

2005 5TH AVE

DESIGN REVIEW BOARD RECOMMENDATION MEETING PROJECT NUMBER: 3028017 MEETING DATE: 02/21/2023





### TABLE OF CONTENTS

### 4 PROJECT INFORMATION

Proposal Summary
Site Photomontage
Existing Streetscape
Surrounding Developments

### 15 LANDMARK PRESERVATION PROCESS

Project Timeline LPB Supported Features

### 19 EDG #3 SUMMARY

Design Concept
Board Supported Features
EDG #3 Guidance and Response

### 24 DESIGN UPDATES

Design Update Focus
Podium to Tower Transition
Window Overlay Study
Alley Side Study
Material Study
Lighting Study
Signage

### 51 PLANNING UPDATES

Massing Overview
Site Plan
Floor Plans
Elevations
Sections
Renderings

- 78 LANDSCAPE DESIGN
- 85 DEPARTURES
- 93 EXCEPTIONS
- 98 APPENDIX

### PROJECT TEAM

OWNER

ARCHITECT

HISTORIC PRESERVATION ARCHITECT

LAND USE ATTORNEY



Chainqui Development

Chainqui Development Virginia, LLC 2401 3rd Ave, #1212, Seattle, WA 98121 Contact: Jenny Tsen jenny.tsen@chainqui.com



MZA Architecture

MZA, PS
752 108th Ave NE, Ste 203, Bellevue, WA 98004
Contact: Craig Davenport, AIA
craig.davenport@mza-us.com



Studio TJP

Studio TJP 1212 NE 65th Street, Seattle, WA 98115 Contact: Ellen Mirro, AIA ellen@tjp.us



McCullough Hill Leary

McCullough Hill Leary, PS
701 Fifth Avenue, Ste 6600, Seattle, WA 98104
Contact: Jessica Clawson
jessica@mhseattle.com

STRUCTURAL / CIVIL ENGINEER

LANDSCAPE ARCHITECT

**WASTE MANAGEMENT** 

MEP/LIGHTING/ENERGY ENGINEER



KPFF

KPFF Consulting Engineers
1601 Fifth Ave, Ste 1600, Seattle, WA 98101
Structural Contact: Brian Pavlovec
brian.pavlovec@kpff.com
Civil Contact: Jeremy Febus
jeremy.febus@kpff.com



GCH Planning & Landscape

GCH Planning & Landscape Architecture 6101 22nd Ave NW, Seattle, WA 98107 Contact: Jerry Coburn



American Trash Management

American Trash Management 1900 Powell Street, Ste 890, Emeryville, CA 94608 Contact: Scott Brown sbrown@trashmanage.com



Rushing Co.

Rushing 1725 Westlake Ave N, Suite 300, Seattle, WA 98109 Contact: Scott Rushing scottr@rushingco.com

# 01

# PROJECT INFORMATION

- Proposal Summary
- Site Photomontage
- Existing Streetscape
- Surrounding Developments

### PROPOSAL SUMMARY

### PROJECT INFORMATION

Address: 2005 5TH AVE
Project Number: 3028017
Site Area: 19,440 SF
Max FAR Allowable: 8

### **DEVELOPMENT OBJECTIVES**

The proposed project is a 44-story tower with 7 levels of underground parking. The basic program includes:

- 464 residential units
- 18,832 SF of office area
- 3,532 SF of street-level commercial area
- 276 below grade parking stalls

### PROJECT GOALS

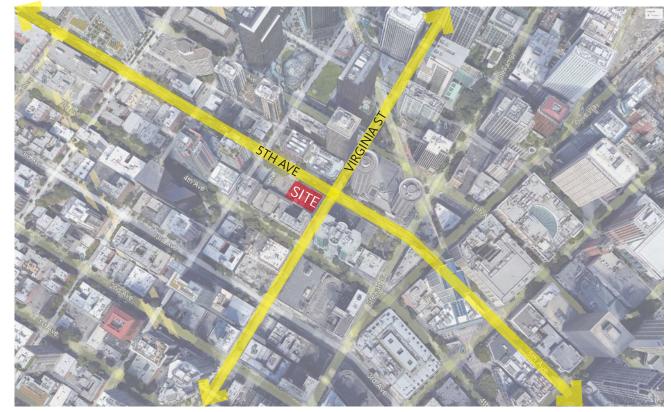
- Integrate into the Belltown neighborhood
- Extend the life of the Griffin and Sheridan Landmarked buildings
- Maximize Natural Light and Views







Sheridan Apartments



### PROJECT HISTORY

At the first Early Design Guidance meeting held on Tuesday, December 5, 2017, the developer presented (3) options for the project, and comments were received from the Board. At this meeting, the Board preferred Option #1 that preserved and covered the Griffin and Sheridan Apartments with a covered arcade that extended over the sidewalk. The Board gave guidance that the design team develop the tower shape, maximize separation from 2025 5<sup>th</sup> Ave, and develops the vehicle access, parking, and loading.

As the design team developed Option #1 per the Design Review Board's comments, the Landmarks Preservation Board weighed in on the design over the course of 10 ARC meetings. The LPB rejected the arcade design that covered the historic facades, and preferred that the tower be shifted north to not cover the Griffin Building, preferring a tower location within 45 feet of the 2025 5<sup>th</sup> Ave tower. Efforts to provide additional tower separation through multiple design proposals culminated with the support of the enclosed design by the ARC and Landmarks Review Board on 2/17/21.

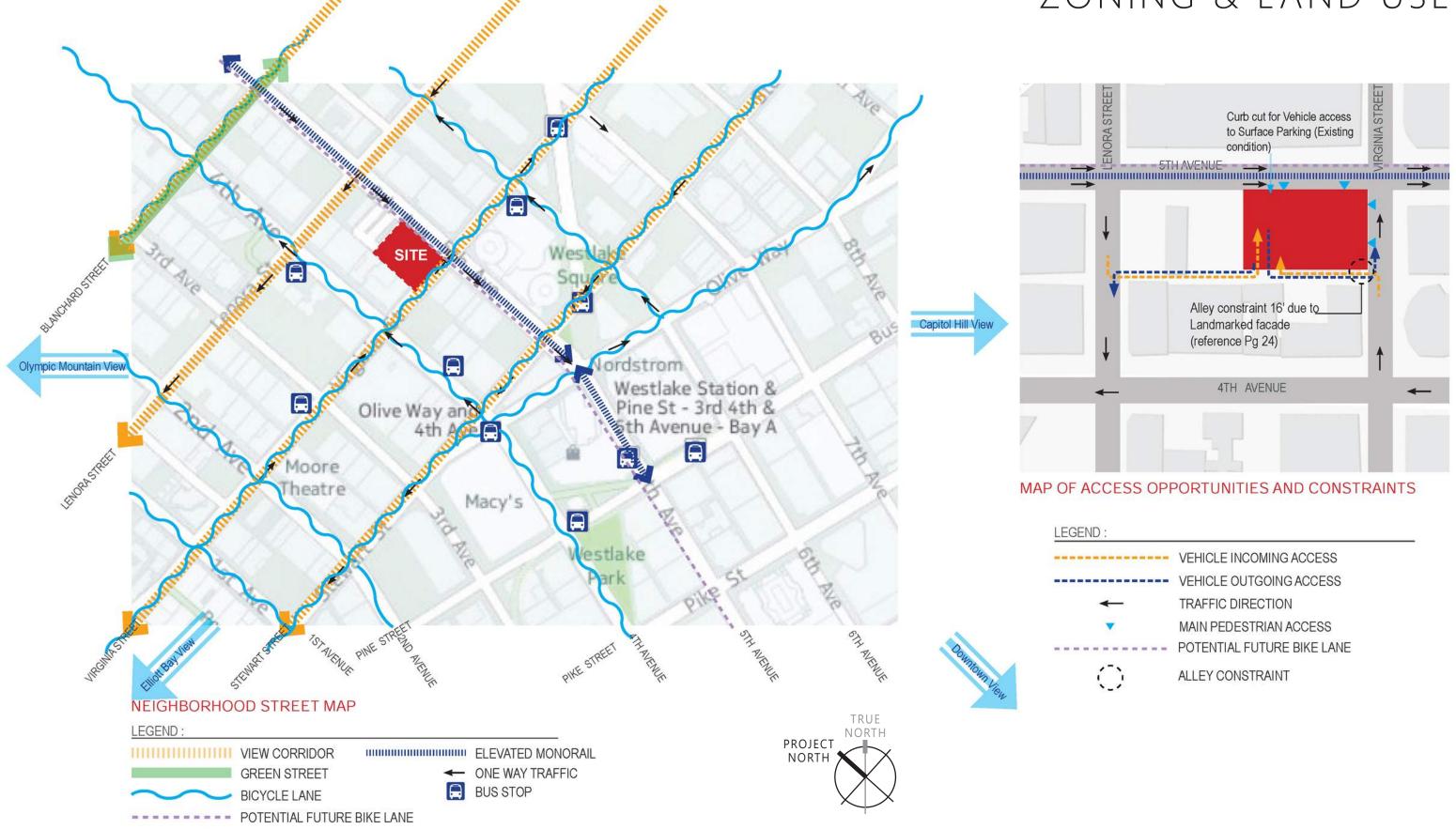
The Landmarks Preservation Board appreciated the tower design, commenting that it is "the best of both worlds, with rehabilitated buildings and a new tower...it kept light and air at the roofs and receded into the background."

