

550 Mercer

SEATTLE, WA 98109 SDCI# 3039269-LU

DESIGN REVIEW BOARD: WEST DESIGN RECOMMENDATION MEETING February 1, 2023 at 7PM





SiteWorkshop

DESIGN GOALS

Project Information

ADDRESS	550 Mercer St Seattle, WA 98109
PARCELS	545830-0425
	LOTS 7-12, MERCERS 2ND REPLAT BLKS 44 TO 53
SDCI #	3039269-LU
OWNER	Schnitzer West 920 5th Ave Seattle, WA 98109
	Ross Cobb 206.626.3716 rcobb@schnitzerwest.com
ARCHITECT	CollinsWoerman 710 2nd Ave Seattle, WA 94107-1710
	Tim Bissmeyer 206.245.2047 tbissmeyer@collinswoerman.com
LANDSCAPE	Cite Warkshap
DESIGN	Site Workshop 3800 Woodland Park Ave N Seattle, WA 98103
	Jim Keller 206.909.2899 jimk@siteworkshop.net

Table of Contents

3 DESIGN GOALS

Design Goals

4 EDG & CONTEXT RECAP

Site Survey

Context Diagram

Site Condition Observations

EDG Approved Massing Alternative

Concept Development

13 MASSING REFINEMENTS

Massing Refinements

17 DESIGN PROPOSAL

Renderings

29 RESPONSE TO EDG

Massing

Facade Articulation & Materiality

Ground Level

Facade Articulation & Materiality - Art

57 LIVING BUILDING PILOT

Integration Diagram

Project Requirements & Responses

Solar/Rain Collection + Life Cycle Education

Human Powered Living

Artistic Representation

63 EXTERIOR MATERIALS

Exterior Materials

Exterior Elevations

Enlarged Elevations & Sections

73 FLOOR PLANS & SECTIONS

Floor Plans

Building Sections

85 LANDSCAPE DESIGN

Overall Site & Grading Plans

Street Level Landscape Plan

Entry Plaza & Alley Enlargement

Streetscape Materials

Roof Level Landscape Plan

Street Sections

93 LIGHTING & SIGNAGE CONCEPTS

Exterior Lighting Plan

Design Approach

Primary Building Signage/Wayfinding

Retail, Branding, Monument Sign

98 DEPARTURES

- #1 Rooftop Coverage Area
- #2 Rooftop Coverage Encroachment
- #3 Structural Overhang Depth
- #4 Structural Overhang Length
- #5 Facade Setbacks
- #6 Required Loading Berths

105 APPENDIX

Aerial View Facing Northeast



D Si 0 Re D G

DESIGN GOALS

Development Goals

• **Complementary Forms** enhance the existing fabric of the neighborhood by working in harmony with the adjacent development to create a wholistic approach to a full block redevelopment.

Distinctive Design Elements provide the opportunity to creatively relate to the growing Uptown arts & culture district and its relationship to a transitional neighborhood.

Advocate for Change by providing another strong precedent for a new building typology in the Uptown neighborhood which celebrates heroic sustainability goals.

- **On-site Energy Production**
- Water Conservation
- **Red List Free Materials**
- **Bioretention Facilities**
- **Biophilic Design Elements**
- **Education & Inspiration**

Celebrate Beauty by expressing sustainable goals and making them self evident to the public and the building users.

• Physically Connect Mercer street to a south facing publicly accessible plaza that activates the streetscape and strengthens pedestrian connections.

Embrace Arts/Culture by providing several key moments in the project to showcase art and other interpretive expressions that give this site a unique sense of place.

esign Proposal - Metrics			
Site Area	29,197 SF		
Office	190,000 SF		
Retail	8,000 SF		
Parking	177 Stalls		
aross Floor Area	191,600 SF		

Context & EDG Recap



SITE CONDITIONS Site Survey

Project Information

Parcel:	545830-0425
egal Description:	LOTS 7-12, MERCERS 2ND REPLAT BLKS 44 TO 53
DCI Project #:	3039342-EG

The proposed project will include the demolition of one (1) existing building, and two (2) separate surface parking lots. The existing 4" curb along Taylor St will be improved to a typical 6" curb. The Mercer St retaining wall will be demolished to make way for a public outdoor space and pedestrian connection. The existing alley will be maintained with the only access from Roy St.

Keynotes

	Existing alley is 16' wide
	Mercer Street wall
	Bike Lane
	Existing driveway curb cuts
	Existing building to be demolished
	Existing surface parking lot to be demolished
	Development of site in progress (office project, 8 stories) Existing dead end alley
	1'-0" ROW dedication along Taylor St
0	Existing street trees to be removed and replaced
1	Existing parking garage entry
2	Existing loading dock entry/exit
3	Proposed curb bulb
4	Mercer St Entrance

SITE CONDITIONS

Vicinity Diagram



Observations

Opposing Levels of Activity Lake Union, South Lake Union, and Seattle Center are all very busy areas. Between daily office users, residents, global tourists, and local tourists, this is one of the most active areas in the city.

Change in Age of Neighborhood The Uptown and Queen Anne neighborhoods are some of the more historic in the city, and still possess similar qualities to the original construction. As one of the residential hubs in seattle, this is an important node to providing access to South Lake Union and elsewhere.

Difference in Typical User Lake Union and the Seattle Center are tourist hubs for Seattle residents and visitors alike. Uptown and Queen Anne are heavily residential focused, with less tourists activity and more of a private experience. While certain destinations exist, it is important for this project to serve locals and visitors.

Beginning of a Neighborhood Uptown and Queen Anne are residential areas in focus, with lower scale development than newer structures in the South Lake Union area. Transitioning between these two scales as an announcement to this neighborhood is critical. Additionally, Mercer St is the primary thoroughfare providing access to this area, and therefore this site will function as a gateway.

Axonometric View Of Full Block Facing NorthWest



Neighborhood Transition



Directly North of the site begins a very different neighborhood than exists on Mercer St. Significantly more residential, industrial building types, lower scale development, and successful retail with outdoor seating announce the transition.

3 Mercer St Retaining Wall



Mercer St is the primary arterial providing east/west access in this area of Downtown. Focused entirely on vehicles originally, the dedicated bike lane and increasing pedestrian activity stand in contrast with the dominant retaining wall. This creates a physical and visual barrier between neighborhoods, and discourages multi-model transportation

SITE CONDITIONS Site Condition Observations





The project will take note of the successful Citizen Cafe in its massing approach, as it contributes to a particularly calm character to Roy street.



The Lumen condos are a newer development in the area which can be referenced for certain datums and modulation. Taylor Ave (western side) is predominately loading docks and parking access, creating a mostly inhospitable streetscape in a busy area.

JANUARY 12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN

7

CONCEPT ALTERNATIVES

Massing Option 3 - EDG Approved

Aerial View Facing North

Project Data



Street View Facing Northeast



Street View Facing South



Street View Facing West



191,600 SF

8

3,000 SF

177 stalls, 2.5 levels below grade

Create a massing language that is distinct and complimentary to existing and future development.

Further enhance the block as a gateway to Uptown and Queen Anne

Encourage activation and celebrate context

Develop an architectural expression that directly addresses Uptown as an Arts & Culture district



CONCEPT ALTERNATIVES Massing Option 3 - EDG Approved

• Offers ground level outdoor space on the southern end of the site that is publicly accessible from the south and west by demolishing the retaining

• Solar Collector Array visibly obvious or prominent from the ground level.

How do we act as a gateway to the **Uptown Arts & Culture District**?

INTERVAL ~

A Gateway to define a break in time, and create a distinct and **complimentary** difference in itself and its surroundings.

1: Create **The Pitch** to enhance a **Massing Expression** that creates **Rhythm** and encourages Movement into and through the site from multiple directions.

2: Create a **Transitional Outdoor Space** that provides a new opportunity for the Mixing of Users from adjacent Calm and Energized neighborhoods.





Calm Uptown Neighborhood







Seattle Center + SLU + Lake Union



Massing Expression Diagram



Arts & Culture Gateway

- Unique Playful
- Iconic
 Identity
- Distinct Heritage









CONCEPT DEVELOPMENT

Massing Expression Diagram

Design Expression B: Uptown

- Quiet
 Transitional
- Rhythmic Verticality
- Creative
 Textured







PAGE LEFT BLANK INTENTIONALLY

Massing Refinements

MASSING REFINEMENTS

Aerial View Facing Northeast



Additional setback for office entry + added balcony **12' setback** at NW corner for enhanced streetscape

Aerial View Facing Southeast



View Along Taylor Ave Facing Southeast



View Along Roy St Facing South



MASSING REFINEMENTS

Keynotes **1** 2' deep x 10' wide sawtooth facade proportions Removed frame element at parapet and soffit 2 Additional setback for office entry + added balcony 1' additional setback along Taylor Ave **12' setback** at NW corner for enhanced streetscape 3' recess for second retail entry 6 3' recess along Roy St for stair entrance Added canopies along Taylor Ave & Roy St 8 Refined shape & structure of PV array 9 10 2' recess added to balconies Balcony placement & size refined **m**

JANUARY 12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN

PAGE LEFT BLANK INTENTIONALLY

Design Proposal

RENDERINGS



Aerial View From Mercer St & Taylor Ave Facing Northeast





View From Mercer St Facing Northwest



RENDERINGS



View From Mercer St & Taylor Ave Facing Northeast - Daytime



View From Mercer St & Taylor Ave Facing Northeast - Evening





RENDERINGS

Ground Level View At Mercer St Facing Arcade & Southern Retail Space







Ground Level View At Upper Mercer Sidewalk Facing Main Entry And Plaza



RENDERINGS

RENDERINGS



View From Taylor Ave & Roy Street Facing Southeast





Ground Level View on Taylor Ave Facing Retail & Office Entry



RENDERINGS

RENDERINGS

Ground Level View at Roy Street & Taylor Ave Facing Northern Retail Space







View From Roy St Facing Southwest



RENDERINGS

RENDERINGS

Ground Level View Along Roy St Facing Northern Retail Space





Response to EDG

RESPONSE TO EDG

EDG - Massing

Guidance

Although the **Board supported the carving of the lower levels** at the corner of the mass at the **northwest corner**, the Board **discussed whether the 4-story proportion was an appropriate transition** between the more active area of the neighborhood to the east and the more pedestrian character that is found to the northwest of the site. The Board gave guidance for the applicant to **study alternative heights and proportions of the carved corner** to potentially better relate to the **more intimate pedestrian character and scale** found nearby. (CS2-C-1, CS2-3-A, PL2-A-C, PL3-C, DC2-C, DC2-3, DC2-4)

PEDESTRIAN PERSPECTIVE FROM TAYLOR/ROY ST



AERIAL FROM TAYLOR/ROY ST



PEDESTRIAN PERSPECTIVE OF NW CORNER



Rec - Massing

Response

- The design team **revised the massing** and facade expression with two major factors in mind. The first major factor, was responding to the context by **further breaking down the massing** at the northwest corner to better react to the pedestrian scale around the site. The second major factor, was finding a creative massing solution to allow the incorporation of a single power pole and its required setbacks. With these factors in mind, the design team studied two solutions for the massing expression:
- Study 1: Explores a setback on the northwest corner for all stories above level 3. This option accomplishes the desire to further break down the scale of the corner and accommodate for the power pole setback, but it does not offer any good solutions at the ground level to benefit the streetscape.
- Study 2 (Preferred): Explores the same setback shape described above, but instead, carries it the full height of the building. This is not required by SCL, and the design team felt strongly that including a voluntary ground level setback that is 28'-9" wide by 12' deep helps to establish a cohesive massing move that offers a new pocket of enhanced streetscape. This relates more directly to its context by establishing a shared language with the Citizen Cafe and by providing usable outdoor space that encourages street level activation.

