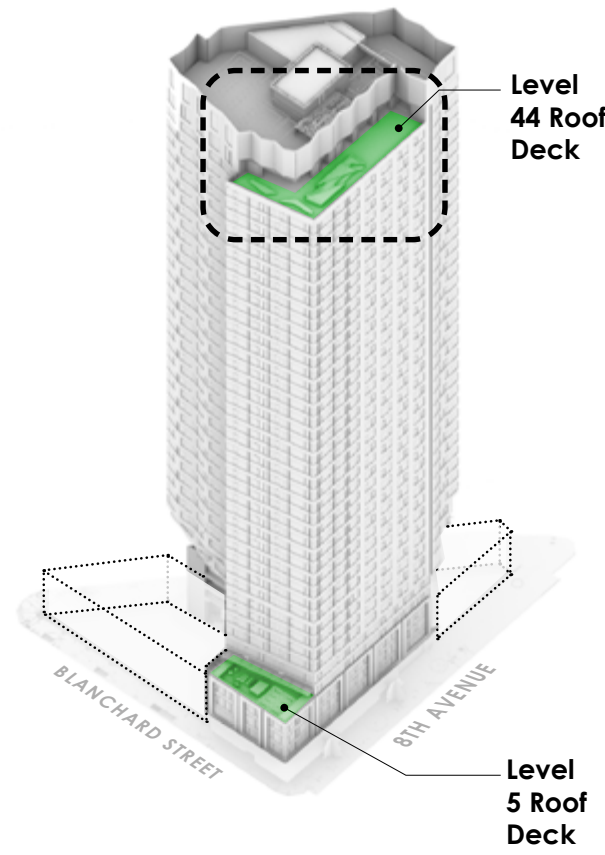




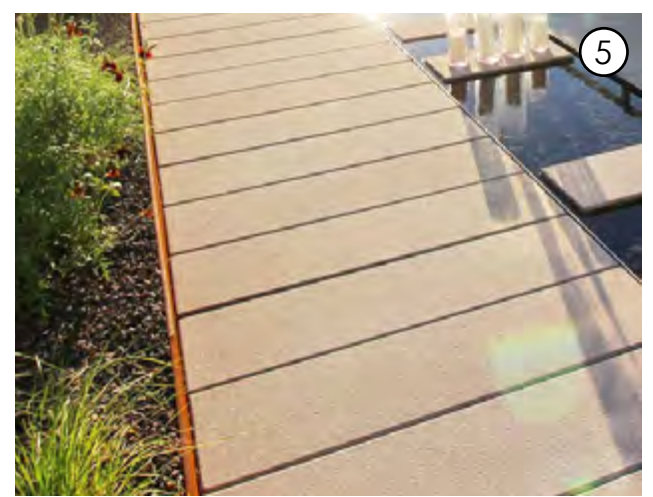
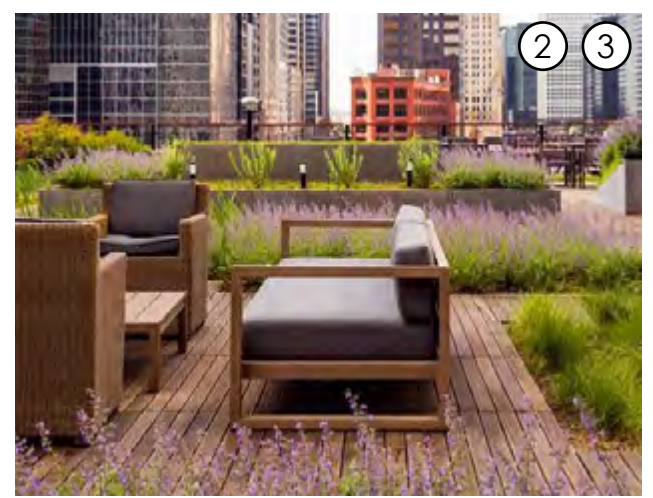
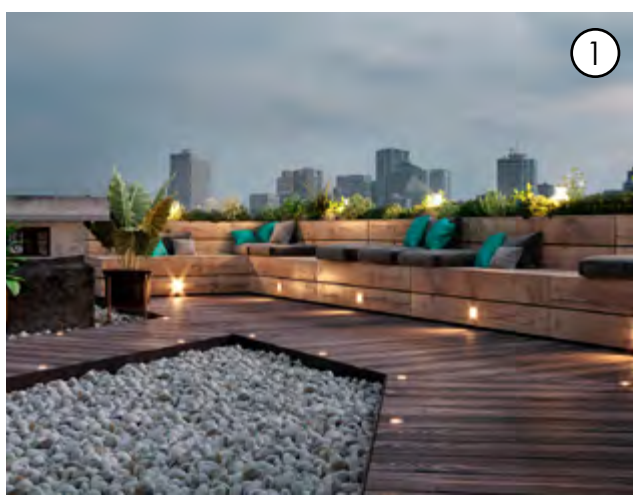
RESPONSE TO DRB #1: LANDSCAPE



- ① Sculptural seating & planting elements as visual back drop from solarium interior and usable feature in nice weather.
- ② Low planting, ornamental grass and perennials
- ③ Movable furnishings - shared vocabulary with interior solarium space
- ④ Potential canopy covered outdoor kitchen/seating area
- ⑤ Large scale linear paver slabs, extending into solarium to unify space



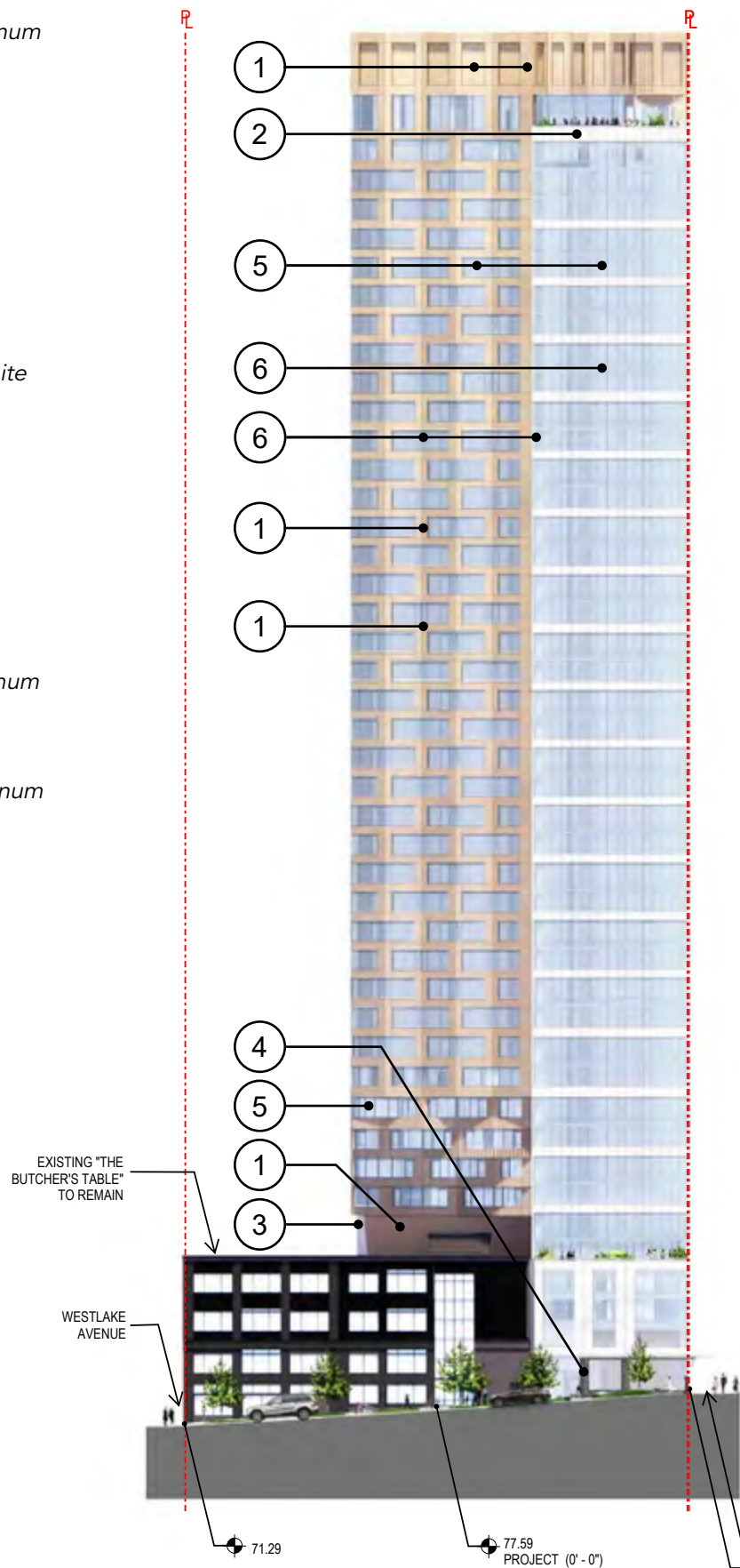
ROOFTOP AMENITIES  
LEVEL 44 PLAN & CHARACTER