The LPB-supported design was presented to the DRB at the EDG #2 meeting on 6/15/21 and EDG #3 meeting on 1/4/22. The Board supported the new direction and gave recommendations on (A) Podium to Tower transition – to carry down the tower form and maintain the expression of the tower corners at the tower base rather than blending into the podium at the NE corner. (B) Tower - Board supported the simplicity of the New Formalism approach and acknowledged the complex project conditions and that it resulted in the proposed tower location, but requested additional studies on window overlay to address privacy. (C) Tower Terminus (Roof) - The Board requested clarification on the placement and composition of vertical elements and lighting details. (D) streetscape and Alley- the board supported the street-level development but requested coordination with SDCI, SDOT and SPU. (E) Material – the board supported the general direction of the materials shown in the EDG#3 package but requested clarification on the final material selection and placement.

# ZONING & LAND USE

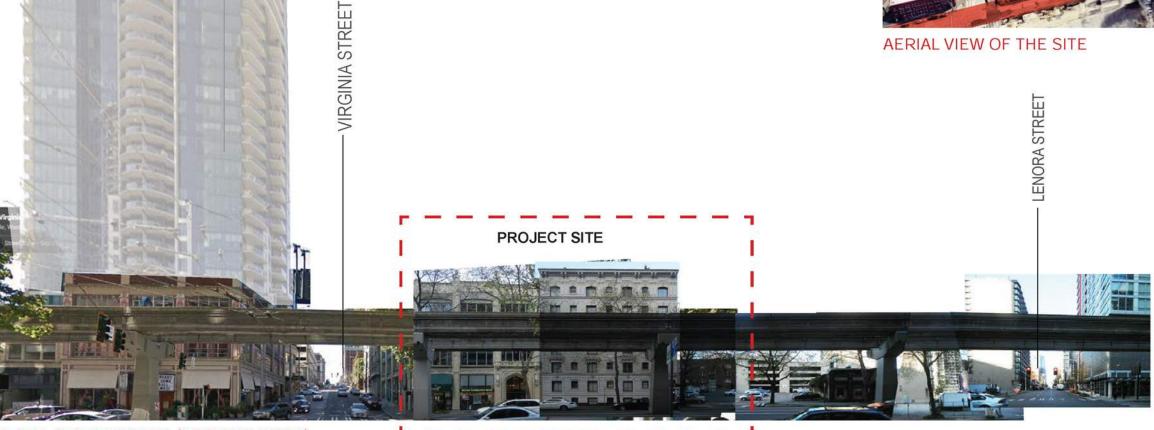


# ZONING & LAND USE



# SITE PHOTOMONTAGE







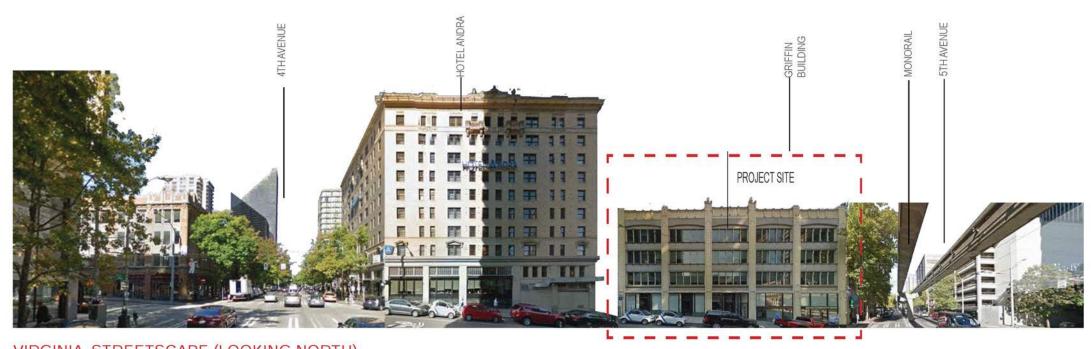
5TH AVE. STREETSCAPE (LOOKING WEST)

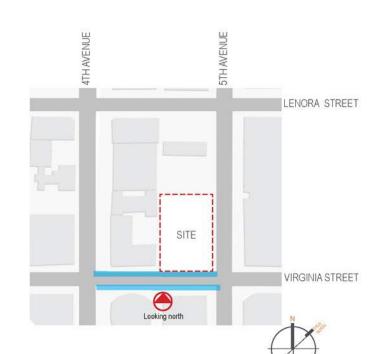
NOTE: This composite streetscape view from 5th Avenue should not be interpreted as a true elevation.

# SITE PHOTOMONTAGE



**AERIAL VIEW OF THE SITE** 





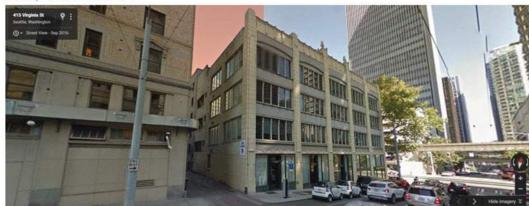
VIRGINIA STREETSCAPE (LOOKING NORTH)

NOTE: This composite streetscape view from Virginia Street should not be interpreted as a true elevation.

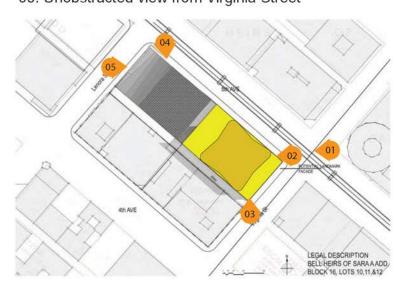
# EXISTING STREETSCAPE

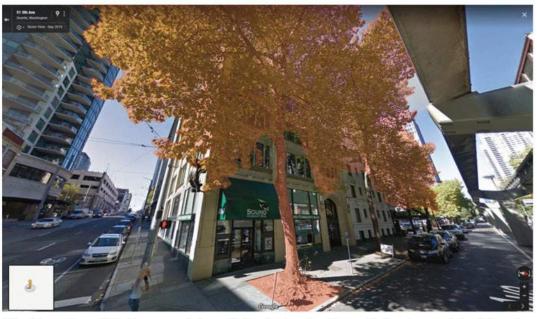


01. View from across virginia street is obstructed by existing trees (significant trees) and Monorail.



03. Unobstructed view from Virginia Street





02. View from 5th Avenue sidewalk is obstructed by existing trees (significant trees ).



04. View from 5th Avenue & Lenora street is obstructed by proposed adjacent development.



05. View from Lenora street will be obstructed by proposed adjacent development.

# CONTEXT ANALYSIS

EXISTING TOWERS







2 ROYAL CREST CONDO

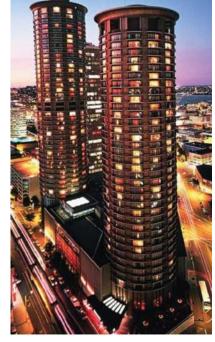


(3) 2031 3RD AVENUE



4 2116 4TH AVENUE (5) ESCALA SEATTLE

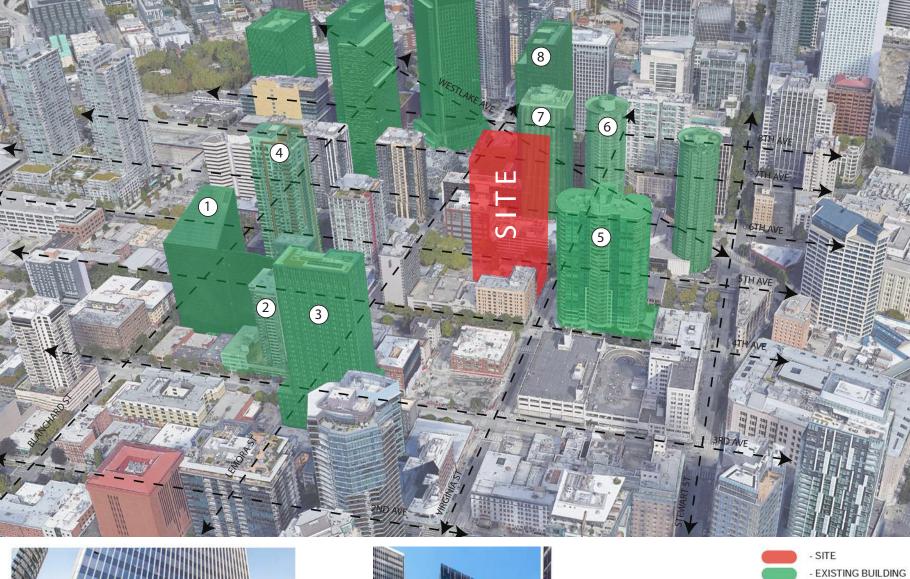




(6)THE WESTIN SEATTLE



WESTIN BUILDING EXCHANGE





AMAZON CAMPUS

# CONTEXT ANALYSIS

FUTURE TOWERS





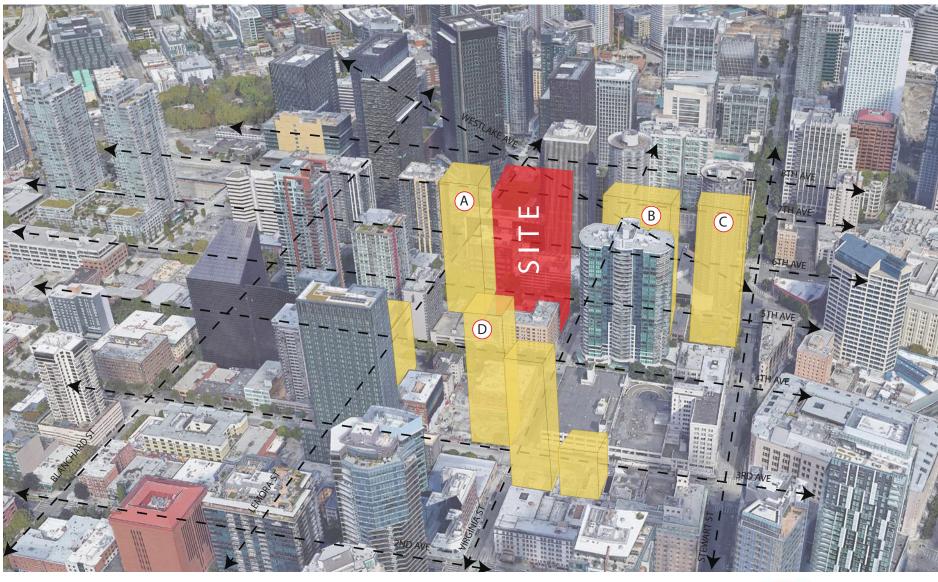


5TH & LENORA
(PROPOSED IMMEDIATE NORTH DEVELOPMENT)