POWER POLE SETBACK REQUIREMENT

VIEW FROM TAYLOR AVE & ROY ST









RESPONSE TO EDG

RESPONSE TO EDG

EDG - Facade Articulation and Materiality

Guidance

- The board generally supported the facade and pattern concepts and precedent imagery shown on pages 54 and 55 of the EDG packet. The Board specifically appreciated the saw-tooth faceted treatment at the corner of Mercer St and Taylor Ave, and the use of high-quality materials over large expanses of the building facade, such as curtainwall, brick masonry, glass railing, and recessed window groupings. Moving forward, the Board recommended that the applicant continue to develop each facade and provide more information on the detailing of those materials and transitions, showing the material quality, texture, and depth implied in the EDG packet. (DC2-B-1, DC2-C, DC2-3, DC2-5-H, DC4-A-1, DC4-1)
- The **Board recommended** that the applicant continue to **study** the façade design within the carved portion of the mass at the northwest corner to provide a better contextual response to the smaller scaled **residential character** near this corner of the site. The Board gave guidance to study incorporating overhead weather protection and other elements into the façade to provide a well-proportioned composition that works with the scale of the building and enlivens the pedestrian experience. (PL1-B-2, PL1-3-c, DC2-B-1, DC2-C-1, DC2-5-h)

CONCEPT DIAGRAM - AERIAL VIEW FACING NORTHEAST



EDG - VIEW FROM SOUTHWEST - EXPRESSION TYPE A











Rec - Facade Articulation and Materiality

Response

DESIGN EXPRESSION: TYPE A - FACADE

- In order to further refine design expression **Type A**, which includes "The Pitch", the design team expanded their contextual analysis to include existing and proposed facade rhythms and modules in the vicinity.
- The Lumen Condos, located to the west of the site, has a prevalent window opening rhythm and exterior material patterning. The primary spacing appears to be between 10-12' in width, with **secondary spacing** being between **2-3'** in width. Additionally, the building includes **projecting balconies** that help reinforce this rhythm.
- Interval I (570 Mercer) also provides an important precedent. The South and Southeast facing facade expression is wrapped in a lightweight glass expression with a recurring pattern of exterior vertical glass fins. This pattern is governed by a primary spacing of 20' and a secondary spacing of 10'
- Therefore, "The Pitch" adopted a rhythmic & modulated pattern that worked to incorporate these adjacent primary and secondary spacings into the facade design.

CONCEPT DIAGRAM - AERIAL VIEW FACING NORTHEAST



FACADE EXPRESSION TYPE A - RHYTHM & DEPTH DIAGRAM



LUMEN CONDOS - RHYTHM & MODULE ANALYSIS





RESPONSE TO EDG

570 MERCER - RHYTHM & MODULE ANALYSIS

RESPONSE TO EDG

Rec - Facade Articulation and Materiality

Response

DESIGN EXPRESSION: TYPE A - FACADE

- "The Pitch" went through numerous studies, to accomplish two main goals:
- 1. Creatively respect & acknowledge existing rhythms/patterns
- 2. Elegantly & artistically announce Uptown as a gateway
- The following iterations were explored in refining the expression:

Iteration 1: 10' wide x 1' deep w/Repeating Module **Iteration 2:** 5' wide x 1' deep w/Differing Module **Iteration 3:** 5' wide x 1' deep w/Repeating Module

Preferred Iteration: 10' wide x 2' deep Repeating Module

- After analyzing the iterations, it became apparent that the width of the **modules of 10'**, rather than 5', allowed the building to be more grounded within the existing context. Also, embracing a module with more **depth was critical to** ensure the pattern was discernible and well modulated.
- Therefore, the design team chose the facade iteration promoting the most depth, shadow, and texture to emphasize a more human scale while maintaining a unique gesture to represent Uptown as a gateway.

VIEW FROM MERCER ST FACING NORTHEAST - PREFERRED FACADE ITERATION



FACADE EXPRESSION - ITERATION 1

FACADE EXPRESSION - ITERATION 2

FACADE EXPRESSION - ITERATION 3



Rec - Facade Articulation and Materiality

Response

DESIGN EXPRESSION: TYPE A - FACADE

To announce this site as a **gateway**, and translate the **Uptown Arts** & Culture district into architecture, it became important to treat this facade expression as an artistic element. Building upon the Interval concept, the approach to "the pitch" creates a visually interesting facade modulation by creating depth, shadow, and texture which heightens the contrast between the two primary expressions of the building.



- 2 Spandrel Glass
- 3 Silicon Butt Glazed Mullions
- Planar Change Separating Expressions 4
- 5 Balcony

TYPICAL SECTION AT EXPRESSION TYPE A



VIEW FROM MERCER & TAYLOR FACING NORTHEAST







RESPONSE TO EDG

PLAN DETAILS

JANUARY 12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN

RESPONSE TO EDG

Rec - Facade Articulation and Materiality

Response

DESIGN EXPRESSION: TYPE A - SOLAR & RAIN COLLECTOR

To further strengthen the legibility of this massing element, a solar array & rainwater collection roof form was carefully placed to be perfectly paired with the massing at the southwest corner of the building. This roof form **reinforces** this part of the building as a **gateway** element.

The shape of the roof is also **functional in nature**, by providing a subtle gable shape to facilitate rainwater collection, which funnels water to a series of collection gutters at the perimeter, with accompanying downspouts that are visible at the roof level.

The roof form is comprised of a series of sawtooth shaped modules that include a series of skylights paired with 200 Bifacial PV panels to achieve the **aggressive energy targets** for the project. Each module follows the cadence of the curtain wall modulation below.

1 Ridge of Array 2 PV Panels 3 Skylights 4 Gutter + Downspout

SOLAR ARRAY - SECTION PERSPECTIVE FACING NORTH

ENLARGED VIEW OF SOLAR ARRAY





SOLAR ARRAY - SECTION PERSPECTIVE FACING WEST



JANUARY 12, 2023

SOLAR ARRAY AND WATER COLLECTION DIAGRAM


Rec - Facade Articulation and Materiality

Response

В

DESIGN EXPRESSION: TYPE B - FACADE

To strengthen the legibility of the massing facing Uptown, significant modulation offsets are applied to the building to create a transition between exterior expressions and allow for relief to occur on both the Southeast, West, and Northwest corners of the building. It was also critical to study how the design could best integrate a facade pattern that added variation, changes in scale, verticality, depth and texture by using brick in different orientations and different sized window openings.

A two story language was adapted to strengthen the relationships between Interval 1 and 2, while also maintaining relationships to existing datums from nearby buildings. These datums exist to create a two story base at ground level and are followed by other two story openings at upper levels that are attractive and well proportioned. This method creates a cohesive appearance in the neighborhood, while also reducing the scale of the design expression.

The design team used the two story expressions to create a **framework for varying sizes in window openings** within the brick field, which include **three different sizes and two brick colors**.

CONCEPT DIAGRAM - AERIAL VIEW FACING NORTHEAST



VIEW FROM ROY ST & TAYLOR AVE FACING SOUTHEAST



570 MERCER - CONTEXTUAL DATUMS



EXISTING - CONTEXTUAL DATUMS



RESPONSE TO EDG



Rec - Facade Articulation and Materiality

Response

DESIGN EXPRESSION: TYPE B - FACADE

Design expression type B faces a more residential part of the neighborhood that has calmer characteristics. It was critical to provide multiple changes in scale and variety within the expression to provide depth, texture, and relief to add visual interest. This was accomplished by providing three distinctive types of punched openings accompanied by different brick coursings.

- 1 Brick Horizontal coursing
- 2 Brick Vertical coursing/Soldier Coursing
- **3** Brick Projected with accent color
- 4 Vision Glass
- 5 Spandrel Glass
- 6 Metal Panel

LEVELS 3-8: WINDOW TYPE B1



VIEW FROM ROY ST & TAYLOR AVE FACING SOUTHEAST



LEVELS 3-8: WINDOW TYPE B3



E2 LEVELS 3-8: WINDOW TYPE B2



VIEW FROM ROY ST FACING SOUTH



Rec - Facade Articulation and Materiality

Response

DESIGN EXPRESSION: TYPE B - BALCONIES

As a means to provide additional **intermediate scale** to the design, modulation and depth changes have also been accomplished by providing **balconies** on the office floors for the North, South, and West elevations. These balconies break up the massing and accentuate the transitions between the two primary expressions. They also help the project relate to other balconies commonly seen in the surrounding residential neighborhood and place an emphasis on human powered living and connection to the outdoors, which is an essential goal of a Living Building Pilot Project.

- Cantilevered Concrete Balcony
- 2 Plate Metal Fascia
- Glass Railing System w/Vertical Stanchions 3
- 4 Metal Panel/Spandrel Glass
- 5 Vision Glass

SOUTH BALCONY





VIEW FROM MERCER ST & TAYLOR AVE FACING NORTHEAST



NORTH BALCONY







RESPONSE TO EDG

VIEW FROM ROY ST & TAYLOR AVE FACING SOUTHEAST



JANUARY 12, 2023 MERCER SCHNITZER WES COLLINSWOERMAN

Rec - Facade Articulation and Materiality

Guidance

The Board supported the large expanses of glass along the ground level facades that allow high levels of transparency into retail and lobby spaces. The Board was concerned, however, with the overall flatness of the street-level façades and the lack of secondary architectural features at the ground floor along the north end of the Taylor Ave frontage and along Roy St. The Board gave guidance to study setting back the retail store frontage from the face of the building to provide more relief, and recommended incorporating ample overhead weather protection and other elements to enliven the pedestrian experience. Moving forward, the Board recommended providing perspectives at ground level on all sides, showing how the streetscape and façade design relates to pedestrian realm. (PL1-B-2, PL1-3-c, DC2-B-1, DC2-C-1, DC2-5-h)

EDG - VIEW FROM MERCER & TAYLOR - SW CORNER



EDG - VIEW FROM ROY - NE CORNER



EDG - VIEW FROM ROY & TAYLOR - NW CORNER





40



EDG - VIEW FROM MERCER - SE CORNER & MAIN ENTRY

EDG - VIEW ALONG TAYLOR AVE - WEST FACADE & ENTRANCE

Rec - Facade Articulation and Materiality

Response

TAYLOR AVENUE STREETSCAPE

The design team has addressed the flatness of the street level facades along Taylor by **increasing the depth of glazed areas** and allowing the **metal clad column covers** and **brick pilasters** to **stand proud**. Secondary features have been added that include **voluntary glass canopies** that provide **weather protection** at the **Office and Retail entrances**. Visual interest has also been added by utilizing **unique brick coursing orientations** that are present at ground level. All of the above solutions create an ample amount of **variety, depth, and pedestrian scale** to the street level facade.