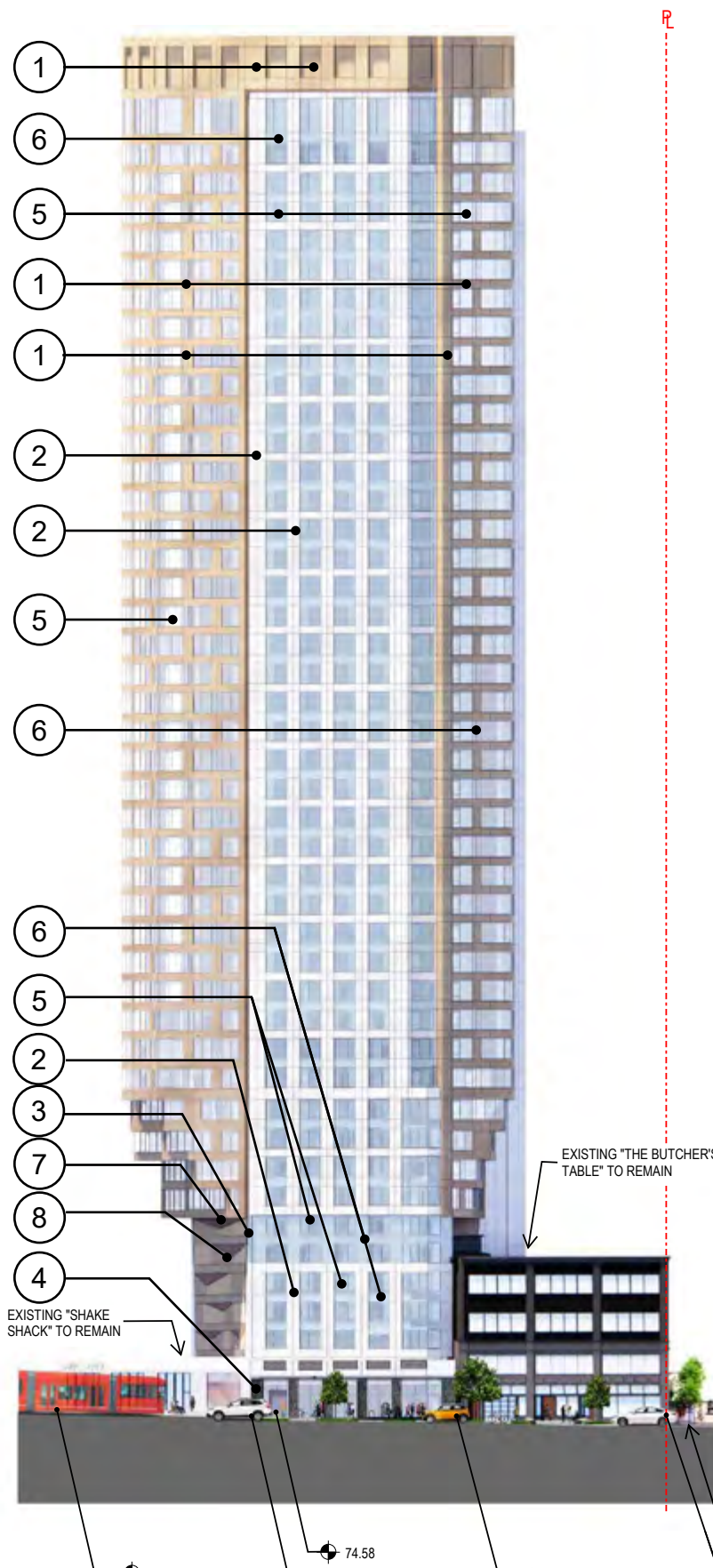
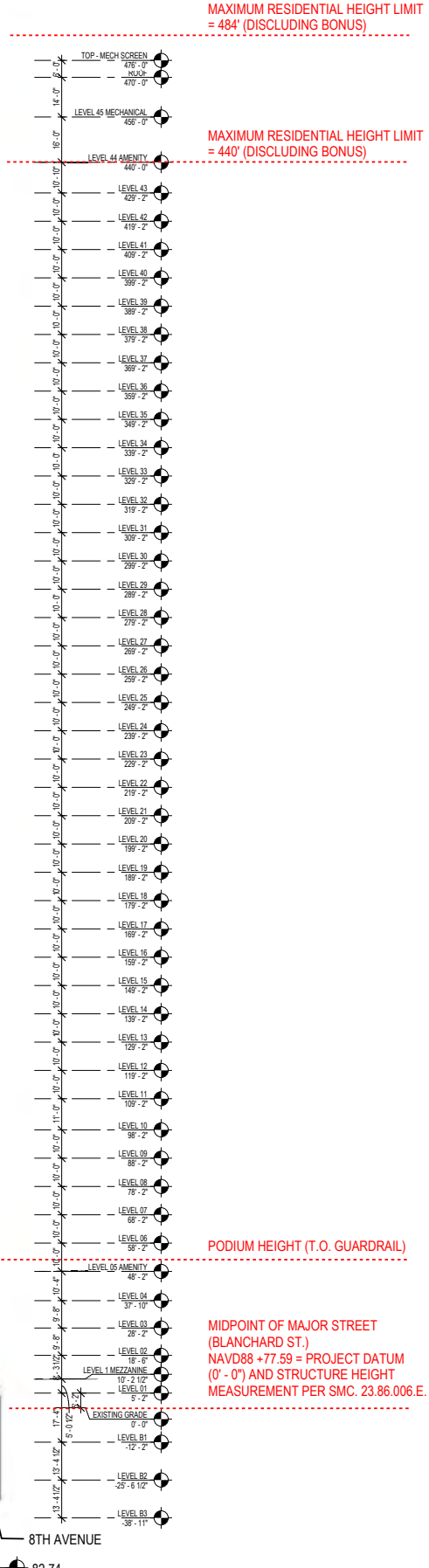


ELEVATIONS: NORTH AND EAST

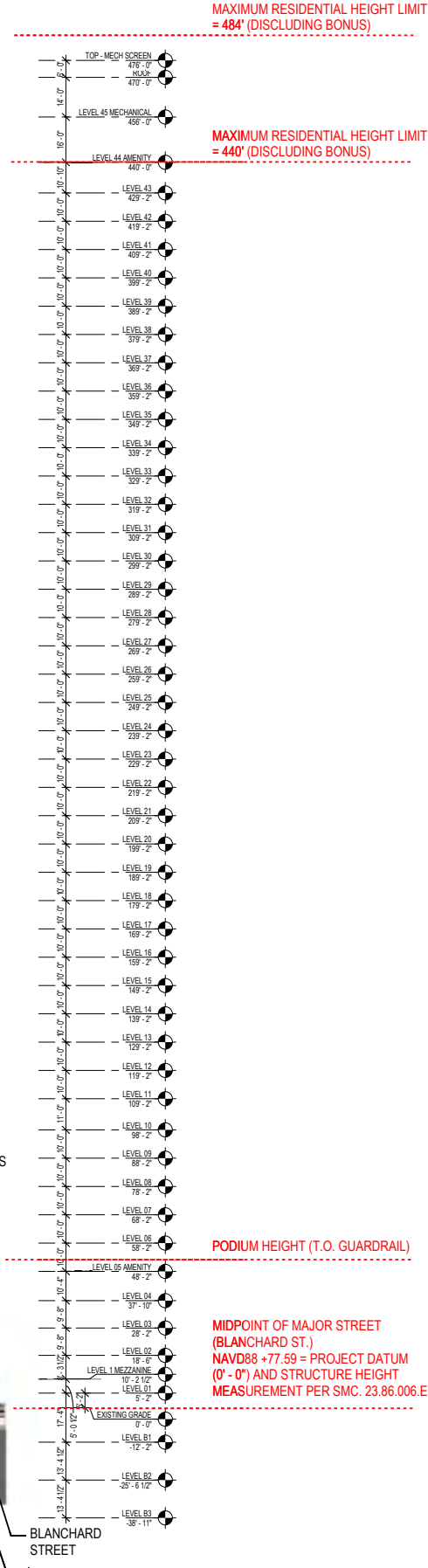
- ① Champagne Aluminum Metal Cladding
- ② Platinum Mica Metal Cladding
- ③ Gray Velvet Metal Cladding
- ④ Mesabi Black Granite
- ⑤ Vision Glass
- ⑥ Spandrel Glass
- ⑦ Dark Bronze Aluminum Metal Cladding
- ⑧ Light Bronze Aluminum Metal Cladding