B 1933 5TH AVENUE C 1903 5TH AVENUE







- SITE
- EXISTING BUILDING
- FUTURE DEVELOPMENT

### ZONING SUMMARY

#### **ZONING CODE CITATION & REQUIREMENT**



### ZONING LOCATION- DMC 240/290-440



#### 2. Maximum tower width



Structures located in DMC 240/290-440 or DMC 340/290-440 zones may exceed the maximum height limit for residential use, or if applicable the maximum height limit for residential use as increased under subsection 23.49.008.A.4, by ten percent of that limit, as so increased if applicable, if:

- The facades of the portion of the structure above the limit do not enclose an area greater than 9,000 square feet, and
- The enclosed space is occupied only by those uses or features otherwise permitted in this Section 23.49.008 as an exception above the height limit. The exception in this subsection 23.49.008.B shall not be combined with any other height exception for screening or rooftop features to gain additional height.



#### SECTION 23.49.058.A

SECTION 23.49.008.B

For purposes of this Section 23.49.058, except in zones with a mapped height limit of 170 feet or less, a "tower" is a portion of a structure, excluding rooftop features permitted above the applicable height limit pursuant to Section 23.49.008, in which portion all gross floor area in each story is horizontally contiguous, and which portion is above

- a height of 85 feet in a structure that has any non-residential use above a height of 65 feet or does not have residential use above a height of 160 feet; or
- in any structure not described in clause.



#### SECTION 23.49.058.B

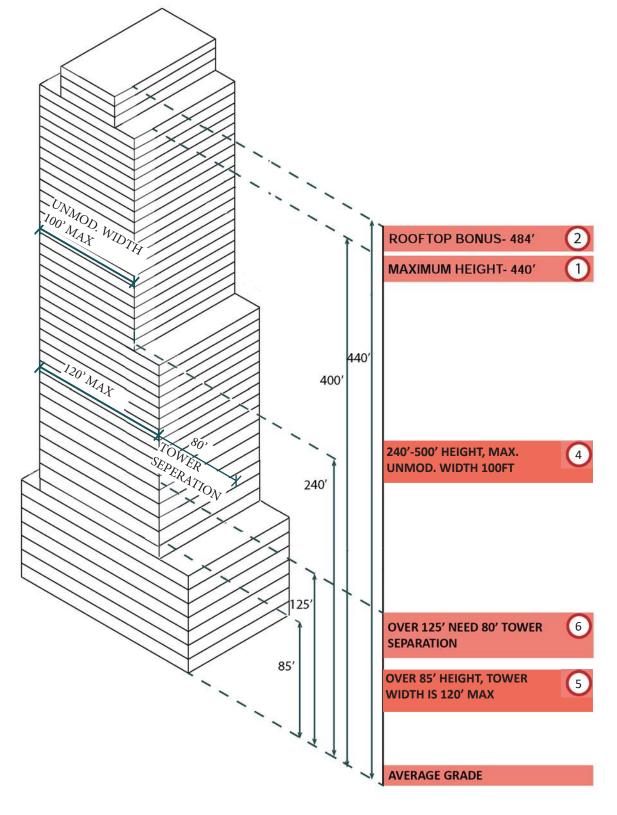
- 2. The following facade modulation requirements apply to structures meeting subsection 23.49.058.B.1:
- a. In DOC1, DOC2, and DMC zones, except the DMC 170 zone, facade modulation is required above a height of 85 feet above the sidewalk for any portion of a structure located within 15 feet of a street lot line. No modulation is required for portions of a facade set back 15 feet or more from a street lot line.
- c. Elevation 85-160ft---155ft Max Unmod. Length Elevation 160-240ft---125ft Max Unmod. Length Elevation 240-500ft---100ft Max Unmod. Length

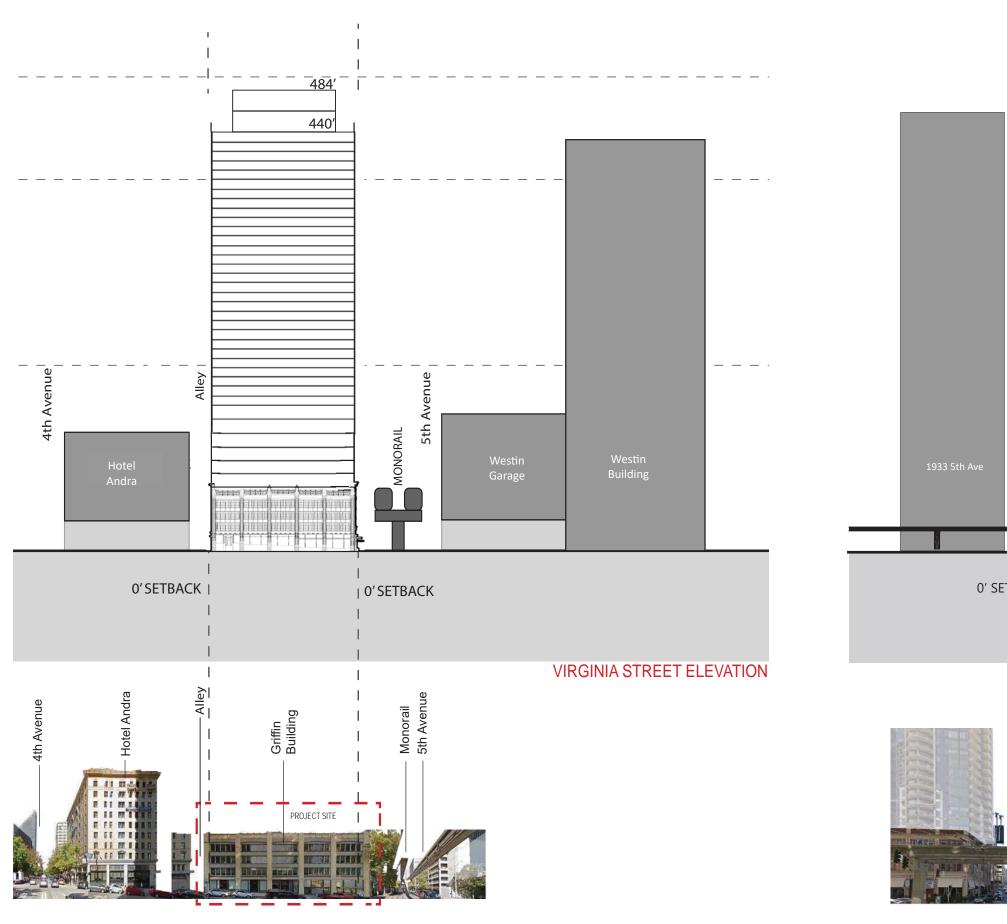
SECTION 23.49.058.C

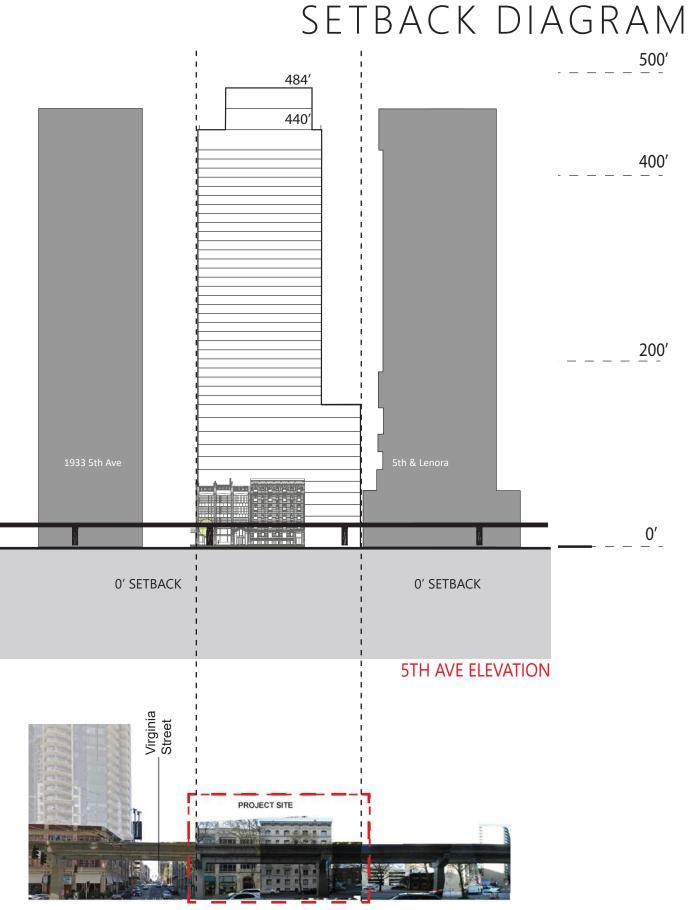
a.In DMC zones, the maximum facade width for portions of a building above 85 feet along the general north/south axis of a site (parallel to the Avenues) shall be 120 feet or 80 percent of the width of the lot measured on the Avenue, whichever is less,

#### SECTION 23.49.058.D

3. Except as otherwise provided in this subsection 23.49.058.D, in a DMC zone with a mapped height limit of more than 170 feet located either in Belltown, as shown on Map A for 23.49.058, or south of Union Street, if any part of a tower exceeds 160 feet in height, then all portions of the tower that are above 125 feet in height must be separated from any other existing tower that is above 160 feet in height, and the minimum separation required between towers from all points above the height of 125 feet in each tower is 80 feet.