VIEW OF TAYLOR AVE FRONTAGE FACING EAST



SECTION @ SOUTH RETAIL



SECTION @ TAYLOR ENTRANCE







RESPONSE TO EDG

VIEW OF TAYLOR AVE FRONTAGE FACING SOUTHEAST

Rec - Facade Articulation and Materiality

Revisions

ROY STREET STREETSCAPE

SECTION @ ROY ST RETAIL

Along Taylor Ave and Roy St, a ground-level setback has been introduced to provide modulation at street level and a place for sidewalk seating that relates strongly to the Citizen Cafe. Midway along Roy St, the glazing has been setback to create an additional retail entry and provide architectural relief. This creates additional depth and breaks up the street level facade. Furthermore, secondary architectural features, such as **overhead weather** protection and a unique brick coursing utilizing a gradient technique, have been added to enhance the sidewalk experience.



VIEW OF ROY ST & TAYLOR AVE FACING EAST



C BRICK GRADIENT VIEW OF ROY ST FRONTAGE FACING SOUTHWEST



B SECTION @ ROY/TAYLOR RETAIL







PAGE LEFT BLANK INTENTIONALLY

EDG - Ground Level - Mercer Retaining Wall

Guidance

The Board appreciated the implied extensive breakdown and deconstruction of the Mercer St retaining wall and noted how that will allow for **increased porosity** into the site and will support the successful mix of retail and office/lobby experience at the ground-level along the proposed plaza and open space. The Board recommended that this aspect of the design be retained moving forward and that the open space design should consider circulation and continue to incorporate passive and active uses to promote activity and interaction. (CS1-C, CS1-I, CS1-III, CS2-B, CS2-C, CS2-I, CS2-II, CS2-III, PL1, PL1-I, PL1-IV, PL2, PL4-A)

VIEW ALONG MERCER STREET RETAINING WALL FACING NORTHEAST



EDG - LANDSCAPE PLAN

EXISTING PHOTO AT MERCER FACING NORTHEAST





12, 2023

JANUARY

MERCER

550

RENDERED VIEW FACING MERCER RETAINING WALL

Rec - Ground Level - Mercer Retaining Wall

Response

- The erosion and deconstruction of the existing Mercer Street wall has been developed to change the experience of pedestrians and building users across the entire frontage.
- Along the **Southwestern corner**, the first two levels have been setback to create an arcade with pockets of outdoor seating along this retail edge. This level is slightly raised from the sidewalk and is separated by a **mix of bioretention & regular** planters that have been located below a series of column covers with an artistic backlit & laser etched pattern.
- Along the Southeastern corner, is the publicly accessible plaza space that pulls pedestrians and building users from all directions. A small set of stairs transitions the grade change and cleanly terminates the existing retaining wall while also opening up the sidewalk to pedestrian access.
 - Wood & decorative paving with tables & bench seating 1
 - 2 Backlit laser etched column covers
 - 3 Bioretention & regular planters
 - 4 Uptown Monument Sign
 - At-grade trees in the plaza 5
 - 6 Main entry & balcony overlook
 - (7) Wood soffit with down lighting

SECTION KEY MAP



SECTION PERSPECTIVE ALONG MERCER ST FACING EAST







RESPONSE TO EDG

EDG - Ground Level - Plaza

Guidance

- The Board discussed the importance of **connecting** the proposed open space along Mercer St with the plaza approved as part of the 570 Mercer St development across the alley to the east. In agreement with comments provided by Seattle Department of Transportation (SDOT), the Board recommended that the applicant continue to develop the open space design, in consultation with SDOT, to include changes in paving and some form of physical barrier, architectural or substantial landscaping at the end of the alley to prohibit vehicles from traversing the entire length of the alley. (CS2-1, CS2-3-a, PL1-A, PL2-B-3, DC1-B-1, DC1-C)
- In conjunction with item 2.b. above, the Board recommended the applicant study including a small boutique sized retail space that could potentially enhance and increase activation of the northeast corner of the open space and lobby entry along Mercer St. (PL3-A, PL3-C, PL3-4-a)



EDG - AERIAL VIEW OF 550 MERCER PLAZA







Rec - Ground Level - Plaza

Response

- The design of the **Plaza** along Mercer street has been designed with connectivity being the most influential design component. The setback of the **arcade and the plaza** effectively create **multiple** pathways to interact with surroundings. The removal of the Mercer retaining wall increases the porosity towards the street and creates new access points. This plaza also serves as a focal point for **new connections** between 550 and 570 Mercer.
- Notable Plaza design features include:
- 1 Optional Retail Demising 5 Rock Garden
- 2 Alley Entrance (570)

3 Glass Vestibule

- 6 Outdoor Perch
- 7 Level 2 Balcony
- 8 Seat Wall Barricade 4 Pavers/Unique Paving
- In an effort to maintain programming flexibility, the Level 1 design for both projects have provided contiguous retail spaces that flank the East and West sides of the Plaza. These areas have been designed to be flexible in size and entrance location to accommodate smaller retail tenants in the future.



VIEW FROM MERCER ST FACING PLAZA & MAIN ENTRY



Entrance

Ω

Mercer

RESPONSE TO EDG

-
Circulation Path



ENLARGED PLAZA PLAN







PAGE LEFT BLANK INTENTIONALLY

EDG - Ground Level - Roy Street & Taylor Ave

Guidance

- The Board noted that the scale of the Roy St retail space is large when compared to the existing smaller scale retail across the street and typically found in the area. Moving forward, the Board recommended that the applicant study the further breakdown of retail to allow flexibility for future uses and provide a variety of sized retail spaces, in response to the larger scale of the retail closer to Dexter Ave in the adjacent 570 Mercer St development. (PL2-C-1, PL3-4-a)
- Although the Board supported the inclusion of the Bike Commuter Facility and its ease of access from Taylor Ave, the Board recommended that the applicant study reorganizing or relocating portions of this program space to allow for additional small scale retail opportunity on Taylor Ave, which would provide more activity along the street frontage. (PL3-4-a, PL4-B-2, PL4-3-a)

EDG - RENDERED VIEW FROM ROY & TAYLOR FACING SOUTHEAST



EDG - LEVEL 1 FLOOR PLAN





EDG - VIEW OF TAYLOR AVE FRONTAGE





50

Rec - Ground Level - Roy Street

ENLARGED LEVEL 1 PLAN - ROY STREET

Response

- In order to promote a more diverse mix of retail tenants and retail sizes, the North retail space has incorporated two entrance locations. One located in a recess off of Roy and the other located within a setback along Taylor, which offers reflief and modulaiton. The entrances are located along the single contiguous retail volume to provide the opportunity for a logical break in the programming, which allows for future smaller retail storefronts. Another entrance to a communicating stair is located at the northeast corner adjacent to the alley, which will provide a bike runnel and increase ease of access for bicycle commuters to reach the bike parking immediately below.
- In addition to promoting future flexibility, the design team has also incorporated a large setback at the northwest corner of the site. This setback provides a place for retail spill out to occur and is paired with sidewalk cafe seating and retail entry to promote street level activation.



ROY ST 34'-0" 14'-8" 12'-8' 13'-6 TAYLOR AVE Retail 1 (1,560 SF) 48'-0"

VIEW FROM ROY ST FACING RETAIL SPACE



VIEW FROM TAYLOR AVE & ROY ST FACING RETAIL SPACE

RETAL

RESPONSE TO EDG



VIEW FROM ROY ST FACING RETAIL SPACE



Rec - Ground Level - Taylor Ave

Response

- To better **promote multi-modal transportation** and reduce the carbon footprint for site access, the design team maintained the size and position of the bike commuter facilities to create a more inclusive bike transportation experience. Its presence along Taylor avenue showcases this programming as a facet of human powered living, which is an integral principle of the Living Building Challenge. This portion of the facade has been enhanced by setting back the glazing at ground level at various locations to add depth and a finer pedestrian scale to the streetscape.
- To address the board's guidance to add additional small scale retail, two entrances have been added to the retail space that flanks Taylor & Mercer. This allows for flexibility to **logically split** the larger retail volume into two separate ones in the future, while also maintaining the ability for a larger volume that can accommodate a restaurant or bar.



VIEW FROM TAYLOR AVE & ROY ST FACING RETAIL





VIEW FROM TAYLOR AVE FACING OFFICE ENTRY





VIEW FROM TAYLOR AVE & MERCER ST FACING RETAIL

PAGE LEFT BLANK INTENTIONALLY

EDG - Facade Articulation and Materiality - Art

Guidance

The Board appreciated the applicant's goal of incorporating **community inspired art** into the design of the building facades and other components. The Board recommended continued study of **adding murals that can be seen and experienced** from between the site and adjacent buildings, and **bring in visual arts as an integrated component of the façade design**. (*DC2-1-a, DC2-2, CS3-1*)

VIEW FROM TAYLOR & MERCER FACING NORTHEAST



VIEW FROM ROY & TAYLOR FACING SOUTHEAST

<section-header>



Rec - Facade Articulation & Materiality - Art

Response

The proposed design will provide for a range of **artistic expressions** and installations in several key areas around the site. The locations were prioritized to be in the most highly trafficked areas at ground level to ensure they are highly visible. The design team worked closely with the **LURC** to incorporate their suggestions into the types and locations provided below.

Artistic feature wall

A porous and well lit feature wall designed by a future commissioned artist.

Artistic Column Covers

Laser etched column covers with integral lighting that includes artistic patterns are applied at the arcade along Mercer street.

3 Uptown Monument Sign

A face-lit monument sign with step lighting that announces the gateway to Uptown, located at the Southwest corner.