North Elevation



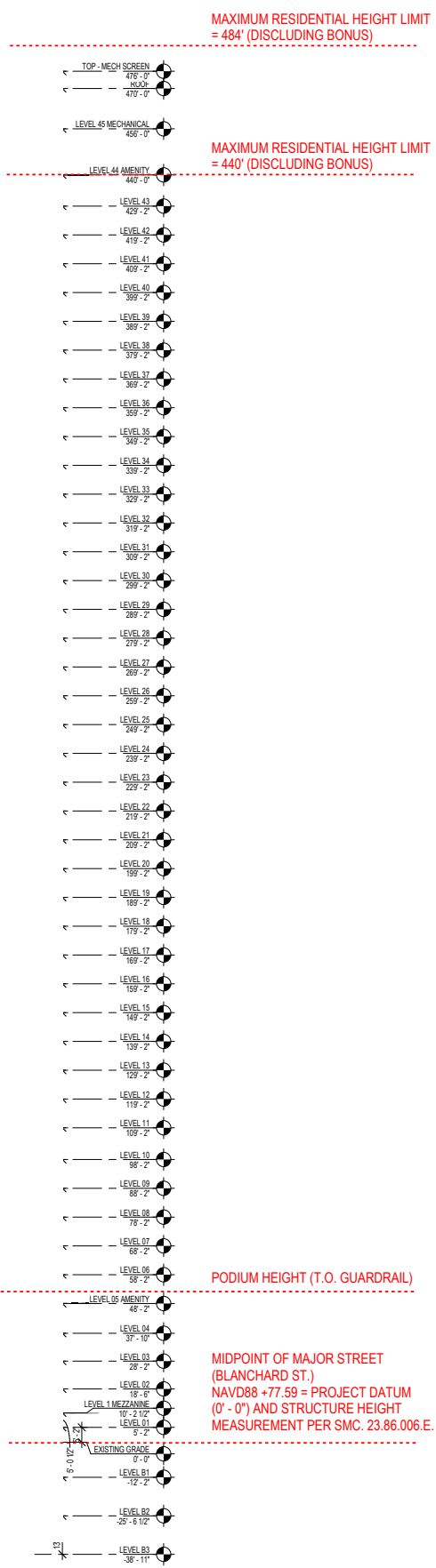
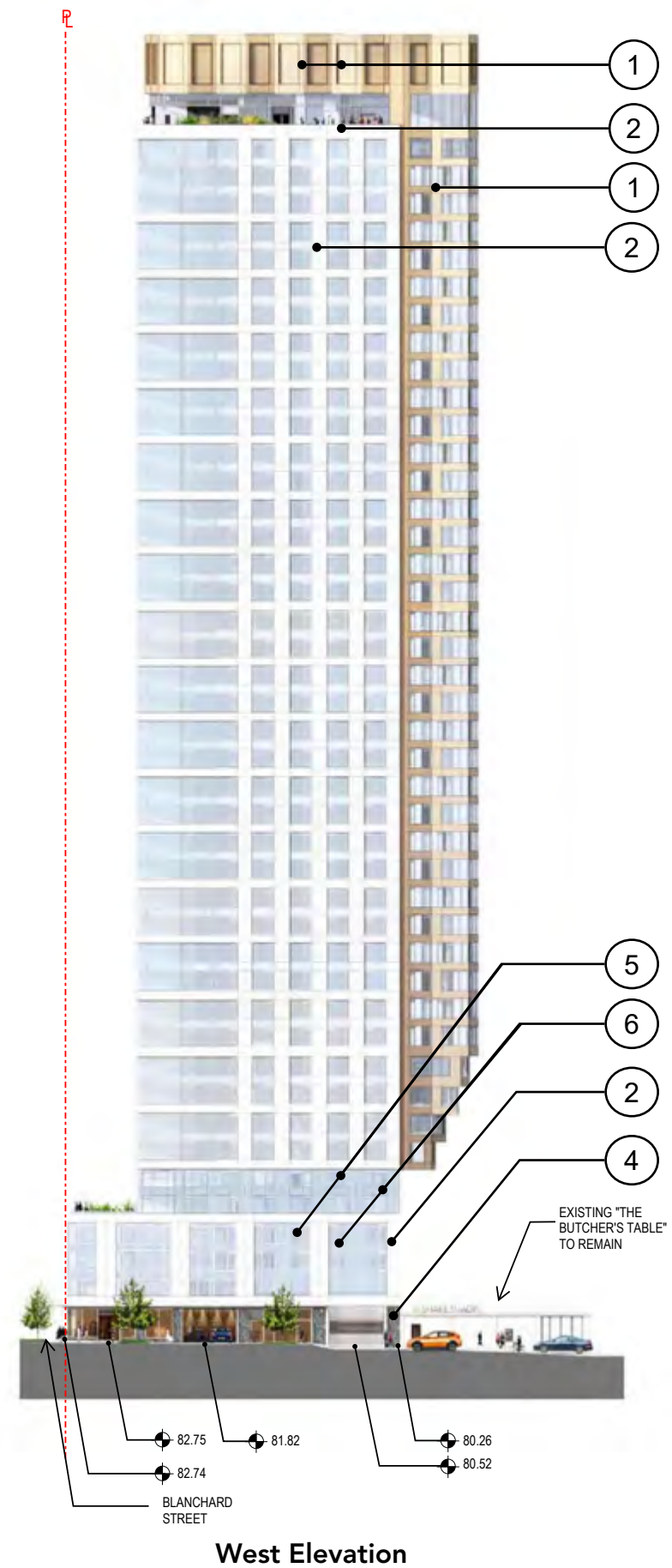
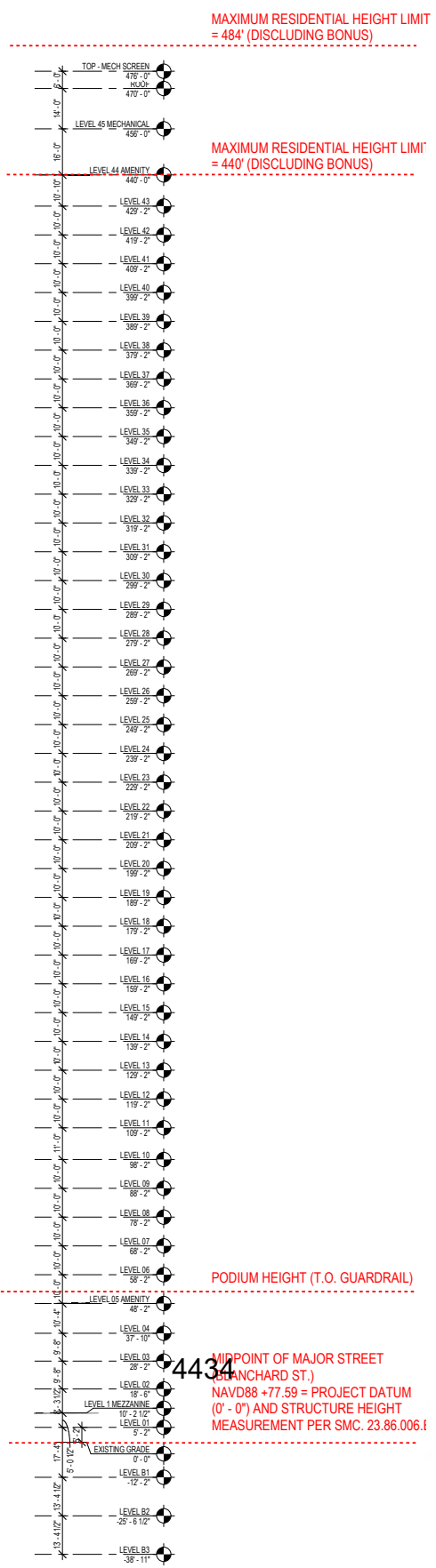
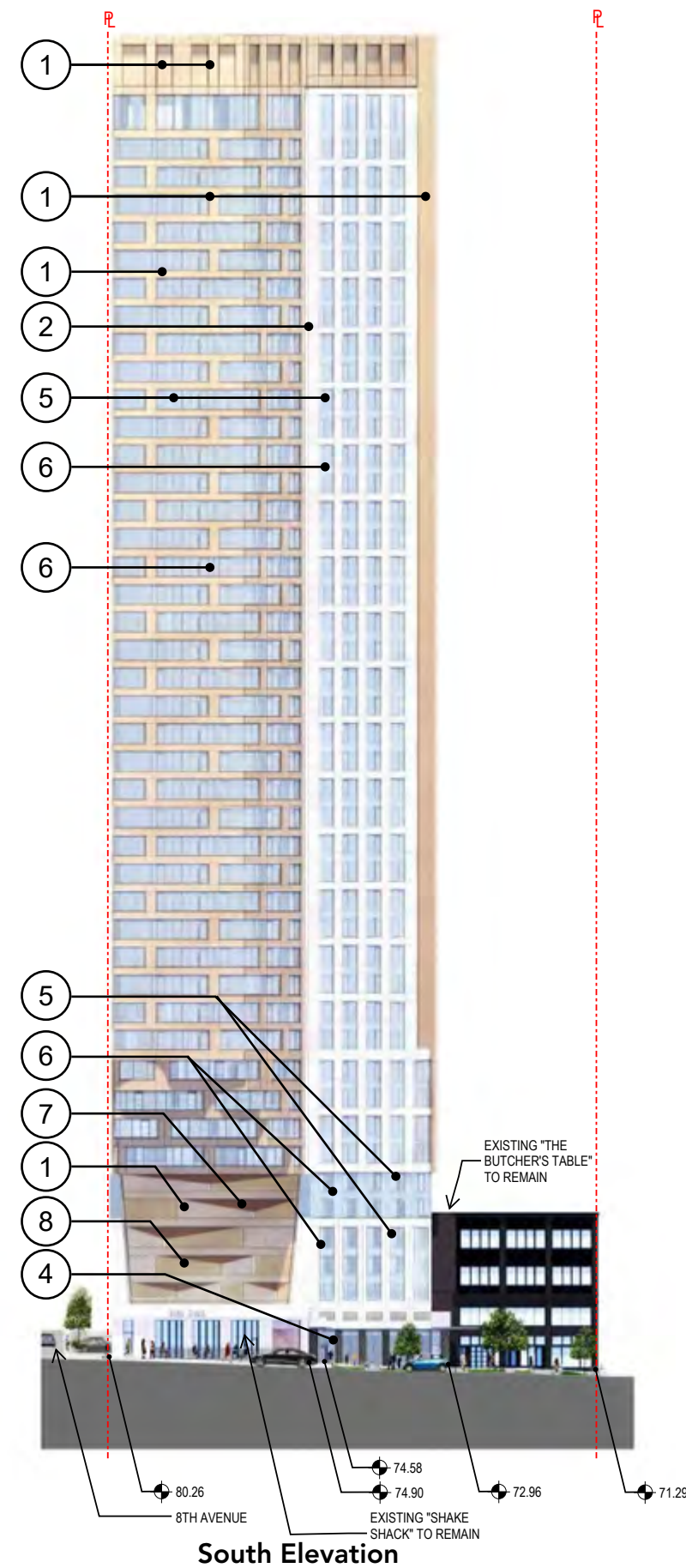
East Elevation





ELEVATIONS: SOUTH AND WEST

- 1 Champagne Aluminum Metal Cladding
- 2 Platinum Mica Metal Cladding
- 3 Gray Velvet Metal Cladding
- 4 Mesabi Black Granite
- 5 Vision Glass
- 6 Spandrel Glass
- 7 Dark Bronze Aluminum Metal Cladding
- 8 Light Bronze Aluminum Metal Cladding





# MATERIAL AND COLOR PALETTE



LIGHT BRONZE  
ALUMINUM



DARK BRONZE  
ALUMINUM



GRAY VELVET



CHAMPAGNE  
ALUMINUM



PLATINUM MICA



VISION GLASS



SPANDREL GLASS



SILVER  
TRAVERTINE



MESABI BLACK GRANITE

Morning (Indirect)



LIGHT BRONZE  
ALUMINUM



DARK BRONZE  
ALUMINUM



GRAY VELVET



CHAMPAGNE  
ALUMINUM



PLATINUM MICA



VISION GLASS



SPANDREL GLASS



SILVER  
TRAVERTINE



MESABI BLACK GRANITE

Mid-Day (Direct)



LIGHT BRONZE  
ALUMINUM



DARK BRONZE  
ALUMINUM



GRAY VELVET



CHAMPAGNE  
ALUMINUM



PLATINUM MICA



VISION GLASS



SPANDREL GLASS



SILVER  
TRAVERTINE



MESABI BLACK GRANITE

Afternoon (Direct)



## RENDERINGS: TOWER VIEWS



North on Westlake Ave



South on Westlake Ave



## RENDERINGS: BASE VIEW



Intersection of 8th Ave and Blanchard St



# STREET LEVEL LIGHTING



**1 Downlighting**  
Recessed downlights in canopies, soffits, and the porte cochere provide general lighting at walkways and entries.



**2 Entry Sconces**  
Wall mounted bi-directional sconces frame the primary entry at the porte cochere.



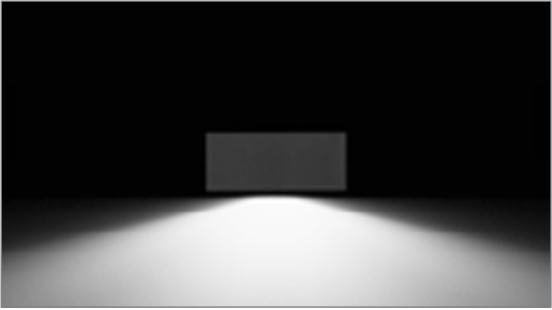
**3 Cove Light**  
Indirect lighting in an architectural cove illuminate the center of the porte cochere.