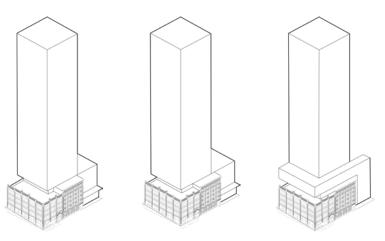


# 02

# LANDMARK PRESERVATION PROCESS

- Project Timeline
- LPB Supported Features

ARC 1 2017-08-30 TOWER PROPOSED

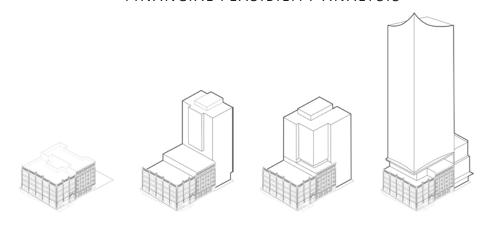


FEEDBACK

FINANCIAL FEASIBILITY ANALYSIS SHOULD BE PROVIDED TO SUPPORT THE HEIGHT

ARC 2 2018-02-02

TOWER AND ALTERNATIVES PROVIDED WITH FINANCIAL FEASIBILITY ANALYSIS

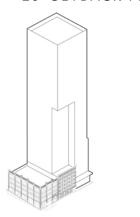


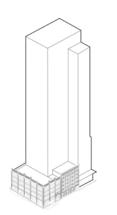
**FEEDBACK** 

AGREEMENT THAT ALTERNATIVES ARE NOT ECONOMICALLY FEASIBLE, BUT
TOWER LOCATION SHOULD BE OFF OF THE GRIFFIN

ARC 3 2018-06-29

60' SETBACK FROM VIRGINIA ST 20' SETBACK FROM 5TH AVE

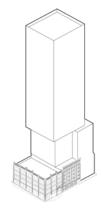




**FEEDBACK** 

CANTILEVERING OVER GRIFFIN IS ACCEPTABLE; TOWER MASSING NEEDS IMPROVEMENT AND TOWER SEPARATION OF 32' NOT PREFERRED BY PLANNING DIRECTOR ARC 4 2018-09-14

REFINED MASSING AND TOWER LOCATION



**FEEDBACK** 

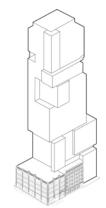
TOWER SPACING NEEDS
REFINEMENT;
PRESENT TO LPB

### PROJECT TIMELINE

### LPB 2019-03-20

CONCEPT 1: CONCEPT 2: STACKS OF DRYING LUMBER CEDAR DUGOUT CANOES CONCEPT:

**NEW FORMALISM** 



**FEEDBACK** 

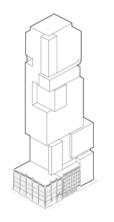
**FEEDBACK** 

TOWER FACADE SHOULD ECHO
THE RHYTHM AND VERTICALITY
OF GRIFFIN BUILDING

BRING NEW TOWER TO STREET LEVEL, CREATE FRAMES TO ECHO GRIFFIN'S VERTICALITY

### ARC 5 2019-09-13

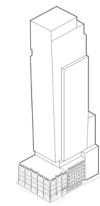
CONCEPT 1: STACKS OF DRYING LUMBER



**FEEDBACK** 

THE STEPPED EDGE IS NOT WORKING IN THIS SITUATION.

CONCEPT 2: CEDAR DUGOUT CANOES

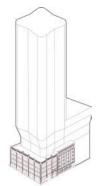


**FEEDBACK** 

PREFERRED OPTION.
THE BOARD SUPPORTS THE 45'
TOWER SEPARATION ASSUMING THE
GRIFFIN BUILDING IS PRESERVED.

### ARC 6 2020-12

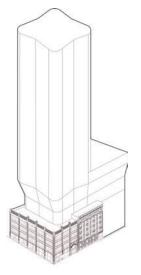
CONCEPT: NEW FORMALISM

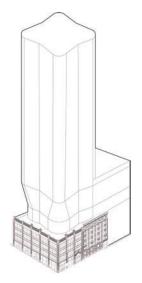


### **FEEDBACK**

- APPRECIATED THE PROPOSED REHABILITATION OF THE LANDMARKS. NEW FORMALISM CONCEPT WAS WELL RECEIVED.
- APPROVED THE INTEGRATION OF BOTH LANDMARKS INTO THE DESIGN, INCLUDING UNDERGROUND PARKING BELOW GRIFFIN.
- APPRECIATED THE FUNCTION OF GRIFFIN AND SHERIDAN REMAINING AS OFFICE AND RESIDENTIAL RESPECTIVELY.
- SUGGESTED STUDYING AN OPTION WITHOUT THE TAPER.
- REQUESTED IMAGERY WITHOUT CLOUDS AND SUN OBSCURING THE DESIGN.

LPB 2 2021-02
CONCEPT 1: CONCEPT 2:
NEW FORMALISM NEW FORMALISM WITHOUT TAPER





G 3

ARC 7 2022-4/

LPB 3 2022-8

EDG 2 EDG 3 2021-6 2022-1

## LPB SUPPORTED FEATURES

### LANDMARK PRESERVATION BOARD PRIORITIES

Separation of tower from landmarks

Setting the tower back from Griffon and tapering the tower at the base allows the Landmarks to maintain their presence in the neighborhood. Express interior volume through Building

The design should imply the sense of the building in the function of the space.

Match Existing Levels of Landmarks

Floors levels should remain the same behind the Landmarks.
These elevations are important at the windows.

A Retain Existing Entry Door of Landmark

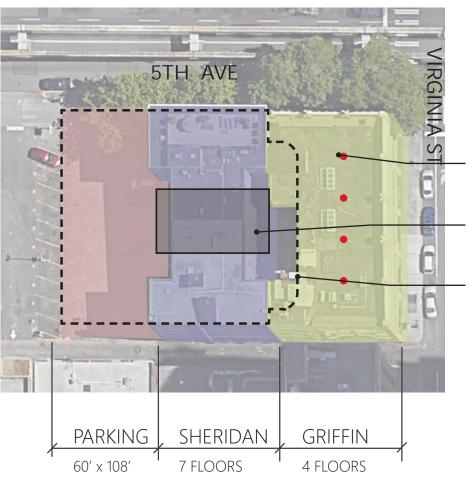
The Landmark buildings should retain their existing entries

5 Create Active Uses within Landmark

There should be active uses filling the space within the Landmark

Obesign should draw inspiration from Landmarks

There is opportunity to reference the existing architecture style, and embrace what came before This can be done by using the the vertical expression and proportion to set up the podium



(1)

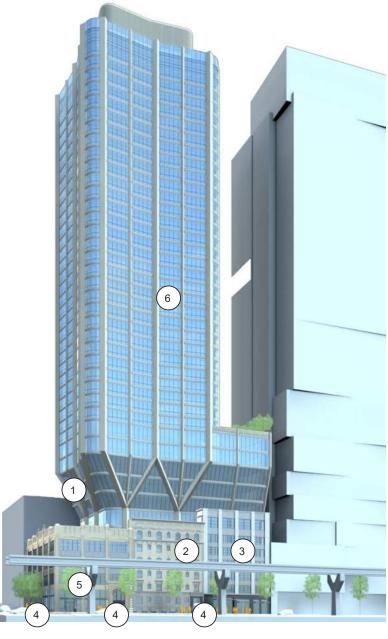
Interpretive reconstruction of columns in Griffin Building to match existing octagon shape, size, and locations

The tower core perfectly fits within the Sheridan property to hold the tower above like a pith of a tree

South edge of the tower base aligned with the existing Griffin light well in order to maintain existing Griffin volume

2

Griffin use remains office space and Sheridan remains residential use, as originally intended.