4 Wall Treatment

A multi-color brick gradient coursing frames the entry at the NW retail entrance, promoting a pedestrian scale and street level activation.

ART KEY MAP



VIEW FROM TAYLOR & MERCER FACING NORTHEAST







RESPONSE TO EDG

IANUARY 12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN

PAGE LEFT BLANK INTENTIONALLY

Living Building Pilot Program

LIVING BUILDING PILOT PROGRAM

Design Approach

Project Commitments and Expressions



Sustainability and Design

550 Mercer is committed to the living building pilot program. Not only will the project meet the listed requirements, but will also provide physical elements that educate building users and viewers, while also demonstrating the project's heroic goals. Solar harvesting, rainwater capture, life cycle education, human powered living, and artistic representation are all critical aspects of the design's approach to the architectural expression of the living building challenge.

Design Approaches

Solar/Rain Collection

- 1 Solar Array Roof Form
- 2 Rainwater Collection

Life Cycle Education

- 3 Bioretention Planter
- 4 LBPP Centric

Human Powered Living

- 5 Connecting Plaza
- 6 Bike Commuter Facility
- 7 Sidewalk Bike Parking
- 8 Balconies

Artistic Representation

- 9 Decorative Paving
- 10 Artistic Brick Color Gradient
- A
 - Feature Art Wall

	Imperatives	Petal Requirements & Project Approach
LBC CORE IMPERATIVES The City of Seattle Living	I01. Ecology of Place (C1)	The project site is not on or adjacent to the indicated sensitive ecological habitats. with the site, and no petrochemical fertilizers or pesticides will be used for the oper will be evaluated via community engagement to inform the design process.
Building Pilot Program requires that the project achieve LBC Petal Certification and take	104. Human Scaled Living (C2)	The project increases the density of the site. Outdoor space for occupants and the and long term bicycle storage facilities will be provided, as well as EV vehicle parkin occupancy vehicle trips to the site. Design of main stair encourages walking and re
additional measures to increase energy and water performance. LBC Petal	105. Responsible Water Use (C3)	The project will not use potable water for irrigation, will use at least 50% less water site. Rain water will be collected and stored in a cistern for future use. The cistern we the project. Plumbing fixtures will be low-flow
Certification requires meeting the criteria of ten core imperatives, and then meeting additional criteria for either the Water,	I07. Energy + Carbon Reduction (C4)	The project will achieve a 70% reduction in net annual energy consumption by deta systems, and reducing overall glazing percentage. A large PV array on the roof will 20% reduction in embodied carbon by conducting life cycle assessments and com carbon. Interior materials specified will have lower than industry average carbon for
Energy or Materials Petal.	109. Healthy Interior Environment (C5)	The project will specify interior materials with low VOC content and toxicity. Design and a healthy interior environment will be implemented for the MEP systems. Buildin daylight for regularly occupied spaces and adjacent buildings.
	I12. Responsible Materials (C6)	NOT REQUIRED IF PURSUING MATERIALS PETAL
	117. Universal Access (C7)	The project will provide equitable access to public spaces, and will enhance the pu and benches. The project will evaluate impacts on access to fresh air and sunlight f
	I18. Inclusion (C8)	The project will donate 0.1% of project costs to a regional non-profit organization to people in the local community, and two organizations on the project team will achie business hiring, purchasing, and workforce development practices.
	I19. Beauty + Biophilia (C9)	The project will conduct an 8-hr biophilia workshop with the full design team to exp biophilic design elements into the project. A Biophilic Framework will be crafted to
	I20. Education + Inspiration (C10)	The project will provide educational materials about the operation and performance annual open day for the public will be provided, and an educational website for the be provided to describe sustainable design elements.
MATERIALS PETAL The intent of the materials petal is to help create a	I13. Red List	The project will foster a transparent materials economy free of toxins & harmful cher will be specified without Red List chemicals. Red List materials will be avoided for r various certifications to aid in the specification of materials: LPC certification, Decla
materials economy that is non-toxic, ecologically re- storative, and transparent.	114. Responsible Sourcing	The project will support sustainable extraction of materials and transparent labeling sourced from certified sources, and specify at least 40 products with a Declare Lab Advocacy letters will be sent to manufacturers that currently do not participate in the
	I15. Living Economy Sourcing	The project will help foster local communities and businesses, while minimizing tran from within 300 miles of the project site, 30% will come from within 600 miles of th
	I16. Net Positive Waste	The project will integrate waste reduction into all phases of the project and will feat meters (5382 SF) of gross building area. Materials and fixtures from the existing bu from the landfill and infrastructure for recycling and compost will be provided.

LIVING BUILDING PILOT PROGRAM **Project Requirements and Responses**

s. On-site landscaping will be design to mature and evolve peration & maintenance of planting. Social & equity factors

ne community to gather have been proposed. Short term king stalls. Studies are being conducted to reduce singlereduced elevator usage.

ter than a regional baseline, and will treat all stormwater on will be sized appropriately to meet the water demands of

tailing a tight building envelope, specifying efficient MEP ill further offset energy use. The project will also achieve a mparative studies to make informed decisions regarding ootprint.

gn standards intended to promote good indoor air quality ding design is being studied to maximize views and

public realm through street furniture, public art, planting, t for adjacent developments.

to support stable, safe, high paying job opportunities for ieve JUST labels in order to advocate for transparency in

xplore the benefits of biophilia and incorporate meaningful o outline strategies and track implementation.

ce of the project to the occupants and the public. An e project developed and shared. Interpretive signage will

emicals. 90% of the project's building materials by cost recycled and salvaged products. The project will use clare Labels, HPDs, etc.

ng of products. Stone, minerals, and timber will be abel, as well as a 3 Living Product Challenge products. these programs.

ansportation impacts. 20% of building materials will come the site, and 25% will come from within 3000 miles.

eature at least one salvaged materail per 500 square building will be evaluated for reuse. Waste will be diverted

LIVING BUILDING PILOT PROGRAM

Solar/Rain Collection + Life Cycle Education

Design Approach

- From the inception of the project, a visible commitment to solar collection was a goal of the design team. Not only does a large Solar array help offset the building's impact on the environment and infrastructure, but it serves as a physical commitment that the project is pushing the boundaries of urban architecture. The roof form is similar to 570 Mercer and functions as another gateway element (an approach supported by the Board during EDG). The solar array has been sculpted to relate to the facade below, contouring a sawtooth expression. This design also aids in the ability for the solar array surface to capture rainwater, and divert it into the cistern below.
- Some of the rainwater captured on site is diverted to a bioretention planter, at the southwest corner of the building. This move, while functional, also serves as an education element regarding the cycle of water.
- The circular column wraps at the south face are encapsulated by a laser cut metal panel with integral lighting. This design will abstractly portray part of the active and passive strategies that are in alignment with the Living Building Program.

3 Bioretention Planter 1 Solar Array Roof Form 2 Rainwater Collection 4 LBPP Centric

SOLAR AND RAINWATER COLLECTION DIAGRAMS





SOLAR AND RAINWATER COLLECTION



BIORETENTION PLANTER WITH NATIVE VEGETATION



LASER CUT LIFE-CYCLE WRAP



Design Approach

- One of the defining features of the design, the large outdoor space adjacent to mercer allows the project to give back to the site. By reducing the footprint, and opening up an area for relaxation and socializing, the building offers program that not many office spaces in Seattle can. The partial demolition of the Mercer St retaining wall opens up this plaza to the public sidewalk, increasing porosity while providing equitable access into the space. It also functions as another gateway element that connect 550 and 570 together with a unifying element.
- Human powered living is an integral aspect of the living building challenge, and a way of thinking that blends well with Seattle residents. A commuter facility with direct visibility from the public sidewalk encourages multi-modal transportation, while a dedicated bike parking access stairway with runnel highlight the project's commitment towards bike users.
- Balconies, not only an architectural feature to facilitate modulation, allow building users a respite from daily indoor use by fostering a connection to nature.
 - **5** Connecting Plaza

7 Dedicated Bike Access

Visible Commuter Facility 8 Balconies

CONNECTING PLAZA



COMMUTER FACILITY WITH DIRECT VIEW



BIKE PARKING DEDICATED ACCESS



USER-ACCESSED BALCONIES



LIVING BUILDING PILOT PROGRAM Human Powered Living



LIVING BUILDING PILOT PROGRAM

Artistic Representation

Design Approach

- Iterating off a design language already developed by the column wraps, a large feature wall anchors the connecting plaza, while announcing the transition of user enabled outdoor space, to functional service alley. The feature wall will be clad in a semiporous metal panel, with a design that coalesces with other elements on the building.
- During EDG, the design team received feedback from the Board to spend time focusing on the NW corner, and how the project addresses the neighborhood. While the architecture has been addressed in previous sections, the team also developed an artful gradient design at this corner to improve the pedestrian experience, while gesturing towards the artistic and calmer expressions in the neighborhoods to the north.
- Decorative paving is used to announce a user-focused aspect of the program, in the outdoor area. Not only does this serve as a notion this space maintains high importance, it reinforces the primary building entrance as an anchor in the massing
- 9 Decorative Paving

11 Feature Wall

Artistic Color Gradient

LASER CUT METAL FEATURE WALL



DECORATIVE PAVING AT OUTDOOR AREA/RETAIL SEATING





COLLINSWOERMAN | SCHNITZER WEST | 550 MERCER

ARTISTIC COLOR GRADIENT

or 9



JANUARY 12, 2023

62

- -

LBPP CENTRIC COLUMN DESIGN

PRECEDENT AND INSPIRATION



Exterior Materials

MATERIAL + COLOR PALETTE

Digital Material Board

Live Material Board



South Rendered Elevation

1"=25'



ELEVATIONS

Keynotes

- **1** Art: Laser cut wrap with integral lighting
- 2 Art: Neighborhood identification signage
- **3** Pedestrian: Covered outdoor patio
- 4 Gateway: Solar Array
- **5 Gateway:** Plaza

Materials

nicein ei	Primary Brick - Coal Creek
	Accent Brick - Mauna Loa
	Vision Glazing
	Spandrel Glazing
	Profile Metal Panel: Penthouse
	Metal Panel: Satin Nickel
	Metal Panel: Seawolf
	CMU
	Louver Panel

Legend

 \bigtriangleup

- Property lineEntryVehicle Entry
 - Service Entry

ELEVATIONS

East Rendered Elevation

1"=25'