**4 Door Highlights**  
Linear perimeter lights over the car elevator doors direct drivers to the lifts.

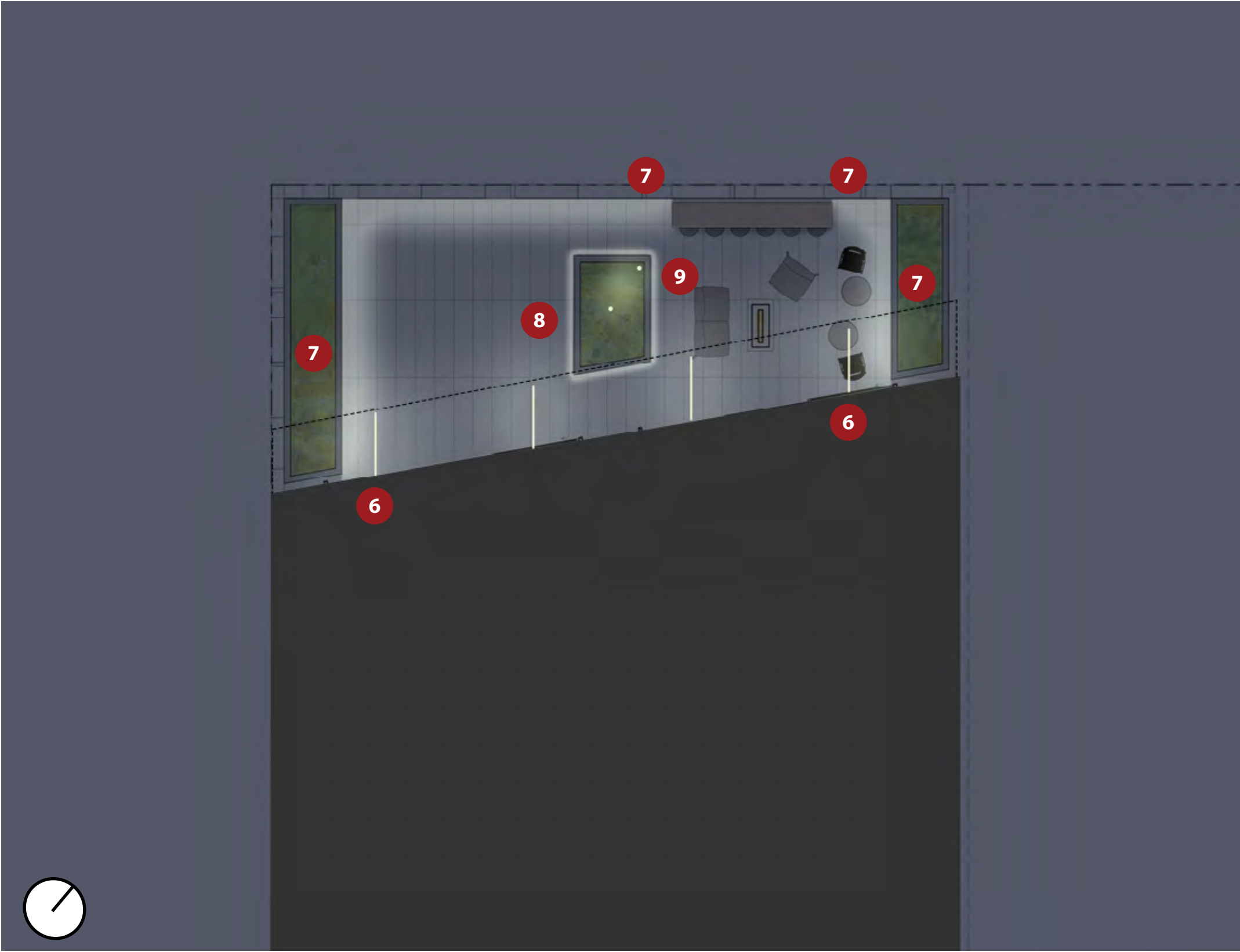


**5 Area Lights**  
Minimalist area lighting over the loading dock doors light up the sidewalk and threshold.





# LEVEL 5 TERRACE LIGHTING



**6 Canopy Downlight**  
Linear downlights under the canopy outriggers illuminate entries & exits.



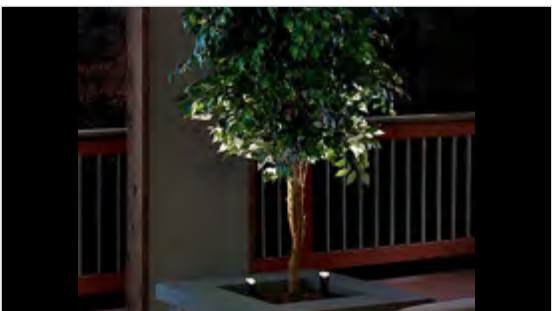
**7 Perimeter Lighting**  
Low level lights along the deck's perimeter outlines the space.



**8 Toekick Lights**  
Indirect toekick lighting around the central planter anchors the terrace.



**9 Planter Uplights**  
Adjustable uplighting in the planter highlights the feature tree.





# ROOFTOP TERRACE LIGHTING



**1 Downlighting**  
Recessed downlights in soffits provide general lighting at doors and along the building.



**7 Perimeter Lighting**  
Low level lights along the deck's perimeter outlines the space.



**8 Toekick Lights**  
Indirect toekick lighting around seating anchors the terrace.



**10 Planter Glow**  
LED tape hidden inside the planter perimeter highlights low-level plantings.



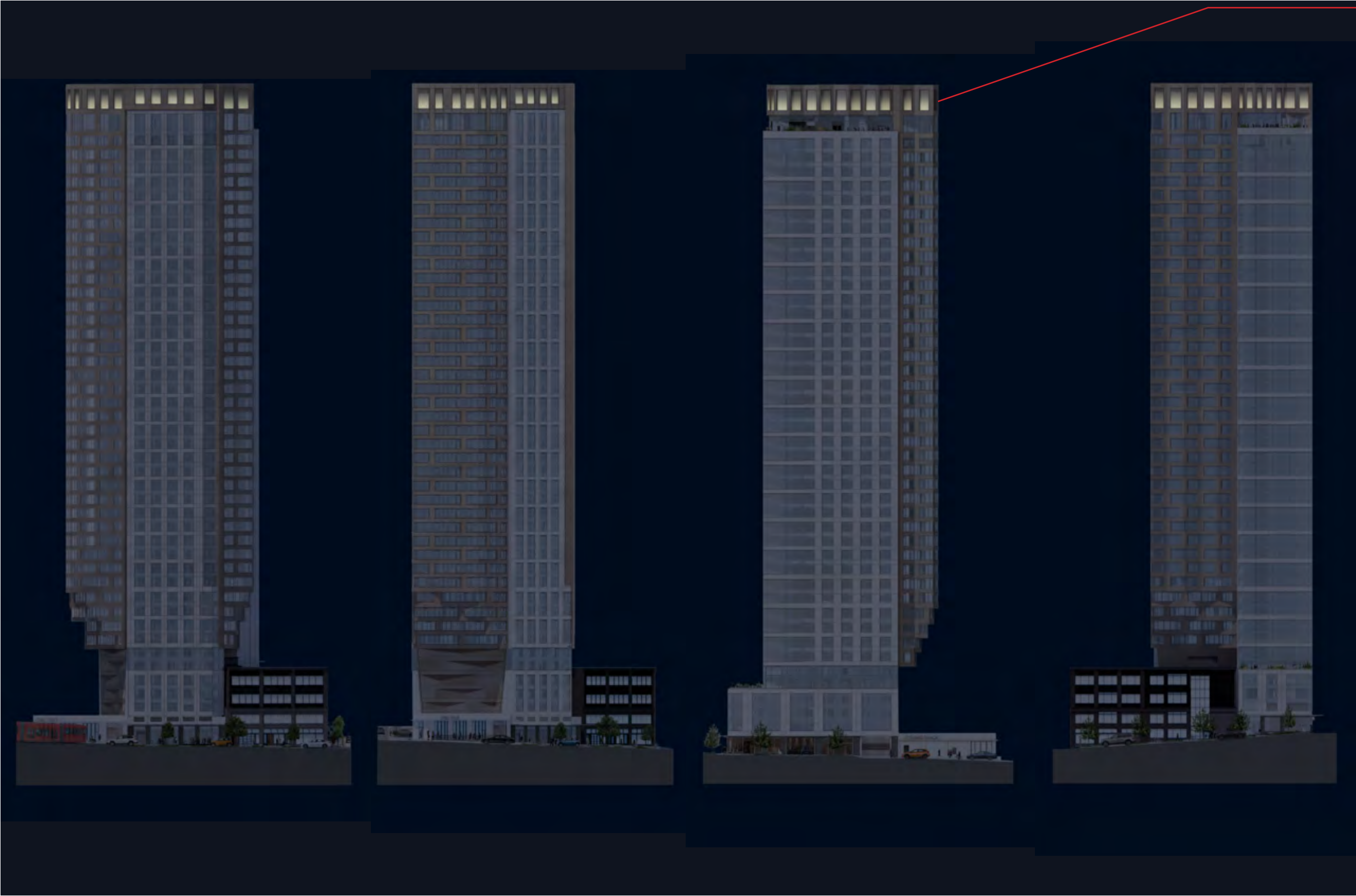
**11 Structure Lighting**  
Outdoor structure downlighting illuminates the covered seating area with task lighting.