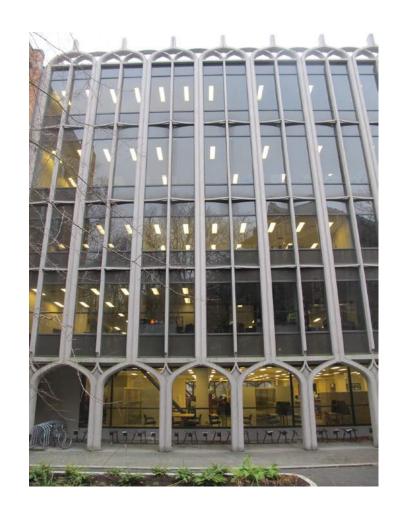
# 03

# EDG #3 SUMMARY

- Design Concept
- Board Supported Features
- EDG 3 Guidance and Response

# DESIGN CONCEPT

NEW FORMALISM



UW SUZZALO ADDITION BY BINDON AND WRIGHT 1963



RAINIER TOWER BY YAMASAKI 1977



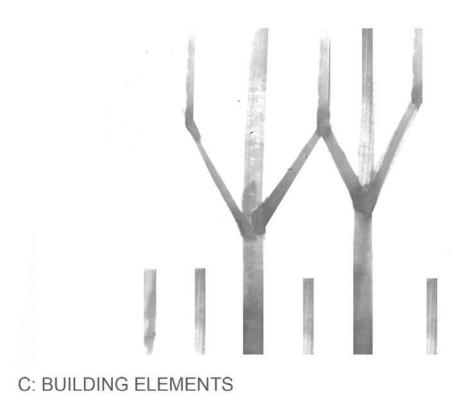
PACIFIC SCIENCE CENTER BY YAMASAKI 1962

- Emerged in the 1950's
- Symmetry
- Rich materials
- Set on a podium
- Designed to achieve modern monumentality
- Embraces classical precedents
- Delicacy of details

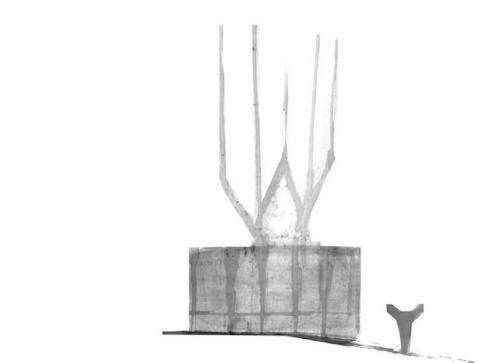
# DESIGN CONCEPT

DESIGN PARTI





B: TREE BRANCH





# BOARD SUPPORTED FEATURES

- 1 Simple and Uniform Building Tower Massing
- New Formalism Tower Expression and Concept
- Tower Placement and Tapered Massing Supported By LPB
- 4 Street-Level Programming and Design
- 5 Supported the height of podium transition

# EDG 3 GUIDANCE AND RESPONSE

ITEM	BOARD GUIDANCE Jan 04, 2022	RESPONSE
1. Podium to Tower Transition	<ul> <li>1.a The Board acknowledged the complex project conditions and that it resulted in the proposed tower location.</li> <li>1.b The Board supported the design to carry elements of the tower language down to the new podium piece. In addition, the Board supported the updated proposed podium height, study of the podium notch and proposed location, and shifting the lobby to better align with the new podium area.</li> </ul>	1. The response to guidance incorporates a revised upper podium element that is set back from the tower form on both the east and west sides. All 4 corners of the tower are now clearly delineated, creating a symmetrical tapered form that is true to the tower's New Formalism design style. Additionally, the new podium piece becomes a liaison between the two towers for a subtle transition and a strong base to support the towers proportionally.
	<ul> <li>1.c The Board emphasized the importance of carrying down the tower form and maintaining the expression of the tower corners at the tower base rather than blending into the podium at the NE corner.</li> <li>1.d The Board suggested the form of the tower maintained, potential solutions might include:         <ul> <li>i. Incorporating a gasket between the tower and podium and/or</li> <li>ii. Setting back the podium to allow the corners to be better expressed GUIDANCE</li> </ul> </li> </ul>	
2. Tower Massing and Separation	<ul> <li>2.a The Board supported the massing of the tower.</li> <li>2.b The Board supported the tower separation of 60' if the purity of the tower form was resolved at the podium transition.</li> <li>2.c The Board required the window overlay privacy study of how proposed windows will be located in comparison to residential buildings adjacent to the site.</li> </ul>	2. As the board recommended, a window overlay study was conducted and can be found on page 28 and 29. The study illustrates the relationship between the north façade of 2005 5th Avenue and the south façade of the 5th and Lenora project. The facades are separated by 60' in the north-south direction and there is about 5' difference between the floor levels of the two projects. This staggering of the floor-to-floor relationships, in addition to the indented façade and rounded corners of the 2005 5th Avenue tower proposal serves to mitigate the issue of direct visual access between the two towers.
3. Tower Terminus (Roof)	3.a The Board supported the direction of the refined tower terminus.  SUPPORTED  The Board required the clarification on how the <b>final materials</b> will be applied, considering solid to glass composition, placement and material of vertical elements, and final lighting details.  GUIDANCE	3. Per the board's request, added design detail has been included showing the material P46 makeup of the curtain wall, finial design, and mechanical screening at the tower terminus. In addition, a lighting concept design has been added showing the design intent and fixture selection that highlights the tower terminus.
4. Streetscape and Alley	4.a The Board supported the street-level programming and design.  SUPPORTED  4.b The Board required additional information from SDCI, SDOT and SPU.	4. Current loading and trash layout has been approved by SPU. SIP 60% has been P30-33 submitted.
5. Materials	5.a The Board supported the general direction of the materials shown in the packet. SUPPORTED  5.b The Board required clarification on <b>final material selection and placement</b> , the final glazing will include more solid or spandrel areas, which should be clearly depicted in the final images and elevations.  GUIDANCE	5. Per the board's request, added detail has been included showing the material makeup of the tower curtain wall and podium facades. In addition, a lighting concept design has been added showing the design intent and fixture selection for the historic facades, the new streetscape, and the tapered tower base.

# 04

# DESIGN UPDATES

- Design Updates Focus
- Podium to Tower Transition
- Window Overlay Study
- Alley Side Study
- Materials Study
- Lighting Study
- Signage



# DESIGN UPDATES FOCUS

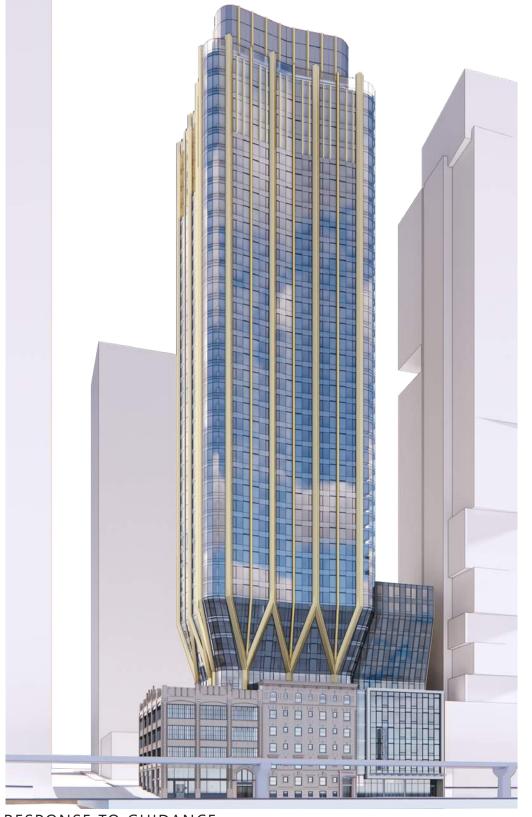
- Podium to Tower Transition
- Window Overlay Analysis
- Alley Side Design
- Materials Selection and Placement
- Teminus Material Design and Lighting

# DESIGN UPDATE FOCUS

RESPONSE TO GUIDANCE OVERVIEW



EDG 3 DESIGN



RESPONSE TO GUIDANCE

## PODIUM TO TOWER TRANSITION

### **GUIDANCE 1**

#### MASSING-PODIUM

1.d

The Board suggested potential solutions might include:

- i. Incorporating a gasket between the tower and podium and/or
- ii. Setting back the podium to allow the corners to be better expressed

### RESPONSE

The response to guidance incorporates a revised upper podium element that is set back from the tower form on both the east and west sides. All 4 corners of the tower are now clearly delineated, creating a symmetrical tapered form that is true to the tower's New Formalism design style. Additionally, the new podium piece becomes a liaison between the two towers for a subtle transition and a strong base to support the towers proportionally.