Keynotes

1	Art: Laser cut metal with graphic
2	Pedestrian: Dedicated bike access
3	Gateway: Plaza
4	Material: Brick coursing - horizontal
5	Material: Brick coursing - vertical
6	Material: Brick coursing - soldier
7	Material: Accent brick coursing
Ma	terials
	Primary Brick - Coal Creek
	Primary Brick - Coal Creek Accent Brick - Mauna Loa
	Accent Brick - Mauna Loa
	Accent Brick - Mauna Loa Vision Glazing
	Accent Brick - Mauna Loa Vision Glazing Spandrel Glazing
	Accent Brick - Mauna Loa Vision Glazing Spandrel Glazing Profile Metal Panel: Penthouse
	Accent Brick - Mauna Loa Vision Glazing Spandrel Glazing Profile Metal Panel: Penthouse Metal Panel: Satin Nickel
	Accent Brick - Mauna Loa Vision Glazing Spandrel Glazing Profile Metal Panel: Penthouse Metal Panel: Satin Nickel Metal Panel: Seawolf
	Accent Brick - Mauna Loa Vision Glazing Spandrel Glazing Profile Metal Panel: Penthouse Metal Panel: Satin Nickel Metal Panel: Seawolf CMU

Vehicle Entry

Property line

Entry

Service Entry

North Rendered Elevation

1" = 25'



ELEVATIONS

Keynotes

- Pedestrian: Activated setback
- Art: Special colored brick gradient 2
- Pedestrian: Overhead weather protection 3
- Material: Brick coursing horizontal
- Material: Brick coursing vertical 5
- Material: Brick coursing soldier 6
- Material: Accent brick coursing 7

Materials

Primary Brick - Coal Creek Accent Brick - Mauna Loa Vision Glazing Spandrel Glazing Profile Metal Panel: Penthouse Metal Panel: Satin Nickel Metal Panel: Seawolf CMU Louver Panel

Legend

- Property line Entry \bigtriangleup Vehicle Entry \bigtriangleup
 - Service Entry

JANUARY 12, 2023 ____ 550 MERCER _ SCHNITZER WEST ____ COLLINSWOERMAN

ELEVATIONS

West Rendered Elevation

1" = 25'



JANUARY 12, 2023

MERCER

Keynotes

- Pedestrian: Activated setback
- 2 Art: Special colored brick gradient
- **3 Pedestrian:** Overhead weather protection
- 4 Material: Brick coursing horizontal
- 5 Material: Brick coursing vertical
- 6 Material: Brick coursing soldier
- 7 Material: Accent brick coursing

Materials

- Primary Brick Coal Creek
- Accent Brick Mauna Loa
- Vision Glazing
- Spandrel Glazing
- Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
- Metal Panel: Seawolf
- CMU
- Louver Panel

Legend

 \bigtriangleup

 \bigtriangleup

- Property line
- Entry
- Vehicle Entry
- Service Entry

View Facing Northeast from Mercer St



OFFICE -- MERCER ST

Enlarged South Elevation - Mercer St



South Plaza Section - Mercer St

ENLARGED ELEVATIONS & SECTIONS

Keynotes



Legend

 \bigtriangleup

- Property line Entry Vehicle Entry \bigtriangleup
 - Service Entry

ENLARGED ELEVATIONS & SECTIONS

JULL I

View Facing North from Alley







Keynotes



- Pedestrian: Dedicated bike access
- **3 Gateway:** Plaza
- 4 **Material:** Brick coursing horizontal
- 5 Material: Brick coursing vertical
- 6 **Material:** Brick coursing soldier
- 7 Material: Accent brick coursing

Materials

- Primary Brick Coal Creek
 Accent Brick Mauna Loa
 Vision Glazing
 Spandrel Glazing
 Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
- Metal Panel: Seawolf
- CMU
- Louver Panel

Legend

Property line
 Entry
 Vehicle Entry
 Service Entry



View Facing Southeast from Roy St

Enlarged North Elevation - Roy St



Street Section - Roy St (Looking East)

ENLARGED ELEVATIONS & SECTIONS

Keynotes

- Pedestrian: Activated setback 1
- 2 Art: Special colored brick gradient
- Pedestrian: Overhead weather protection
- Material: Brick coursing horizontal 4
- Material: Brick coursing vertical 5
- Material: Brick coursing soldier 6
- Material: Accent brick coursing

Materials

- Primary Brick Coal Creek Accent Brick - Mauna Loa Vision Glazing Spandrel Glazing Profile Metal Panel: Penthouse Metal Panel: Satin Nickel Metal Panel: Seawolf CMU
- Louver Panel

Legend

 \bigtriangleup

- Property line Entry Vehicle Entry \bigtriangleup
 - Service Entry

JANUARY 12, 2023 _ 550 MERCER SCHNITZER WEST COLLINSWOERMAN

ENLARGED ELEVATIONS & SECTIONS

View Facing Northeast from Taylor Ave N







Enlarged West Elevation - Taylor Ave N



Keynotes

- Pedestrian: Activated setback
- 2 Art: Special colored brick gradient
- **3 Pedestrian:** Overhead weather protection
- Material: Brick coursing horizontal 4
- Material: Brick coursing vertical 5
- Material: Brick coursing soldier 6
- Material: Accent brick coursing

Materials

- Primary Brick Coal Creek
- Accent Brick Mauna Loa
- Vision Glazing
- Spandrel Glazing
- Profile Metal Panel: Penthouse
- Metal Panel: Satin Nickel
- Metal Panel: Seawolf
- CMU
- Louver Panel

Legend

- Property line Entry Vehicle Entry \bigtriangleup
- \bigtriangleup Service Entry
Floor Plans & Sections

Level P2.5

1"=25'



1	Rainwater Cistern		
2	Parking Elevators		
3	Direct Bike Storage Access		
4	Office Elevators		
5	Loading Zone		
6	Outdoor Recreation Area		
7	Ground-level Setback		
8	Tenant-accessed Balcony/Deck		
9	PV Panels		
Us	8		
	Retail		
	Office		
	Circulation		
	Mechanical / service		
	Parking		
	Amenity		
	Outdoor space		
	Bike Storage		
Le	Legend		
-	 Property line 		
Lev	el 1 Elevation		
	Entry		
2	Vehicle Entry		
2	Service Entry		

Level P2

1"=25'



FLOOR PLANS

1	Rainwater Cistern			
2	Parking Elevators			
3	Direct Bike Storage Access			
4	Office Elevators			
5	Loading Zone			
6	Outdoor Recreation Area			
7	Ground-level Setback			
8	Tenant-accessed Balcony/Deck			
9	PV Panels			
<u>Us</u>	e			
Retail				
	Office			
	Circulation			
Mechanical / service				
Parking				
Amenity				
Outdoor space				
Bike Storage				
Legend				
-	 Property line 			
Lev	vel 1Elevation			
	Entry			
4	Vehicle Entry			
4	Service Entry			

Level P1

1"=25'



1	Rainwater Cistern		
2	Parking Elevators		
3	Direct Bike Storage Access		
4	Office Elevators		
5	Loading Zone		
6	Outdoor Recreation Area		
7	Ground-level Setback		
8	Tenant-accessed Balcony/Deck		
9	PV Panels		
Us	e		
	Retail		
	Office		
	Circulation		
	Mechanical / service		
	Parking		
	Amenity		
	Outdoor space		
	Bike Storage		
Legend			
-	 Property line 		
Lev	el 1 Elevation		
	Entry		
2	Vehicle Entry		
4	Service Entry		



Keynotes



JANUARY 12, 2023 _ 550 MERCER ____ SCHNITZER WEST ____ COLLINSWOERMAN

77

Level 2

1"=25'



1	Rainwater Cistern		
2	Parking Elevators		
3	Direct Bike Storage Access		
4	Office Elevators		
5	Loading Zone		
6	Outdoor Recreation Area		
7	Ground-level Setback		
8	Tenant-accessed Balcony/Deck		
9	PV Panels		
Us	e		
	Retail		
	Office		
	Circulation		
	Mechanical / service		
	Parking		
	Amenity		
	Outdoor space		
	Bike Storage		
Legend			
-	 Property line 		
Lev	el 1 Elevation		
	Entry		
2	Vehicle Entry		
4	Service Entry		

Level 3-4

1"=25'



FLOOR PLANS

Keynotes

1	Rainwater Cistern			
2	Parking Elevators			
3	Direct Bike Storage Access			
4	Office Elevators			
5	Loading Zone			
6	Outdoor Recreation Area			
7	Ground-level Setback			
8	Tenant-accessed Balcony/Deck			
9	PV Panels			
Us	e			
Retail				
	Office			
	Circulation			
Mechanical / service				
Parking				
Amenity				
Outdoor space				
Bike Storage				
Legend				
-	 Property line 			
Lev	el 1 Elevation			
	Entry			
4	Vehicle Entry			
4	Service Entry			
-	Service Entry			

JANUARY 12, 2023 ____ 550 MERCER ____ SCHNITZER WEST ____ COLLINSWOERMAN

Level 5-8

1"=25'



1	Rainwater Cistern		
2	Parking Elevators		
3	Direct Bike Storage Access		
4	Office Elevators		
5	Loading Zone		
6	Outdoor Recreation Area		
7	Ground-level Setback		
8	Tenant-accessed Balcony/Deck		
9	PV Panels		
Us	e		
	Retail		
	Office		
	Circulation		
	Mechanical / service		
	Parking		
	Amenity		
	Outdoor space		
	Bike Storage		
Legend			
-	 Property line 		
Lev	el 1 Elevation		
	Entry		
2	Vehicle Entry		
4	Service Entry		

Level 9

1"=25'



FLOOR PLANS

Keynotes

1	Rainwater Cistern			
2	Parking Elevators			
3	Direct Bike Storage Access			
4	Office Elevators			
5	Loading Zone			
6	Outdoor Recreation Area			
7	Ground-level Setback			
8	Tenant-accessed Balcony/Deck			
9	PV Panels			
Us	e			
	Retail			
	Office			
	Circulation			
	Mechanical / service			
	Parking			
Amenity				
Outdoor space				
Bike Storage				
Legend				
-	 Property line 			
Lev	vel 1 Elevation			
	Entry			
4	Vehicle Entry			
4	Service Entry			

JANUARY 12, 2023 _ 550 MERCER SCHNITZER WEST ____ COLLINSWOERMAN

Level 10 (penthouse)

1"=25'



1	Rainwater Cistern		
2	Parking Elevators		
3	Direct Bike Storage Access		
4	Office Elevators		
5	Loading Zone		
6	Outdoor Recreation Area		
7	Ground-level Setback		
8	Tenant-accessed Balcony/Deck		
9	PV Panels		
Us	e		
	Retail		
	Office		
	Circulation		
	Mechanical / service		
	Parking		
	Amenity		
	Outdoor space		
	Bike Storage		
Le	Legend		
-	 Property line 		
Lev	el 1Elevation		
	Entry		
2	Vehicle Entry		
4	Service Entry		

EW Building Section Facing North

Scale: 1" = 25'-0"