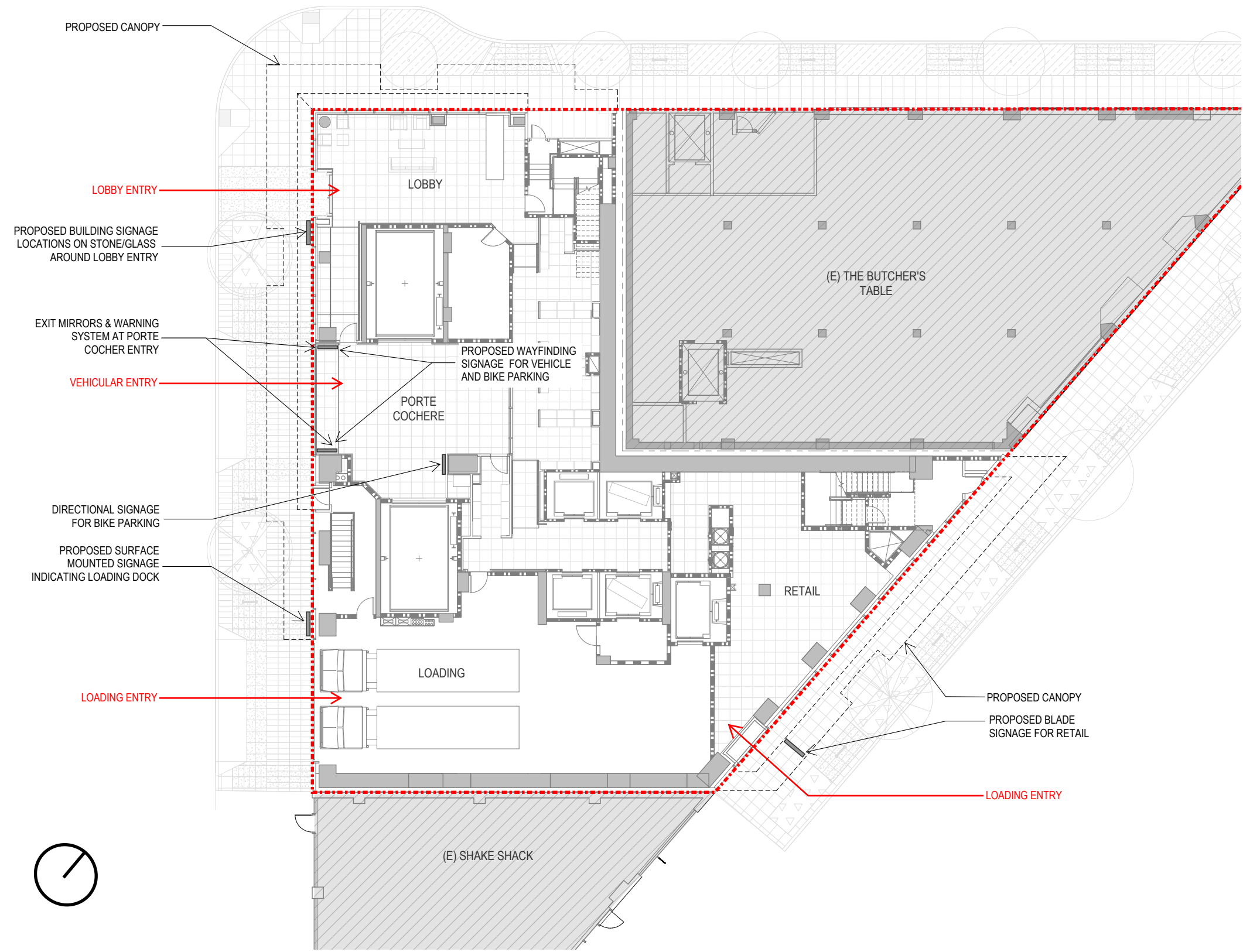
# TOWER CROWN LIGHTING

**Crown Highlight**  
Linear uplighting within recesses in the building's crown accentuate the facade's niches.

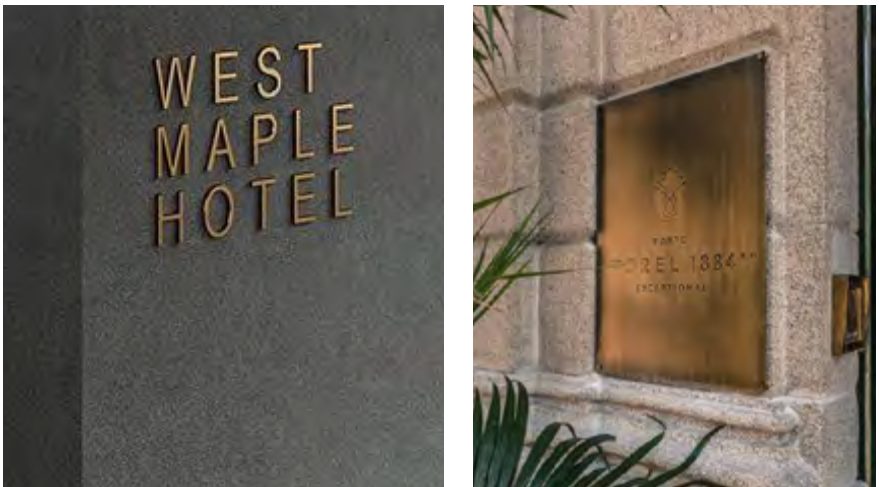




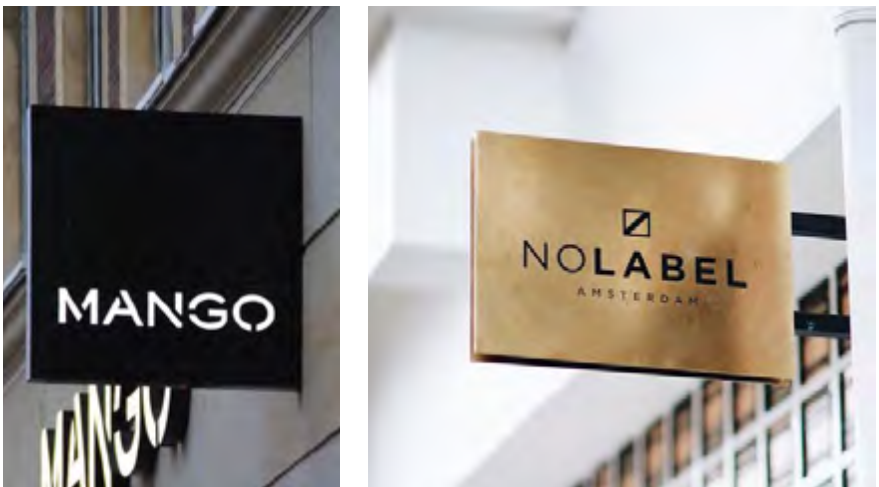
# SIGNAGE CONCEPT PLAN



## Signage Examples



Building Signage



Blade Signage



SCHEDULE OF DEPARTURES

DEPARTURE 1)

SMC. 23.49.010.B Common Recreation Area: Exterior Component
Required Common Recreation Area: (plot area) < 5% GSF 14,735 sf (Combined Plot Area) < 25,001.3 sf (5% of 500,026 sf)
Total Common Recreation Area Required: 14,735 sf 50% Exterior Requirement = 7,368 sf
Provided Common Recreation Green Street Development = 2,088 sf Provided at Level 5 = 3,928 sf Provided at Level 44 = 8,797 sf TOTAL Provided = 14,813 sf Enclosed at Level 5 = 2,980 sf Enclosed at Level 44 = 6,773 sf TOTAL Enclosed = 9,753 sf % Enclosed = 66%
Rationale: The total combined recreation area provided is 14,813 sf. This includes 2,088 sf (14%) from the Green Street Development, 2,972 sf (20%) of Exterior Area and 9,753 sf (66%) of Enclosed area. The provided percentages are a departure from the requirement of 50% Exterior and 50% Enclosed; however, on a square footage basis, the Enclosed area exceeds the requirement by 2,385 sf. Large operable walls are also provided so that a ‘solarium’ of approximately 1000 sf at L44 can be converted to covered outdoor space when weather permits.
- Large format doors provide barrier free exposure to the skyline, and a sense of place is defined by the open panorama. (D-3) - The indoor/outdoor solarium arrangement provides views to landscaping during recreation activities from a weather protected environment. (D-2) -Indoor-Outdoor continuity of this proposal provides: Access to the wellness of the outdoor experience during all seasons, Weather and wind protection when required, & Increased ventilation. (D-6)
Requested at EDG 2 & DRB

DEPARTURE 2)

SMC. 23.49.022 Minimum Sidewalk and Alley Width
Required: - Per Map 1C of SMC 23.49, an 18-foot wide sidewalk is required along Westlake Avenue. Survey data indicates that the sidewalk width along Westlake Avenue adjacent to the project site is approximately 16-feet wide on average to face of curb.
Provided: - We request that the required sidewalk width be the existing sidewalk width, which is 16-feet wide on average, with no additional setback, easement, or dedication.
Rationale: One (1) or more substantial principal structures on the same side of the block as the proposed project are located in the area needed for future expansion of the right-of-way and the structure(s) condition and size make future widening of the remainder of the right-of-way unlikely.  There are two existing buildings to remain on the same side of Westlake Avenue as the proposed project (The Butcher’s Table: 2121 Westlake Avenue; and Shake Shack: 2115 Westlake Avenue). These two buildings comprise more than 70% of the subject block facing Westlake Avenue. These existing buildings fully extend to the existing property/ROW line. These buildings are unlikely to be redeveloped for the foreseeable future. The building at 2121 Westlake was built in 1925. It went through a major remodel, including adding 2 floors in 2016. The building at 2115 was built in 1920, and underwent a major remodel in 2019. The widening of the sidewalk for the middle 30% of this block would burden the subject property unnecessarily as adjacent properties cannot be reasonably expected to redevelop and also widen their sidewalk frontage within the foreseeable future.
- Maintaining the street frontage aligned with the adjacent buildings (The Butcher’s Table and Shake Shack) helps the building better fit in better and better reinforces the existing neighborhood context, (B-1, B-3)
Not Requested at EDG 2; Requested at DRB #1

DEPARTURE 3)

SMC. 23.49.056.E.2 Upper Level Setbacks
Required : If a lot in a DMC or DOC2 zone is located on a designated green street that is not a designated view corridor requiring view corridor setbacks according to Section 23.49.024, as shown in Map 1D, View Corridors, a continuous upper-level setback of 15 feet, measured from the abutting green street lot line, is required for portions of the structure above a height of 45 feet.
Provided: We request that the height of the podium, where the 45’ upper level setback begins) match the datum line of the height of the existing and adjacent Butcher’s Table building.
Rationale: On Blanchard Street, the existing Butcher’s Table building is directly adjacent to the proposed project. The height of the proposed building is 476’ tower and has a conflicting height to the adjacent 4-story Butcher’s Table building. As per SMC 23.49.058.E.2, the proposed project sets back by 15’ on Blanchard. However, by setting the podium height to match the Butcher’s Table’s height, it would be more compatible to the neighborhood context and reinforce the existing datum line already present. (B-1, B3)
Not Requested at EDG 2; Requested at DRB #1

DEPARTURE 4)

SMC. 23.49.018 Overhead Weather Protection and Lighting
Required : A. Continuous overhead weather protection shall be required for new development along the entire street frontage of a lot except along those portions of the structure facade that: 1. located farther than five (5) feet from the street property line or widened sidewalk on private property; or 2. abut a bonused open space amenity feature; or 3. are separated from the street property line or widened sidewalk on private property by a landscaped area at least two (2) feet in width; or 4. are driveways into structures or loading docks. B. Overhead weather protection shall have a minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less. C. The installation of overhead weather protection shall not result in any obstructions in the sidewalk area. D. The lower edge of the overhead weather protection must be a minimum of ten (10) feet and a maximum of fifteen (15) feet above the sidewalk. E. Adequate lighting for pedestrians shall be provided. The lighting may be located on the facade of the building or on the overhead weather protection.
Provided: We request that the overhead weather protection along 8th Ave., Blanchard St., and Westlake Ave. is less than 8’ - 0” where SDOT requires a 5’ - 0” minimum clear from street trees.
Rationale: The current design does not comply with SMC 23.49.018 of 8’-0” minimum width for the entire length of the ground level. However, this requirement conflicts with SDOT’s minimum requirement for 5’-0” clear of street trees. To protect the trees, we are creating notches that are 10’ wide to accommodate this requirement. We also utilize angles at the ends of the canopy fo Westlake Ave. to align with the existing Shake Shack’s canopy adjacent to our building. We believe that designing parallel to this canopy would fit better into the context and mimics the existing patterns of the neighborhood. (B-1, B-3, C-5)
Not Requested at EDG 2; Requested at DRB #1