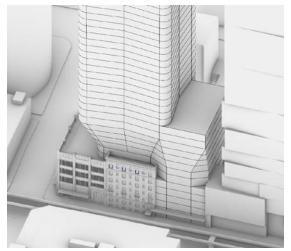
### **DESIGN GUIDELINES**

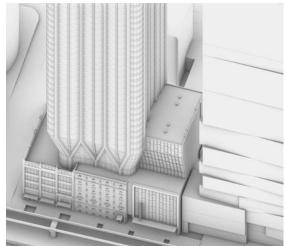
**EDG 3 DESIGN** 

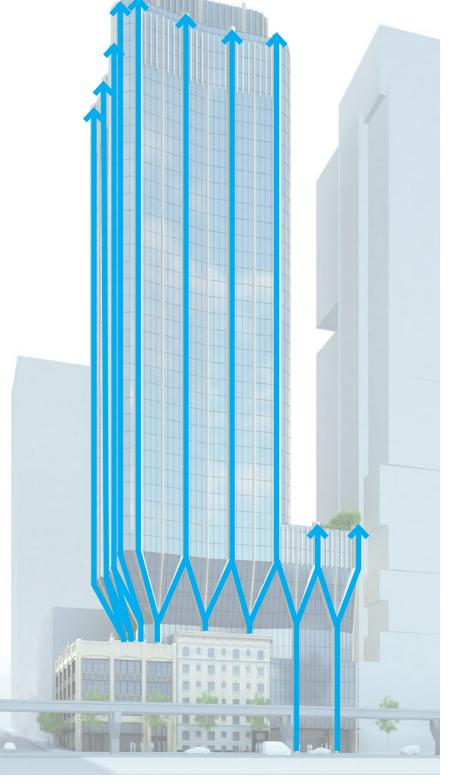
B.2 Create a transition in bulk and scale

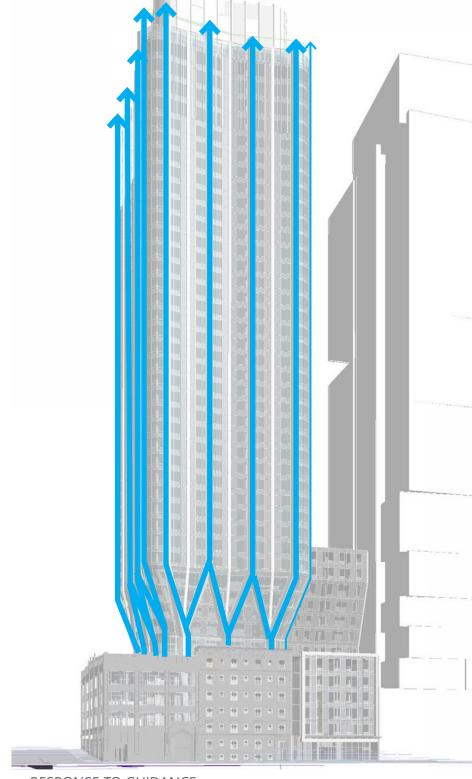
B.4 Design a well-proportioned and unified building

C.6.C. Architectural concept









EDG 3 DESIGN

RESPONSE TO GUIDANCE

**RESPONSE TO GUIDANCE** 

# WINDOW OVERLAY

### **GUIDANCE 2**

### WINDOW

2.c

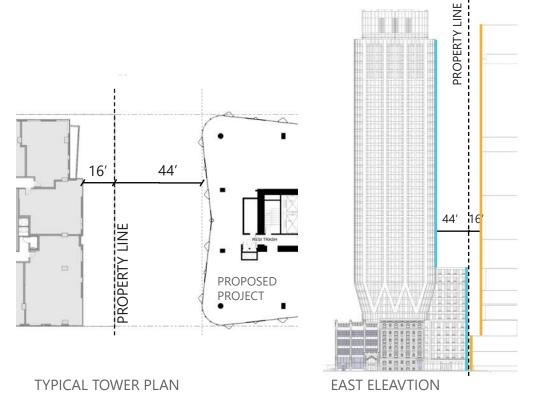
The Board would like to see window overlay privacy studies, demonstrating how proposed windows will be located in comparison to residential buildings adjacent to the site

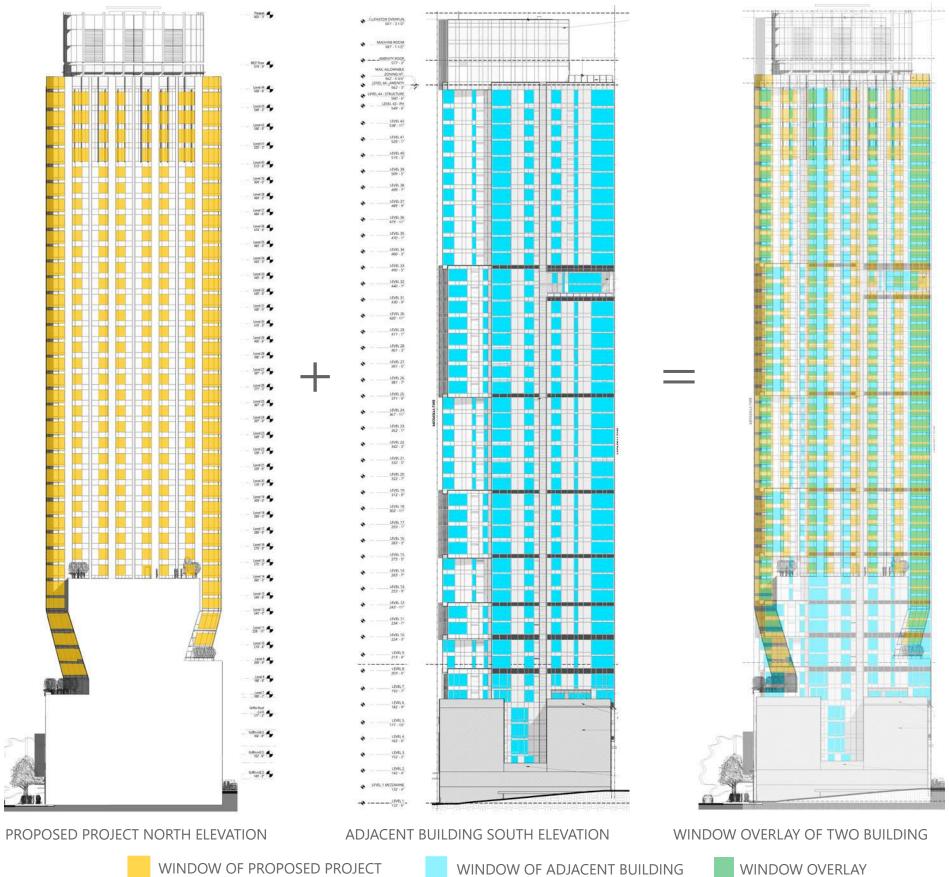
### RESPONSE

The study illustrates the relationship between the north façade of 2005 5th Avenue and the south façade of the 5th and Lenora project. The facades are separated by 60' in the north-south direction and there is about 5' difference between the floor levels of the two projects. This staggering of the floor-tofloor relationships, in addition to the indented façade and rounded corners of the 2005 5th Avenue tower proposal serves to mitigate the issue of direct visual access between the two towers.

#### **DESIGN GUIDELINES**

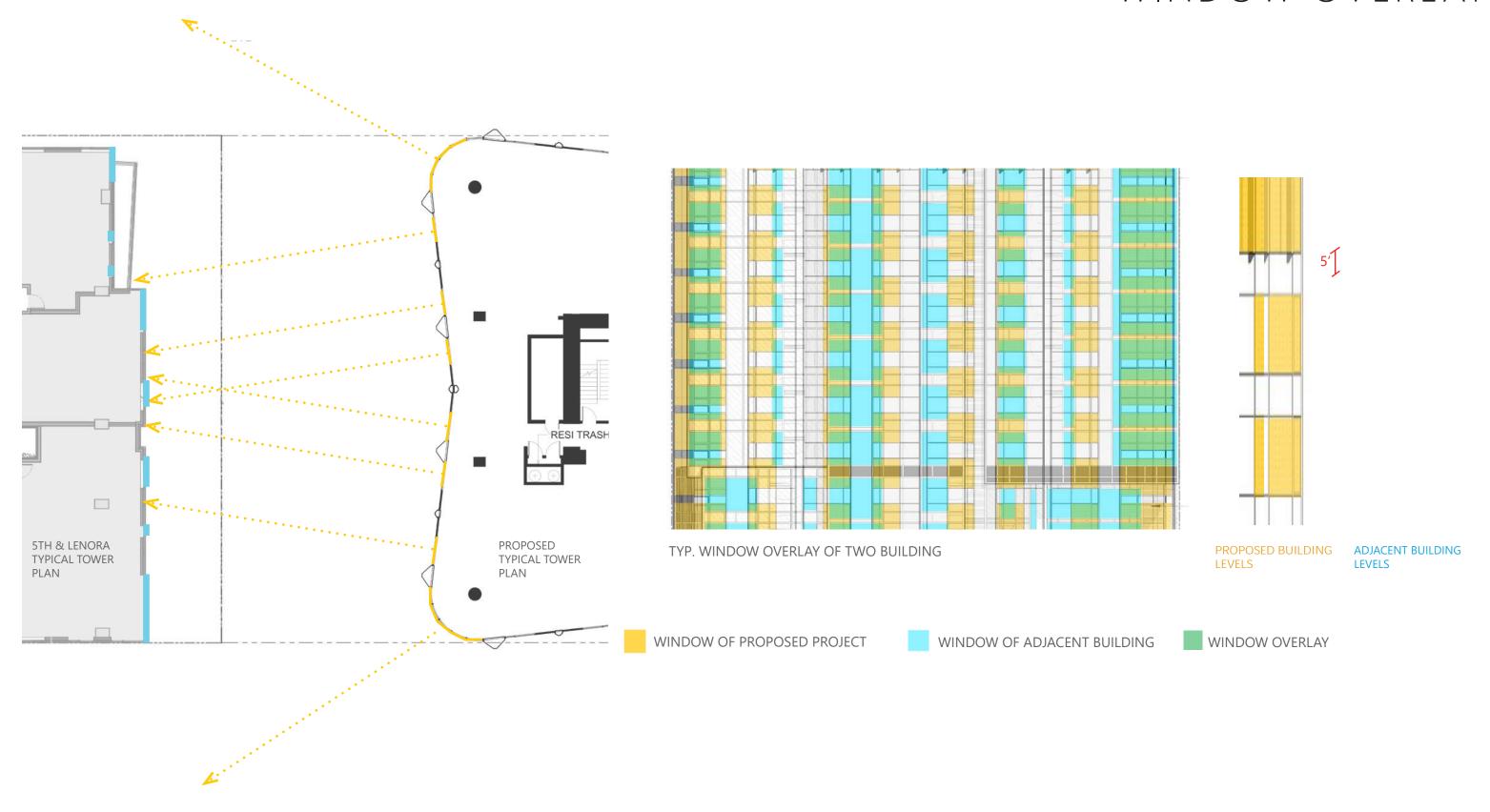
B-2.2. Compatibility with Nearby Buildings