SECTIONS

Keynotes

1	Covered Retail Area		
2	Gateway Solar Array		
3	Continuous Office Lobby		
4	Building Setback at Entry		

Area

Retail
Office
Circulation
Mechanical / service
Parking
Amenity
Outdoor Space

Legend

- - Property line

SECTIONS

NS Building Section Facing West

Scale: 1" = 25'-0"



Keynotes























- 2 Gateway Solar Array
- Continuous Office Lobby 3
- Building Setback at Entry 4

Area Retail

Office
Office

- Circulation
- Mechanical / service
- Parking
- Amenity
- Outdoor Space

Legend

_

Property line

Landscape Design

LANDSCAPE DESIGN

Overall Site Circulation



Overall Site Grading

Description

- Entry Plaza connects mercer sidewalks to Level 1 Office/Lobby space.
- Distinctive rock garden connection to 570 Mercer
- Covered arcade is separated from Lobby to better relate to adjacent retail spaces at Taylor Ave North and Mercer Street.
- "Street tree" planter along existing mercer wall provides buffer and complimentary tree canopy cover along the upper mercer sidewalk.
- Retail "spill out" spaces with moveable furnishings and special paving complement adjacent building program
- Cascading bioretention planters utilize natural site grades to provide opportunity for OSM and educational opportunity for the public
- New street trees and sidewalk along Roy Street and Taylor Ave

Keynotes



- Alley Plaza
- Entrance / Exit



LANDSCAPE DESIGN

Street Level Landscape Plan

JANUARY 12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN

LANDSCAPE DESIGN

Entry Plaza & Alley Enlargement

Description

- Special, angled paving unites the entry plaza and alley plaza
- Smal stones make up the decorative rock garden, while large boulders create seating opportunities throughout
- Boulder seating function as natural vehicular traffic deterrants on the North end of the alley plaza
- Catenary lighting activates the alley area
- Open space in both plazas leave room for flexible programming





Materials



Rock Garden



Stone Seating





Bioretention Planter Wall





Acer saccharum 'bonfire'





Asarum caudatum

Prunella vulgaris



Carex divulsa



Eriophyllum lanatum







Nyssa sylvatica





Polemonium carneum



LANDSCAPE DESIGN

Streetscape Materials



Sidewalk Paving



Genista aetnensis



Penstemon rydbergii



Festuca roemeri



Sidalcea virgata



Wyethia amplexicaulis

LANDSCAPE DESIGN

Roof Level Landscape Plan

Description

Keynotes

3

1 Wood Decking

2 Pedestal Pavers

4 Raised Planters

Entrance / Exit

Planting on structure

- Pedestal pavers and wood decking echo materiality of street level landscape and provide variety
- Roof level provides covered and uncovered spaces for flexible programming and gathering
- On-structure planting reflects the rooftop planting at 570 Mercer and creates vibrant green space



JANUARY 12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN 90





Section A at Taylor Ave

1/8" = 1'-0"



1/8" = 1'-0"

LANDSCAPE DESIGN

Street Sections

JANUARY 12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN

LANDSCAPE DESIGN

Street Sections



Section C at Mercer St

1/8" = 1'-0"

5 6 67

Keynotes

- 1 Entry Plaza
- 2 Tree w/ Silva Cell Below
- 3 Raised Bioretention Planter
 - Moveable Furnishings at Retail Plaza
 - ROW Planting Area
 - Existing Mercer Street ROW
 - Site Stair
- Entrance / Exit

Keymap



Lighting & Signage Concepts

EXTERIOR LIGHTING PLAN

Lighting Glow Plan



Fixture Summary

*Final fixture selections are pending with consideration of Living Building Pilot

are highlighted with pedestrian scale direct-indirect sconces creating visual interest and pattern. The alleyway utilizes performance wall sconces.

Mercer Outdoor Space



EXTERIOR LIGHTING PLAN Design Approach

Light Fixture Concepts

Rigid stem pendants provide ambient illumination to the sidewalk







Rock sculpture garden lighting creates focal interest and connection to indoors



Suspended catenary lighting promotes pedestrian scale



Final fixture selections are pending with consideration of Living Building Pilot Program red list certifications

SIGNAGE CONCEPTS

Primary & Wayfinding



Primary Building Identification - Mercer Lobby Entry

Primary Building Identification - Taylor Lobby Entry

Key Map



Wayfinding - Bike Parking Access





Retail Signage - Locations





Gateway Identification



Project Branding & Addressing



SIGNAGE CONCEPTS

Retail, Branding, & Gateway Identification

Departures

ROOFTOP COVERAGE AREA



REQUIREMENT

REQUEST

RATIONALE

1 23.48.025.C.4 Rooftop Features

The following rooftop features may extend up to 15 feet above the applicable height limit, if the combined total coverage of all features listed in this subsection 23.48.025.C.4 does not exceed 25 percent coverage of the roof area if the total includes a greenhouse. The allowable rooftop features area to be **increased** from 25 to **64.3 percent**

This departure will allow the project to more effectively, efficiently, and aesthetically meet the large solar and water collection needs set forth through the LBPP process. This will also allow for one consistent location for the PV array, which will not only look like a more intentionally expressed feature and reinforce the building as a gateway, but ultimately reduce the MEP inefficiencies of having the array split up along the building or placed in a position more prone to being shaded.

DESIGN DEPARTURES

Departure #1

	AREA	PERCENTAGE
TOTAL ROOF	28,863 SF	100%
FEATURES	18,553 SF	64.3%
UNCOVERED	10,310 SF	35.7%

RELEVANT DESIGN GUIDELINES

CS1-A: Energy Use CS1-B: Sunlight & Ventilation CS1-E: Water DC2-5: Tall Buildings JANUARY 12, 2023 550 MERCER SCHNITZER WEST ____ COLLINSWOERMAN

99

DESIGN DEPARTURES

Departure #2

ROOFTOP COVERAGE ENCROACHMENT - PV ARRAY



REQUIREMENT

REQUEST

RATIONALE

2 23.48.025.C.7 Rooftop Features - Encroachment

No rooftop features are located closer than 10 feet to the roof edge, except features that do not exceed the height of the parapet or 5 feet above the roof surface, whichever is greater, or which may be permitted by design review departure or other code provisions including but not limited to chapter 23.57.

No rooftop features are located closer than 10 feet to the roof edge, except features that do not exceed the than 10 feet to the roof edge, except features that do not exceed the the solar roof is proposed to encroach within the 10' outlined setback, to either at or beyond the building face below.

- 1. It provides the best location for unobstructed area for solar captures
- 2. The solar array functions as a physically expressed method for achieving the project's sustainability goals, and supplements the outdoor space as an announcement for a gateway location

RELEVANT DESIGN GUIDELINES

CS1-A: Energy Use CS1-B: Sunlight & Ventilation CS1-E: Water DC2-5: Tall Buildings



STRUCTURAL OVERHANG DEPTH - PV ARRAY & BALCONY

REQUIREMENT

REQUEST

RATIONALE

3 23.53.035.B.5 Structural Building Overhang

Depth: The maximum horizontal projection for a structural building overhang, measured to the furthest exterior element, shall be 3 feet, and the project in no case be closer than 8 feet to the centerline of any alley (see Exhibit B for 23.53.035)

The request is for one balcony per level on levels 3-8 (6 total) & the PV array at level 9 to extend beyond the allowable 3 feet. The north balcony will extend 5'-0" beyond. Additionally, the PV array is requested to extend an additional 6'-8" beyond the property line to the west. The west balconies extend 2' - 0" beyond the property line, and the southern edge of the PV array extends 2' - 6", therefore neither require a departure.

The Balconies extending over the property and protruding as far as possible from the building facade are a physical manifestation of the projects efforts to promote human powered living. Without the departure, the balconies would be smaller and less pronounced. Additionally, the extension of the balconies into the right of way allows the primary building facade to be closer to the property line, permitting the south facade to be set back more, providing a successful outdoor space while still meeting development goals. The overhang of the solor collector allows this element to be a physically expressed massing move, indicating this project has pursued advanced levels of sustainability. Furthermore, the solar collector is a physical expression of the gateway goals set forth by the design team, while also unifying the project with it's neighbor to the east.

DESIGN DEPARTURES

Departure #3

-5' - 0'

ROY STREET

12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN 101

JANUARY

RELEVANT DESIGN GUIDELINES

CS2-2: Adjacent Sites DC2-4: Dual Purpose Elements

DESIGN DEPARTURES

Departure #4

STRUCTURAL OVERHANG LENGTH - PV ARRAY & BALCONY



REQUIREMENT

REQUEST

RATIONALE

4 23.53.035.B.7 Structural Building Overhang

Length: The maximum length of each structural building overhang shall be 15 feet measured at any location that is beyond the property line. The bay or other projection may be shaped in any way that remains within the 3 foot by 15 foot envelope beyond the property lines (see Exhibit D1 for 23.53.035) Balconies to extend 20' - 0" on the west, and 31' - 2" on north. The PV array extends 116' - 8" along the west and 89' - 1" on the south. Increasing the size of the balconies is a physical dedication of the projects efforts to promote human powered living. The proposed size of these areas increase accessible outdoor space for building tenants, promoting a positive indoor/outdoor relationship and improving livability and building experience. Increasing the length of the balconies allows them to function as elements of the massing expression, rather than an afterthought tacked onto the facade, contributing to building articulation and modulation. Furthermore, the ability for this balcony size to occur over the property line allows the southern face of the building to be pulled further back, creating a successful ground level outdoor space. The provision to allow the length of the solar collector is a direct and visible expression of the projects dedication to lofty sustainability goals, while reinforcing the site as an uptown gateway.

JANUARY 12, 2023

MERCER



RELEVANT DESIGN GUIDELINES

CS2-2: Adjacent Sites DC2-4: Dual Purpose Elements



STREET LEVEL DEVELOPMENT STANDARDS - FACADE SETBACK

6 23.48.740 Street-level Development Standards

SMC 23.48.740 - For streets designated as class III pedestrian streets, the street-facing facade of a structure may be set back up to 12 feet from the street lot line.

SMC 23.84A.012 "F" - Facade definition: Means any exterior wall of a structure including projections from and attachments to the wall. Projections and attachments include balconies, decks, porches, chimneys, unenclosed corridors and similar projections. Taylor Ave - The project is proposing a setback at the corner of Taylor Ave & Roy Street to accomodate upper level setback requirements for a single powerpole, and give back more usable sidewalk space for retail activation. The project requests the setback from Taylor Ave to be 12'-8" from the west property line for a length of 40'-5"

Mercer St - The project is proposing to provide a public community accessible outdoor space at the south end of the site, with some private area for retail seating. The setback along Mercer would vary from 20'-2" to 40'-3". Taylor Ave - The departure allows for a unique solution for the massing to deal with a required upper level setback for a power pole along Taylor. The project chooses to setback the facade of the lower levels to align with the upper level setback requirements to better enhance the streetscape and provide more usable sidewalk area.