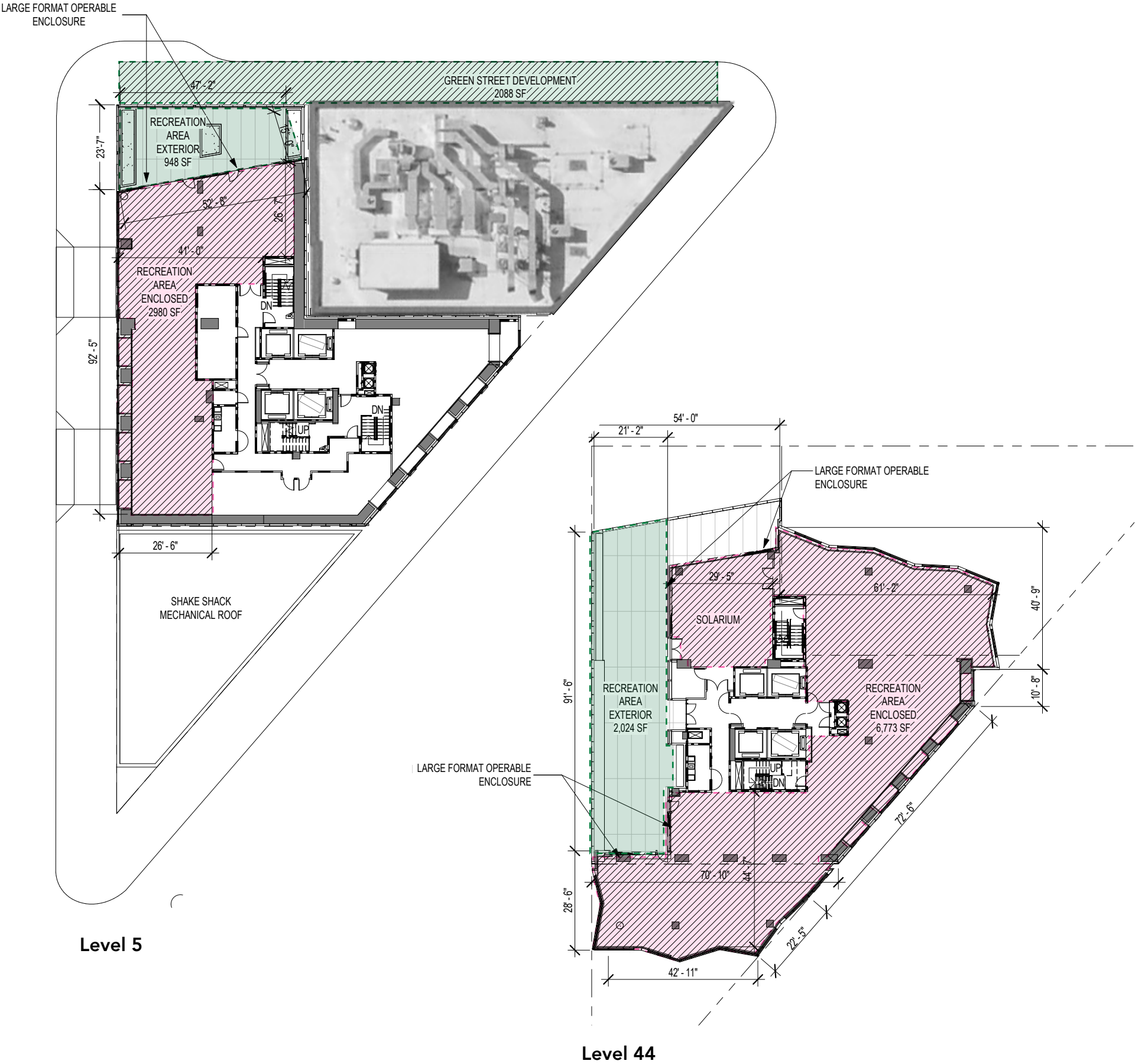


# DEPARTURE 1: COMMON RECREATION AREA

COMMON RECREATION CALCULATION
Required Common Recreation Area: (plot area) < 5% GSF 14,735 sf (Combined Plot Area) < 25,001.3 sf (5% of 500,026 sf)  Total Common Recreation Area required: 14,735 sf <b>50% Exterior Requirement = 7,368 sf</b> <b>50% Interior Requirement = 7,368 sf</b>
Provided Common Recreation:  Green Street Development = 2,088 sf Provided at Level 5 = 3,928 sf Provided at Level 44 = 8,797 sf  <b>TOTAL Provided = 14,813 sf</b>
Provided Enclosed Common Recreation:  Provided at Level 5 = 2,980 sf Provided at Level 45 = 6,773 sf  <b>TOTAL Enclosed = 9,753 sf</b> <b>% Enclosed = 66%</b>

## DESIGN GUIDELINES

**Rationale:**  
The required common recreation area is established by the site area- the combination of the two parcels which is 14,735 sf. Exterior and Interior common recreation area is provided on two levels: L5 and the roof terrace L44. The total combined recreation area provided is 14,813 sf. This includes 2,088 sf (14%) from the Green Street Development, 2,972 sf (20%) of Exterior Area and 9,753 sf (66%) of Enclosed area. The provided percentages are a departure from the requirement of 50% Exterior and 50% Enclosed; however, on a square footage basis, the Enclosed area exceeds the requirement by 2,385 sf. Large operable walls are included on both amenity levels, but at Level 44 a 'solarium' of approximately 1000 sf can be converted to covered outdoor space when weather permits.





# DEPARTURE 1: COMMON RECREATION AREA

## DESIGN GUIDELINES

### *D-2 Enhance the Building with Landscaping*

The proposal brings the experience of landscaping to a larger variety of recreation activities. The indoor/outdoor solarium arrangement provides views to landscaping during recreation activities from a weather protected environment.

### *D-3 Provide Elements that Define the Place*

Large format doors provide barrier free exposure to the skyline, and a sense of place is defined by the open panorama.

### *D-6 Design for Personal Safety & Security*

Indoor-Outdoor continuity of this proposal provides:

- Access to the wellness of the outdoor experience during all seasons
- Weather and wind protection when required
- Increased ventilation

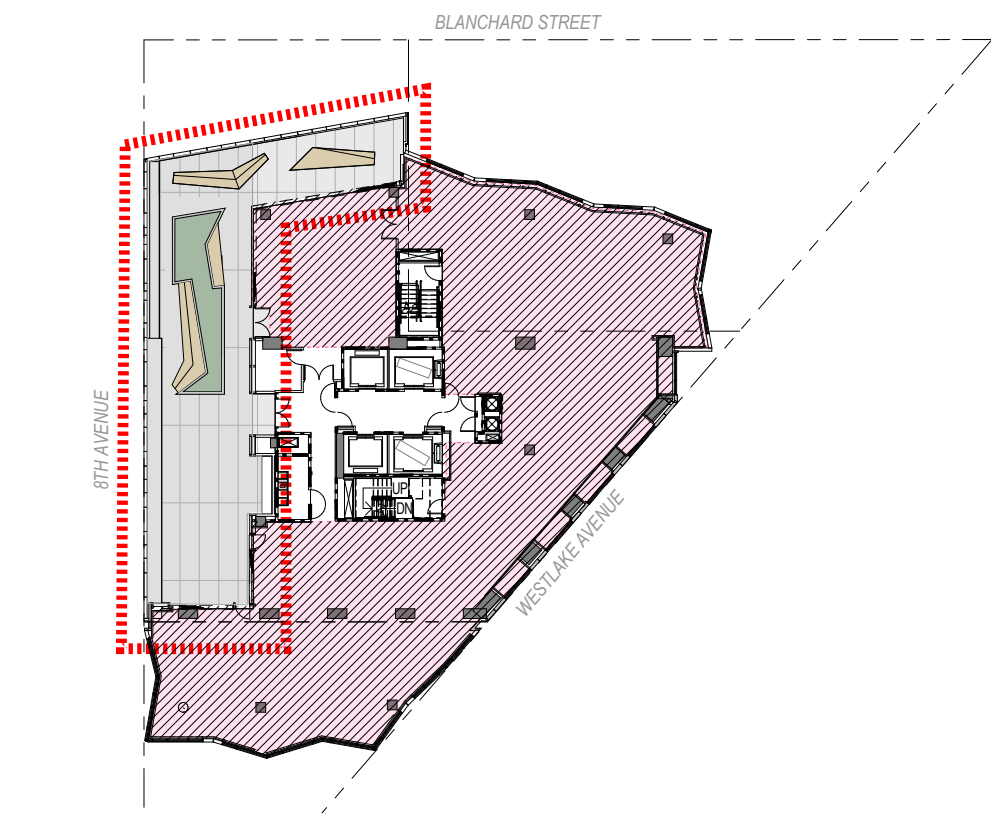


NANAWALL SLIDERS CERO OR SIMILAR

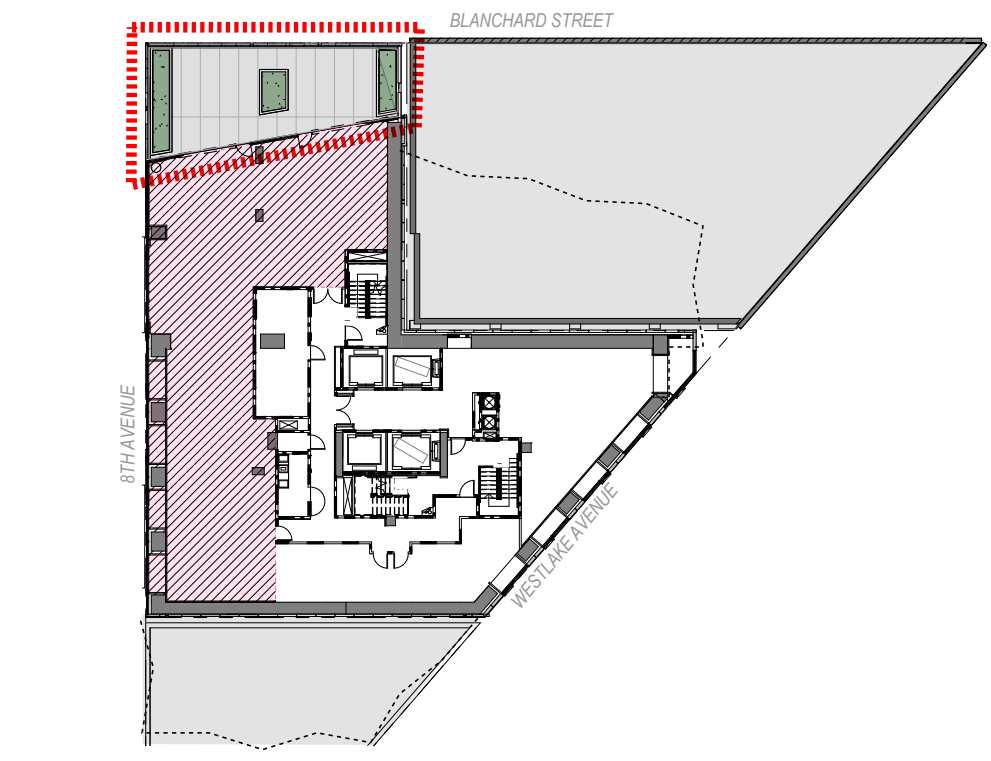
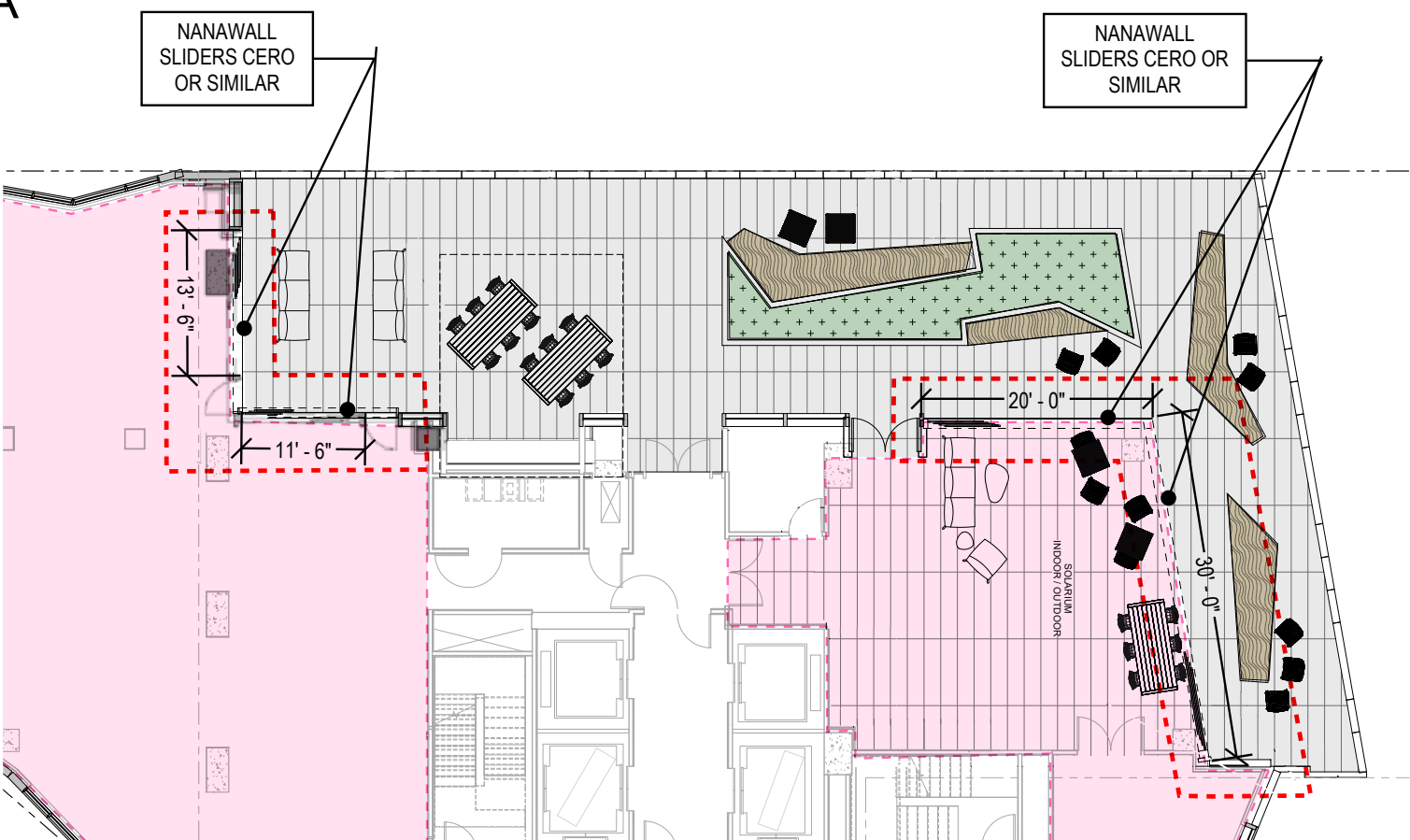