JRES | EXCEPTIONS

# WINDOW OVERLAY



29

### GUIDANCE 3

### **ALLEY SIDE**

4.b

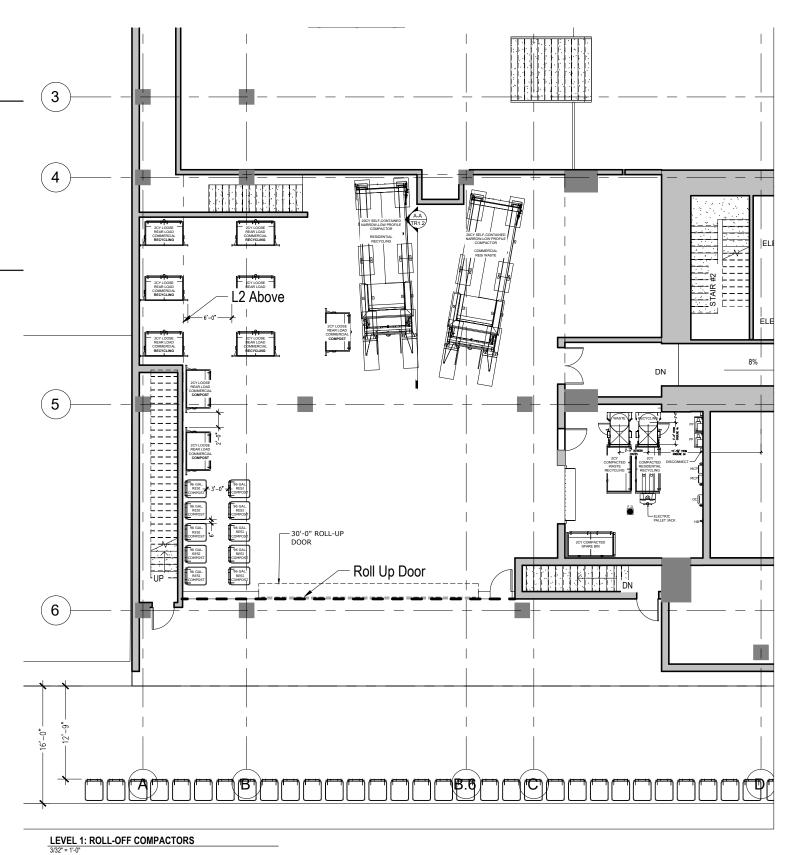
The Board required additional information from SDCI, SDOT and SPU.

### RESPONSE

Current loading and trash layout has been approved by SPU. SIP 60% has been submitted.