Mercer - The departure allows for a voluntary community accessible outdoor space as a method for not only announcing Uptown, but also to soften the harsh urban edge of Mercer and the current retaining wall. Demolition of the wall, in concept with the outdoor space and primary office lobby entrance will allow the project to focus its public facing elements, towards the more public side of the block, and ultimately improve an undesirable pedestrian environment.

DESIGN DEPARTURES

Departure #5



RELEVANT DESIGN GUIDELINES

- CS1-1: Topography CS2-1: Sense of Place
- PL1-1: Enhancing Open Spaces
- PL1-3: Pedestrian Volumes

JANUARY 12, 2023 550 MERCER SCHNITZER WEST COLLINSWOERMAN

Departure #6

PROPOSED LOADING BERTHS



REQUIREMENT

REQUEST

RATIONALE

6 23.54.035.c.2.c

The Minimum number of off-street loading berths required for specific uses shall be set forth in table A

- Office uses = Low Demand
- Low demand uses between 160,000sf 264,000sf are required to provide 3 loading berths in total

The project is seeking a departure to omit the third required loading berth from the project as allowed under 23.41.012.D.D of the living building pilot program.. The design team has found the project does not need the third loading berth to function at the full capacity, therefore making the space dedicated to it redundant and put to waste. Three loading berths would require the generator room to be located at the NE corner, directly off Roy St. Omitting the third berth allows the generator to be contained within the loading area in the project, thus increasing the amount of active use on Roy St, creating a more engaging pedestrian experience.

CODE COMPLIANT LOADING BERTHS

12,2023

JANUARY

MERCER

550

WEST

SCHNITZER

RELEVANT DESIGN GUIDELINES

PL-2: Adjacent Sites PL-3: Dual Purpose Elements DC-1:

Appendix

What We Heard from the Community

Design-Related Comments

- · Design & Character. When asked what is most important about the design of a new building on this property, 71 percent of survey respondents said relationship to neighborhood character; 43 percent said environmentally friendly features; 43 percent said parking; and 14 percent said interesting/ unique design. Respondents encouraged the project character to aesthetically fit and meld seamlessly with its surroundings, enhance the neighborhood and not use reflective surface materials. Another respondent expressed support for sustainability, accessibility and aesthetics.
- Exterior. When asked what the most important consideration is for the exterior space on this property, 71 of survey respondents said landscaping; 71 percent said lighting and safety features; 43 percent said seating options and places to congregate and 29 percent said bike parking.
- · Height & Scale. One respondent noted that building height is the most important consideration for the exterior of the property. Another respondent encouraged the project not to exceed neighboring buildings in height.

Non-Design Related Comments

- · Retail. When asked what retail components respondents were most interested in for this location, 63 percent of survey respondents said new restaurants or bars; 50 percent said new places for coffee or breakfast; and 38 percent said new stores for shopping.
- Parking & Traffic. Several respondents noted that access to the parking garage should not be on Taylor Ave as it gets blocked with traffic.
- · Neighborhood Impacts. One respondent encouraged the project team to take into consideration the people who live in the neighborhood, noise and garbage issues.
- **Safety.** One respondent noted that there is a lot of crime in the area due to the homeless population who may congregate in any outside spaces that are not behind a fence.

Miscellaneous Comments

- **Support.** One respondent noted this is a good development that will allow the continuing Up-Zoning of this part of the Uptown Neighborhood.
- **Oppose.** One respondent encouraged the project team to build in another location.

Living Building Pilot Program Comments

- **Needs & Assets.** When asked what the neighborhood's primary needs and assets are, 75 percent of survey respondents said sense of community; 50 percent said safety; 38 percent said overall appearance and 13 percent said economic health.
- Vulnerable/Disinvested Populations. Respondents suggested shelter, healthcare, food, and security for vulnerable populations. As the project is paying into the city's MHA fund, the applicant trusts these funds will be properly utilized to address needs and concerns.
- **Project Impacts.** When asked how the project team can best avoid any negative impacts to the neighborhood, 89 percent of survey respondents said construction hours and noise; 67 percent said street closures and traffic; and 11 percent said building purpose.
- Community Needs & Assets. When asked how the project can help meet the needs and assets of the community; respondents encouraged the project team to help the arts and music community, offer restaurants with large outdoor seating areas, offer health care facilities and hire homeless people.
- · History, Culture & Aspirations of Uptown. When asked how this project might reflect and advance the history, culture and aspirations of the Uptown Neighborhood, 63 percent of survey respondents said public art; 50 percent said focus on retail offerings; and 38 percent said building design.
- Local Culture. When asked how this new project might reflect the local culture. 43 percent of survey respondents said public art; 29 percent said focus of retail offering; and 29 percent said building design.

Conclusions

- **Respond** to the context and historical building expressions that compose Uptown.
- · Create an engaging outdoor space that promotes extended activity for the community at large.
- **Provide** retail that extends the living hours of the building and responds to the needs and desires of local residents.
- Encourage safety and recreation through ground level design.
- Announce this project as a gateway to the Uptown Arts and Culture District through unique and distinctive design that is representative of the personality of its residents.

557 Roy St Project

ABOUT THE PROJECT

This project proposes construction of an eight-story office building with ground-level retail and below grade barking for 1.59 vehicles. The project is participating in the Living Building P'lot Program Existing buildings at this site to be demolished.





ADDITIONAL PROJECT DETAILS

Project Address: 557 Roy St, Scattle, WA 28100 Contact Nata re Culok Applicant SWH Seattle II West, L. C.

Opportunity to Provide Online Input on the

What: Let us know what you think! Visitiour website at www.557RoyStProject.com to losm more about this new project. including the team's proposed vision and approach.

Survey: ake our online survey to share your thoughts about the project site and components (Survey, poated on the project website).



Comments: Provide additional comments via our comment form o by cmail at 557RoyStProject@earlyDRoutreach.com

dditional Project Information on Seattle Services Portal via the Project Number 1114420565

Project Email: 557862StPro ord/Rear vDReammann.com

Note that emails are get welly return -1 within $2\sqrt{2}$ austinois days and are subject to Gity an South cloudly defined by the same 1 says.

This effort is part of the City of Seattle's required outreach process, in advance of Design Review.

1 Mercer & Taylor Facing NW



2 Mercer & Taylor Facing NE



3 Roy St Facing West



6 Aerial View Facing NW



5 Mercer St Facing SW





SITE CONDITIONS Site Photography

Observations

Mercer St sits anywhere between 0'-5' lower than the ground level of the proposed site. The lower portion includes a sidewalk and bike lane which abuts a very busy 6 lane ROW.

Taylor Ave is a heavily vehicular trafficked site. The treatment of the streetscape along the west creates an inhospitable pedestrian experience due to the dedication to loading and trash servicing.

Roy St is also a relatively quiet street with multiple existing surface parking lots and single story buildings to the south. To the north, includes a range of 1-4 story buildings that is a mix of neighborhood commercial and residential uses.

Alley is currently a dead end ROW that only provides access to this project and the adjacent development. The alley ends in a rare condition where it is perpendicular to a sidewalk.

Key Map



SITE CONDITIONS

Existing & Future Prominent Surrounding Buildings

Gates Foundation



2019 / 6 Floors Office Building

Center Steps Apartments



2020 / 8 Floors Apartments

513 1st Ave N



2022 / 8 Floors Apartments

615 Dexter Ave N



2022 / 18 Floors Apartments

Museum of Pop Culture



1999 / 5 Floors Museum

Lumen Condominiums



2007 / 4 Floors Condominiums

412 Queen Anne Ave N



2022 / 8 Floors Apartments

816 Mercer St



2022 / 13 Floors 2 Office Buildings

Space Needle



1961 / 7 Floors Commercial

Citizen Cafe



1962 / 1 Floor Restaurant

570 Mercer St



2022 / 8 Floors Office Building

223 Taylor Ave N



2022 / 8 Floors Apartments

Climate Pledge Arena



1962 / 1 Floor Arena

Allen Institute



2015 / 6 Floors Life Sciences

601 Aurora Ave N



2022 / 8 Floors Hotel

631 Queen Anne Ave N



2022 / 8 Floors Apartments

EXISTING

108

2nd & Mercer Apartments





2020 / 8 Floors Apartments

700 Dexter Ave N



2022 / 8 Floors Apartments

701 Dexter Ave N





2022 / 11 Floors Lab/Office Building


Axonometric View Of Full Block Facing NorthEast



SITE CONDITIONS Block Development Diagram

Observations

Conclusions

Zoning and Overlay Designations

The project site is one block away from low rise, multi-family zones, two blocks away from South Lake Union zoning, and a **buffer zone** between low rise and high rise zones. With 65' zoning to the north, and 165' zoning to the south, the projects along Mercer St perform an important role in **defining the boundary** of neighborhood expression, and softening the border between contrasting typologies.

Surrounding Uses

While the immediate area has buildings that encompass every type of use, they are split into nodes. To the west and north is a **heavy focus of residential**, with some of that being low rise buildings. To the east and south is a heavy focus of **new office and commercial development**, most of which is well over 100 feet tall. To the southwest is a major urban hub, which functions as a civic and cultural core for the entire city.

Traffic Flow and Siting Patterns

Mercer St is a **primary vehicular route** through the city, while Taylor St functions as a connector into the Queen Anne neighborhood. There is multimodal transportation in the area via monorail, bike, and bus. There are no transit stops directly on the site, and in general, Mercer St **functions as a border** between a calmer, more residential neighborhood, and a working zone.

Prominent Surrounding Buildings

Many of the existing buildings in the zone represent a manifestation of the **Uptown Arts and Culture District**. Newer projects, a few blocks to the east in SLU, represent the newest evolution of building in Seattle. Blending these two building typologies will be critical for creating a **successful gateway project** into, and out of the Uptown core.

Future Prominent Surrounding Buildings

Proposed projects in the neighborhood possess a **transparency and modern quality**, with high percentages of glazing. Some projects take the approach of driving through a primary building expression, such as **repeating vertical element**. Other projects take the approach of **separate masses** expression within the volume, defined or separated by a gasket or other defining element. These two expressions, while different approaches, offer a vision of what this neighborhood will look like in the **future**.

Neighborhood Character

As one of the most **important and original** neighborhoods, Uptown still maintains some building expressions that have been lost elsewhere in the city. Due to the proximity to the Seattle Center, all nearby projects resonate from this **central hub** and provides a framework for all types of users. Mercer St functions as a fold in the urban fabric between a prominently low rise residential typology, and a high rise expression.