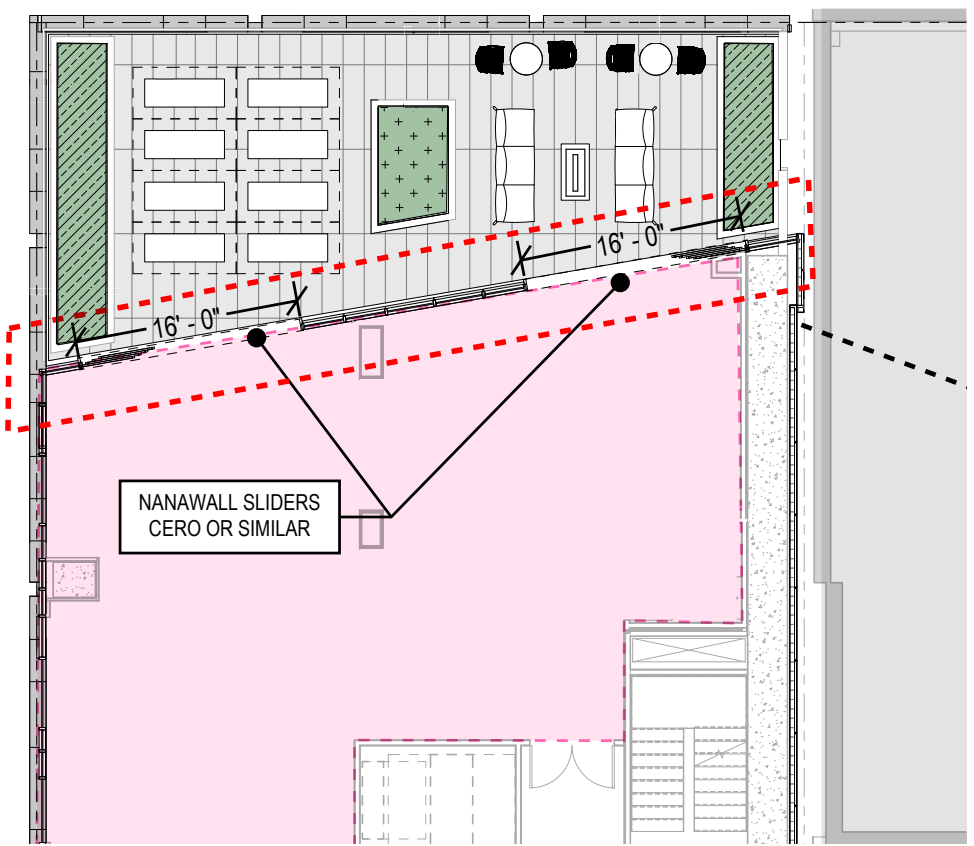
DEPARTURE 1: COMMON RECREATION AREA



LEVEL 44 AMENITY ROOF DECK



LEVEL 5 AMENITY ROOF DECK





# DEPARTURE 2: MINIMUM SIDEWALK AND ALLEY WIDTH

**Required :**

Per Map 1C of SMC 23.49, an 18-foot wide sidewalk is required along Westlake Avenue. Survey data indicates that the sidewalk width along Westlake Avenue adjacent to the project site is approximately 16-feet wide on average to face of curb.

**Rationale:**

One (1) or more substantial principal structures on the same side of the block as the proposed project are located in the area needed for future expansion of the right-of-way and the structure(s) condition and size make future widening of the remainder of the right-of-way unlikely.

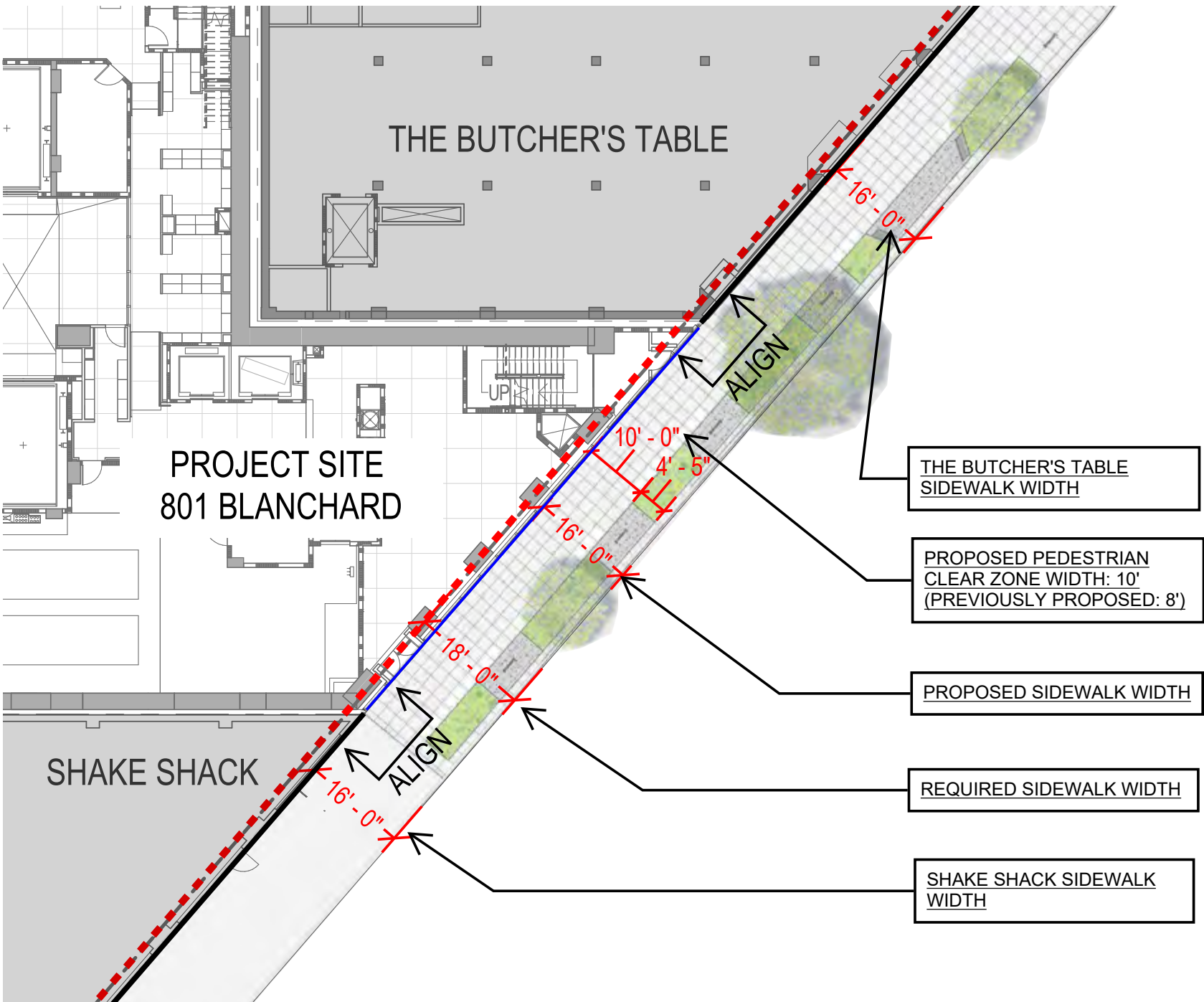
There are two existing buildings to remain on the same side of Westlake Avenue as the proposed project (The Butcher’s Table: 2121 Westlake Avenue; and Shake Shack: 2115 Westlake Avenue). These two buildings comprise more than 70% of the subject block facing Westlake Avenue. These existing buildings fully extend to the existing property/ROW line. These buildings are unlikely to be redeveloped for the foreseeable future. The building at 2121 Westlake was built in 1925. It went through a major remodel, including adding 2 floors in 2016. The building at 2115 was built in 1920, and underwent a major remodel in 2019. The widening of the sidewalk for the middle 30% of this block would burden the subject property unnecessarily as adjacent properties cannot be reasonably expected to redevelop and also widen their sidewalk frontage within the foreseeable future.

**DESIGN GUIDELINES**

**Design Guideline B-1 Respond to the neighborhood context**  
**Design Guidline B-3 Reinforce the positive urban form & architectural attributes of the immediate area**  
Maintaining the street frontage aligned with the adjacent buildings (The Butcher’s Table and Shake Shack) helps the building better fit in better and better reinforces the existing neighborhood context)

**Provided:**

We request that the required sidewalk width be the existing sidewalk width of 16’ wide with a 10’ wide pedestrian path, with no additional setback, easement, or dedication.





# DEPARTURE 3: UPPER LEVEL SETBACKS

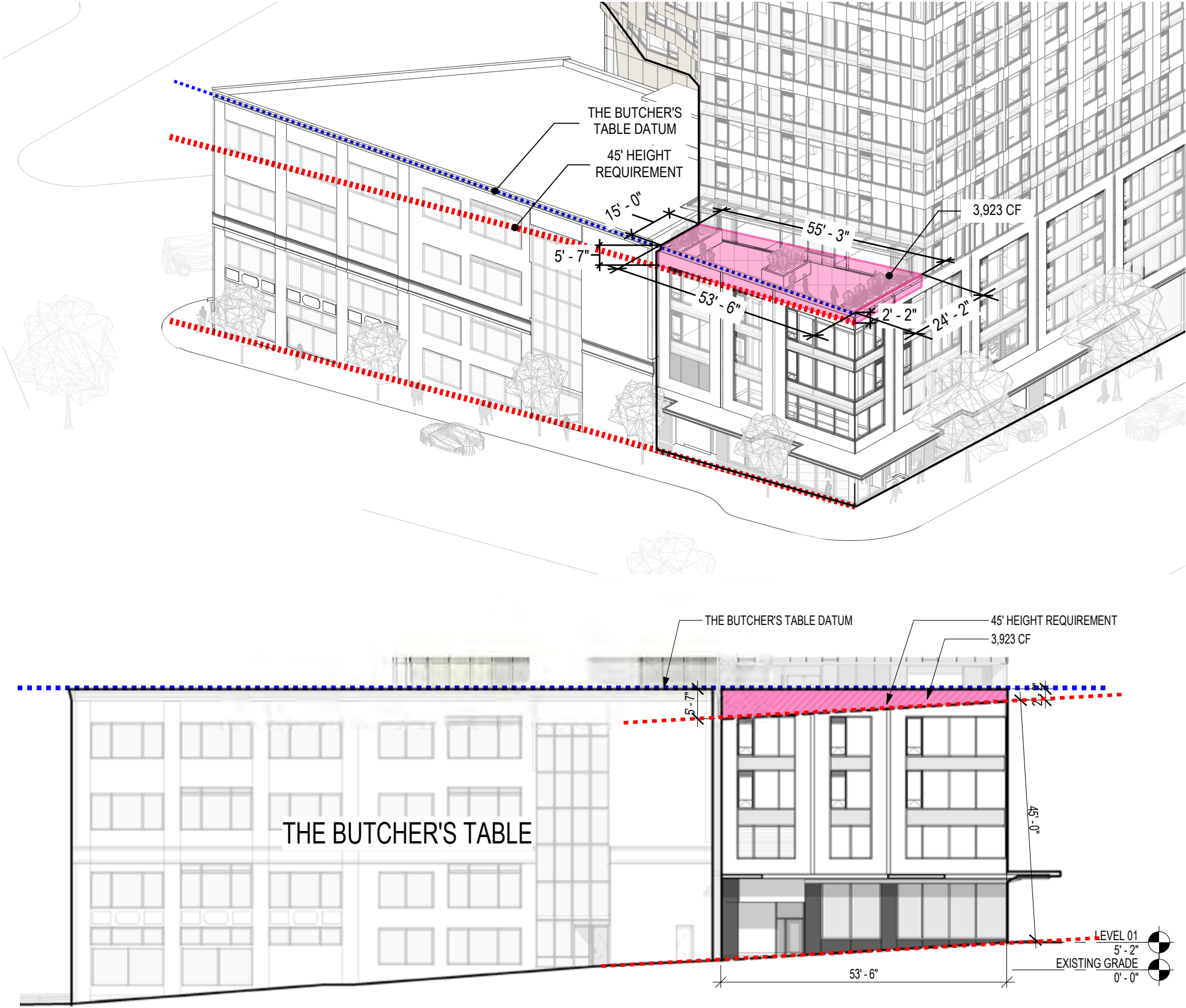
**Required :**  
If a lot in a DMC or DOC2 zone is located on a designated green street that is not a designated view corridor requiring view corridor setbacks according to Section 23.49.024, as shown in Map 1D, View Corridors, a continuous upper-level setback of 15 feet, measured from the abutting green street lot line, is required for portions of the structure above a height of 45 feet.

**Provided:**  
We request that the height of the podium, where the 45' upper level setback begins) match the datum line of the height of the existing and adjacent Butcher's Table building.

**Rationale:**  
On Blanchard Street, the existing Butcher's Table building is directly adjacent to the proposed project. The height of the proposed building is 476' tower and has a conflicting height to the adjacent 4-story Butcher's Table building. As per SMC 23.49.058.E.2, the proposed project sets back by 15' on Blanchard. However, by setting the podium height to match the Butcher's Table's height, it would be more compatible to the neighborhood context and reinforce the existing datum line already present.

## DESIGN GUIDELINES

- Design Guideline B-1 Respond to the neighborhood context
- Design Guideline B-3 Reinforce the positive urban form & architectural attributes of the immediate area



View of Base from North on Blanchard St.



# DEPARTURE 4: OVERHEAD WEATHER PROTECTION & LIGHTING

**Required :**

- A. Continuous overhead weather protection shall be required for new development along the entire street frontage of a lot except along those portions of the structure facade that:
  - 1. are located farther than five (5) feet from the street property line or widened sidewalk on private property; or
  - 2. abut a bonused open space amenity feature; or
  - 3. are separated from the street property line or widened sidewalk on private property by a landscaped area at least two (2) feet in width; or
  - 4. are driveways into structures or loading docks.
- B. Overhead weather protection shall have a minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less.
- C. The installation of overhead weather protection shall not result in any obstructions in the sidewalk area.
- D. The lower edge of the overhead weather protection must be a minimum of ten (10) feet and a maximum of fifteen (15) feet above the sidewalk.
- E. Adequate lighting for pedestrians shall be provided. The lighting may be located on the facade of the building or on the overhead weather protection.

**Provided:**

We request that the overhead weather protection along 8th Ave., Blanchard St., and Westlake Ave. is less than 8' - 0" where SDOT requires a 5' - 0" minimum clear from street trees.

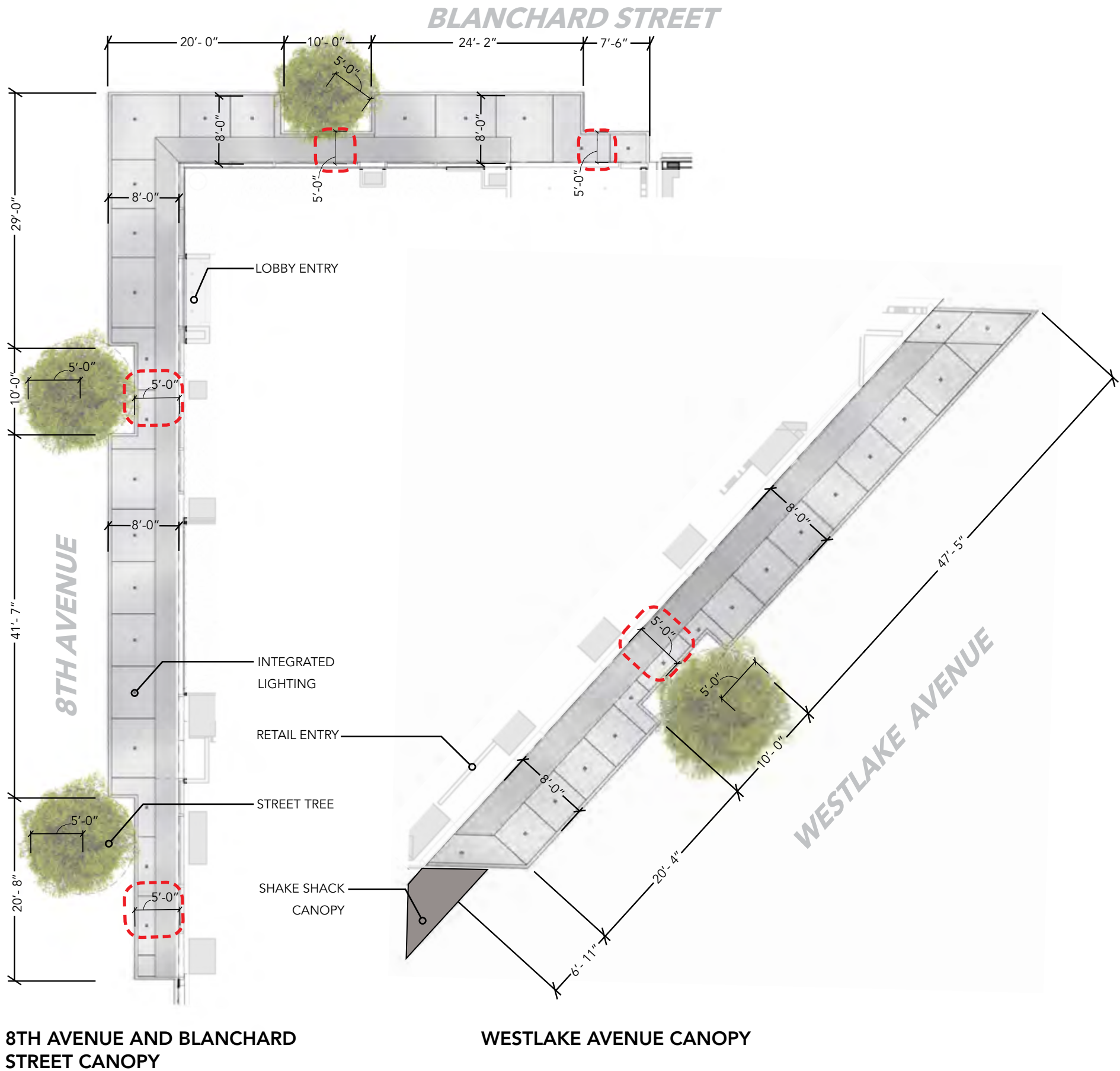
**Rationale:**

The current design does not comply with SMC 23.49.018 of 8'-0" minimum width for the entire length of the ground level. However, this requirement conflicts with SDOT's minimum requirement for 5'-0" clear of street trees. To protect the trees, we are creating notches that are 10' wide to accomodate this requirement.

We also utilize angles at the ends of the canopy fo Westlake Ave. to align with the existing Shake Shack's canopy adjacent to our building. We believe that designing parallel to this canopy would fit better into the context and mimics the existing patterns of the neighborhood.

**DESIGN GUIDELINES**

- Design Guideline B-1 Respond to the neighborhood context
- Design Guideline B-3 Reinforce the positive urban form & architectural attributes of the immediate area
- Design Guideline C-5 Encourage Overhead Weather Protection







**SILVERSTEIN**  
**PROPERTIES**

SILVERSTEIN WESTLAKE OWNER LLC

HANDEL ARCHITECTS LLP

MAGNUSSON  
KLEMENCIC  
ASSOCIATES

**RUSHING**

PARTNERSHIP  
**berger**