Existing Active Neighborhood Spaces

Seattle Center is one of the **largest open spaces** in the entire city, and is an attraction for residents and tourists alike. Lake Union is another massive attraction and a **thriving hub** for outdoor recreation during hospitable weather. Other nodes of outdoor space and pedestrian circulation compose the Uptown and Queen Anne neighborhoods. The neighborhood north of Mercer St **lacks open space** within close walking proximity.

Future Active Neighborhood Spaces

Proposed spaces in the area are focused on a few different moves: grand entrances, widened sidewalks with setbacks, and public plaza with extensive landscaping and seating. These three approaches create a **unique blend** of space, where private and public blend, and all users in the neighborhood benefit.

Potential Views

For the first several floors, the project will have **neighborhood views**, including across Mercer St to the Gates Foundation open space plaza. The upper floors will have **uninterrupted views** across to South Lake Union, over towards the Space Needle, and west across the Puget Sound.



How do we Fill The Missing Link in this neighborhood?



CONCEPT DEVELOPMENT

- Complete the missing link of **Transitional Outdoor Space** in the neighborhood.
- Express Continuity to the Adjacent Development, using contextual analysis to contribute to building design.
- Utilize Pedestrian Movement to encourage flow into an on-site outdoor space that anchors the gateway. Respond to contextual typologies, reducing bulk and scale as a Transition to Lower-Scale Neighborhood identity.
- Echo the Language of Rhythm as Scaled Elements that align with Uptown and Queen Anne vernacular, creating a pattern that reinforces movement.



Block Analysis

Interval I - 570 Mercer

Existing Block Site Plan with 570 Mercer Imposed



Influential Site Design Elements

- 1 Mercer street wall opening
- 2 Widened & enhanced streetscape
- 3 Alley activating retail
- 4 Bike commuter facilities
- 5 Public art mural
- 6 Street corner curb bulb
- 7 Pockets of widened & enhanced streetscape

Site Design Opportunities

- 1 Erode Mercer street retaining wall
- 2 Outdoor space that promotes connectivity
- 3 Gateway element drawing pedestrians into the site
- 4 Widened pocket of enhanced streetscape
- 5 Street corner curb bulb

Map Key

Influential Site Elements

Site Design Opportunities

Connection Opportunities

Axonometric View Of Full Block Facing NorthWest



Neighborhood Transition



Directly North of the site begins a very different neighborhood than exists on Mercer St. Significantly more residential, industrial building types, lower scale development, and successful retail with outdoor seating announce the transition.



Mercer St is the primary arterial providing east/west access in this area of Downtown. Focused entirely on vehicles originally, the dedicated bike lane and increasing pedestrian activity stand in contrast with the dominant retaining wall. This creates a physical and visual barrier between neighborhoods, and discourages multi-model transportation

SITE CONDITIONS Site Condition Observations

2 Citizen Cafe



The project will take note of the successful Citizen Cafe in its massing approach, as it contributes to a particularly calm character to Roy street.



The Lumen condos are a newer development in the area which can be referenced for certain datums and modulation. Taylor Ave (western side) is predominately loading docks and parking access, creating a mostly inhospitable streetscape in a busy area.

Streetscape Photomontage - Mercer Street





114

1 Gates Foundation







550 Mercer - Site









SITE CONDITIONS

Streetscape Photomontage - Taylor Street

JANUARY 12, 2023 550 MERCER SCHNITZER WEST ____ COLLINSWOERMAN

Streetscape Photomontage - Roy Street



5 570 Mercer

550 Mercer - Site

B Roy St - Facing South



The Ruins Events & Catering



10 Lumen Condominiums

Context & Site



CS1 Natural Systems & Site Features

1. Topography

- a. Step the elevation of ground floors so that building entrances and ground floor roughly match the street grade.
- e. Design ground-level treatments that create a safe, attractive transition between the building, site, and the sidewalk.

2. Plants & Habitat. Create habitat landscapes of native species in building setbacks, right-of-ways, green roofs, walls, and gardens.

Design Response

- a. The project will remove the Mercer Street wall for a significant amount of the frontage, promoting pedestrian connectivity to a community accessible outdoor space. The primary office lobby will be located off this outdoor space, that has a partially flush transition to the Mercer St sidewalk. A bioretention planter is proposed along Mercer, stepped to follow the sloped grading containing native vegetation and a visible representation of the project's sustainability goals.
- b. The retail entrances along Taylor & Roy will be set close to the finished grade of the streets. A covered arcade will blend the indoor/outdoor transition of the retail space adjacent to the plaza.

CS2 Urban Pattern and Form

1. Sense of Place. Use site identity features at Uptown Gateway locations. Examples of identity features include art, welcoming or way-finding signage, distinct architecture or major public open space.

3. Corner Sites

- a. Buildings, retail treatments, and open spaces should address the corner and promote activity.
- c. Corner sites are often desirable locations for small publicly accessible plazas, art, and other special features.

Design Response

- a. The building massing is a direct response to creating a gateway site for Uptown. Through the use of contrasting building expressions, a community accessible outdoor space, and demolition of the retaining wall along Mercer, pedestrians will be welcomed to the neighborhood with a strong dedication to the ground level experience.
- b. The community accessible outdoor space along Mercer St is a direct approach to promote activity at the building's more prominent and public corner. A bioretention planter and possible artwork at the intersection of Mercer and Taylor will further contribute to the announcement of the Uptown Arts & Culture district.



CS3 Architectural **Context and Character**

1. Placemaking

- a. Include design features that make the Art & Cultural District visible to pedestrians such as interpretive panels, banners, plaques, building names, wayfinding, signage, and art.
- b. Make visual art an integral part of the design concept, especially along Mercer/Roy Street corridor, near theaters and other cultural venues. and in the Heart of Uptown.

Design Response

a. The dedication to a large outdoor space on the site is the first form of placemaking established within the project. Additionally, a stepped bioretention planter and public artwork will be featured at the southwest corner of the site. The removal of the Mercer Street retaining well completely changes this site's urban edge along the street. Instead of being an after thought, 550 Mercer will blend the neighborhoods to the north more seamless to the primary arterial accessing Uptown and Queen Anne.

DESIGN GUIDELINES High Priority Guidelines

Public Life



PL1 Connectivity

1. Enhancing Open Spaces. Locate plazas intended for public use at or near grade to promote both a physical and visual connection to the street. Where publicly accessible plazas abut private open space, use special paving materials, landscaping, and other elements to provide a clear definition between the public and private realms.

3. Pedestrian Volumes and Amenities

c. All of Uptown should be considered a "walking district". New development should strive to support outdoors uses, activities and seating that create an attractive and vibrant pedestrian environment. Consider widening narrow sidewalks through additional building setbacks at street level.

Design Response

- a. The publicly accessible space at the south is partially at grade, and located midway along the vertical drop of Mercer. This will promote the highest degree of physically of visual connectivity possible. The private (retail) portion of the outdoor space will be at a separate elevation and separated via stepped bioretention planter.
- b. Demolishing the retaining wall is the first step towards promoting a walking environment within uptown. Several ground and podium level voluntary recesses and step-backs occur to promote better walkability along Taylor and Roy.

DESIGN GUIDELINES

High Priority Guidelines

Public Life



PL3 Street Level Interaction

1. Entries

- a. Design entries to be pedestrian friendly. Consider how the position, scale, architectural detailing, and materials will create an entry that is clearly discernible to the pedestrian.
- c. The use of distinctive paving, detailing, materials and landscaping, and artistic designs with cultural references is strongly encouraged. Building addresses and names (if applicable) should be located at entrances, and tastefully crafted.

Design Response

a. The primary building entrance has been specifically located directly off the community accessible outdoor space, the most prominent and important feature on site. The two story expression with columns anchoring either side will highlight this as a destination for pedestrians. The secondary entrance along Taylor coincides with a building massing move that will make circulation to this destination visibly apparent from quite a distance away.



PL4 Active Transportation

- **1. Planning Ahead for Bicyclists**
- **a. Bike Facilities.** Placement of long-term bicycle storage should consider cyclist safety and ease of access. Provide the required shortterm bike racks near main building entrances to accommodate private and shared bicycles. Consider customizing the SDOT approved racks to reflect Uptown Arts and Cultural District branding such as colors, distinctive place names, plaques, or other design elements.
- **b. Bike Connections.** Facilitate connections to major bicycle infrastructure including the Mercer Street protected bike lane.

Design Response

- a. The community accessible outdoor space will have some short term bike parking, located directly off the protected bike lane along Mercer. Cyclists requiring entrance to the building can access the office lobby from either Mercer or Taylor, whichever is most convenient. The bike parking will be located near the north end of level P1, not far from the elevators.
- b. The demolition of the retaining wall along Mercer Street will encourage multi-modal transportation, and ease the access to the protected bike lane.

Design Concept



DC2 Architectural Concept

- **1. Architecture.** Architecture should emphasize human scale, streetscape rhythm, quality detailing and quality materials.
- 2. Exterior canopies. Exterior canopies and other weather protection features are favored throughout Uptown, should be scaled appropriately and blend in well with the building and surroundings.
- **3. Adjacent context.** Tall buildings should respond to adjacent context

Design Response

- a. The building massing is reflective of the approach to respect context and scale between two opposing neighborhoods and zonings. Recesses and set-backs occurs at the first two levels to match local datums of 570 Mercer and the Lumen building, while pilasters and exposed columns create an expression of rhythm along all street frontages.
- b. Overhead weather protection will be provided at the prominent building entrances and major intersection, to encourage pedestrian flow and circulation into the community accessible outdoor space.
- c. Several podium level moves have been crafted to reduce the bulk and scale of the building, in addition to vertical gaskets that reduce the mass and length of facades.

DC4 Exterior Elements & Finishes

- 1. **Materials.** Quality materials should be used on all levels and all sides of the building. Materials, colors, and details should unify a building's appearance.
- 2. **Commercial Lighting.** Pedestrian lighting for public sidewalks is encouraged, and should enhance the unique identity of the Uptown Arts & Cultural District without disturbing any adjacent residential properties.
- **3. Pavement & Design Elements.** Permeable pavement or artistic design elements should be considered where landscaping is not feasible.

Design Response

- a. Quality materials will be used on all surfaces of the building, similar in nature but different in color and texture to 570 Mercer. The building will have two different expressions (and A and a B) that create a contrasting language, allowing expression A to be a focal point and emphasize this site as a gateway.
- b. Pedestrian lighting will be provided along the street frontages and community accessible outdoor space.



ARCHITECTURE PLANNING INTERIORS SUSTAINABILITY

10 SECOND AVENUE SUITE 1400 EATTLE WASHINGTON 98104-1710 206.245.2100 f. 206.245.2101 COLLINSWOERMAN.COM