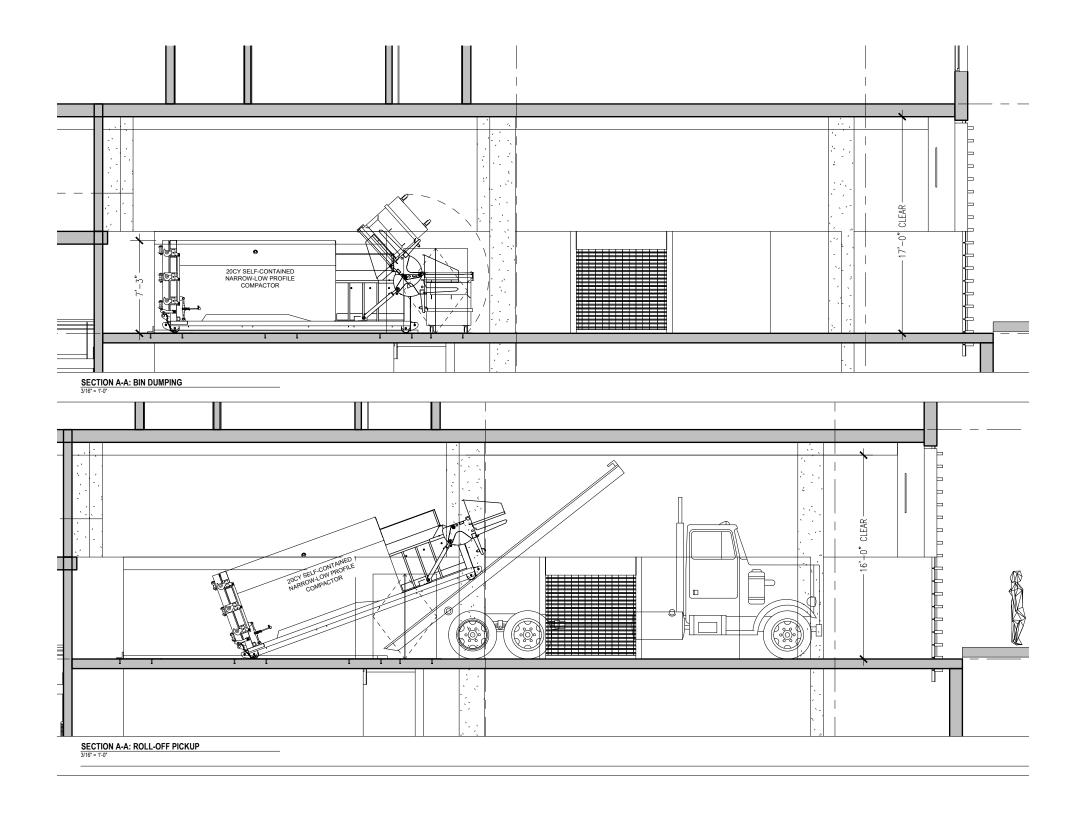
### **DESIGN GUIDELINES**

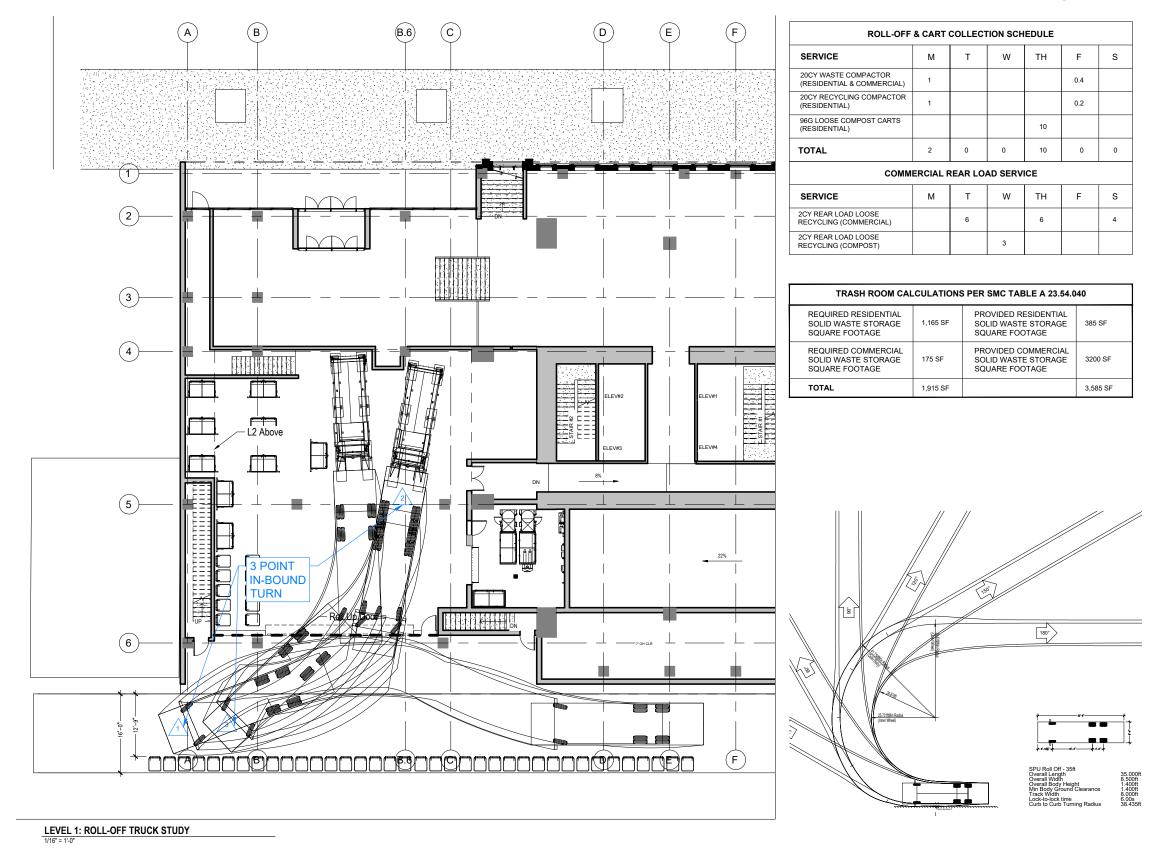
C-6 Develop the Alley Façade

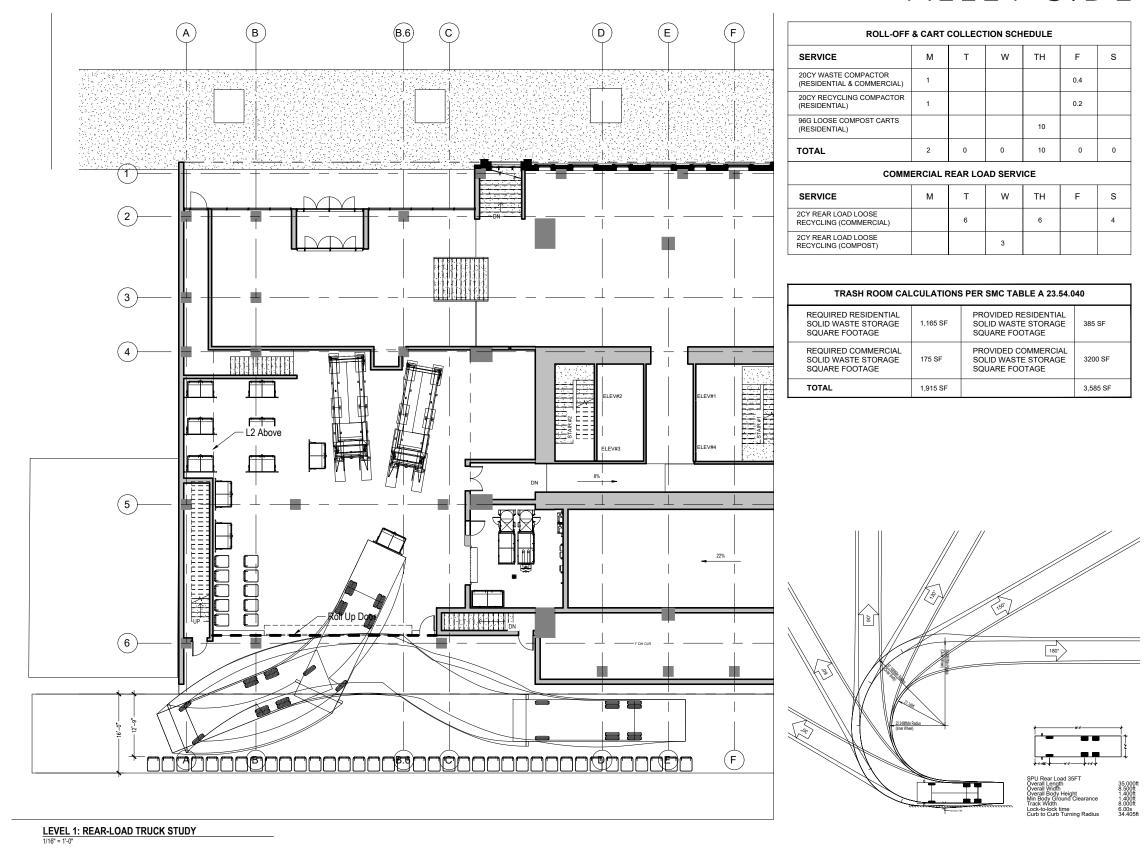


ROLL-OFF & CART COLLECTION SCHEDULE							
SERVICE	М	Т	w	TH	F	S	
20CY WASTE COMPACTOR (RESIDENTIAL & COMMERCIAL)	1				0.4		
20CY RECYCLING COMPACTOR (RESIDENTIAL)	1				0.2		
96G LOOSE COMPOST CARTS (RESIDENTIAL)				10			
TOTAL	2	0	0	10	0	0	
COMMERCIAL REAR LOAD SERVICE							
SERVICE	М	Т	W	TH	F	s	
2CY REAR LOAD LOOSE RECYCLING (COMMERCIAL)		6		6		4	
2CY REAR LOAD LOOSE RECYCLING (COMPOST)			3				

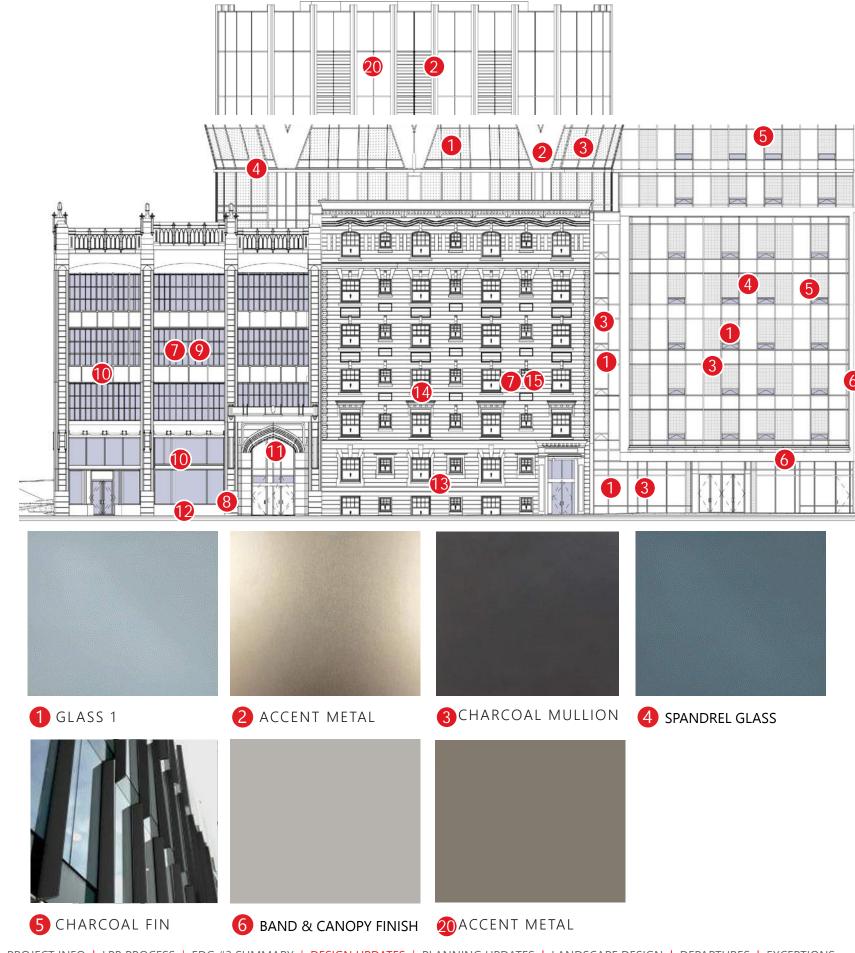
TRASH ROOM CALCULATIONS PER SMC TABLE A 23.54.040					
REQUIRED RESIDENTIAL SOLID WASTE STORAGE SQUARE FOOTAGE	1,165 SF	PROVIDED RESIDENTIAL SOLID WASTE STORAGE SQUARE FOOTAGE	385 SF		
REQUIRED COMMERCIAL SOLID WASTE STORAGE SQUARE FOOTAGE	175 SF	PROVIDED COMMERCIAL SOLID WASTE STORAGE SQUARE FOOTAGE	3200 SF		
TOTAL	1,915 SF		3,585 SF		

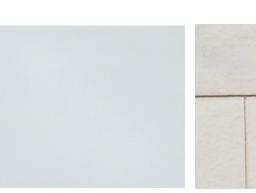




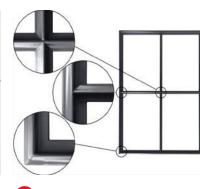


### MATERIAL STUDY 5TH AVENUE









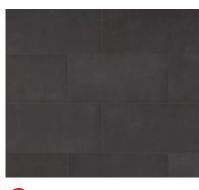


8 EXISTING TERRACOTTA

9 CHARCOAL MULLION











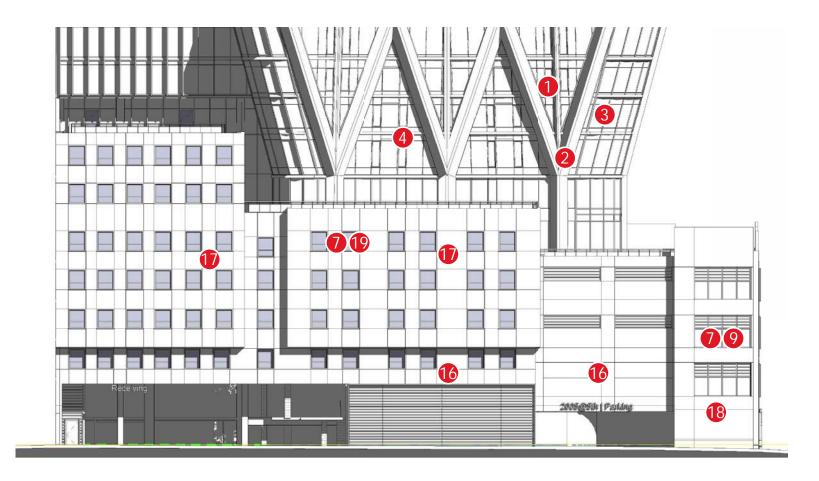


13 EXISTING TERRACOTTA

4 EXISTING TERRACOTTA

**15** WOOD FRAME WINDOW

# MATERIAL STUDY

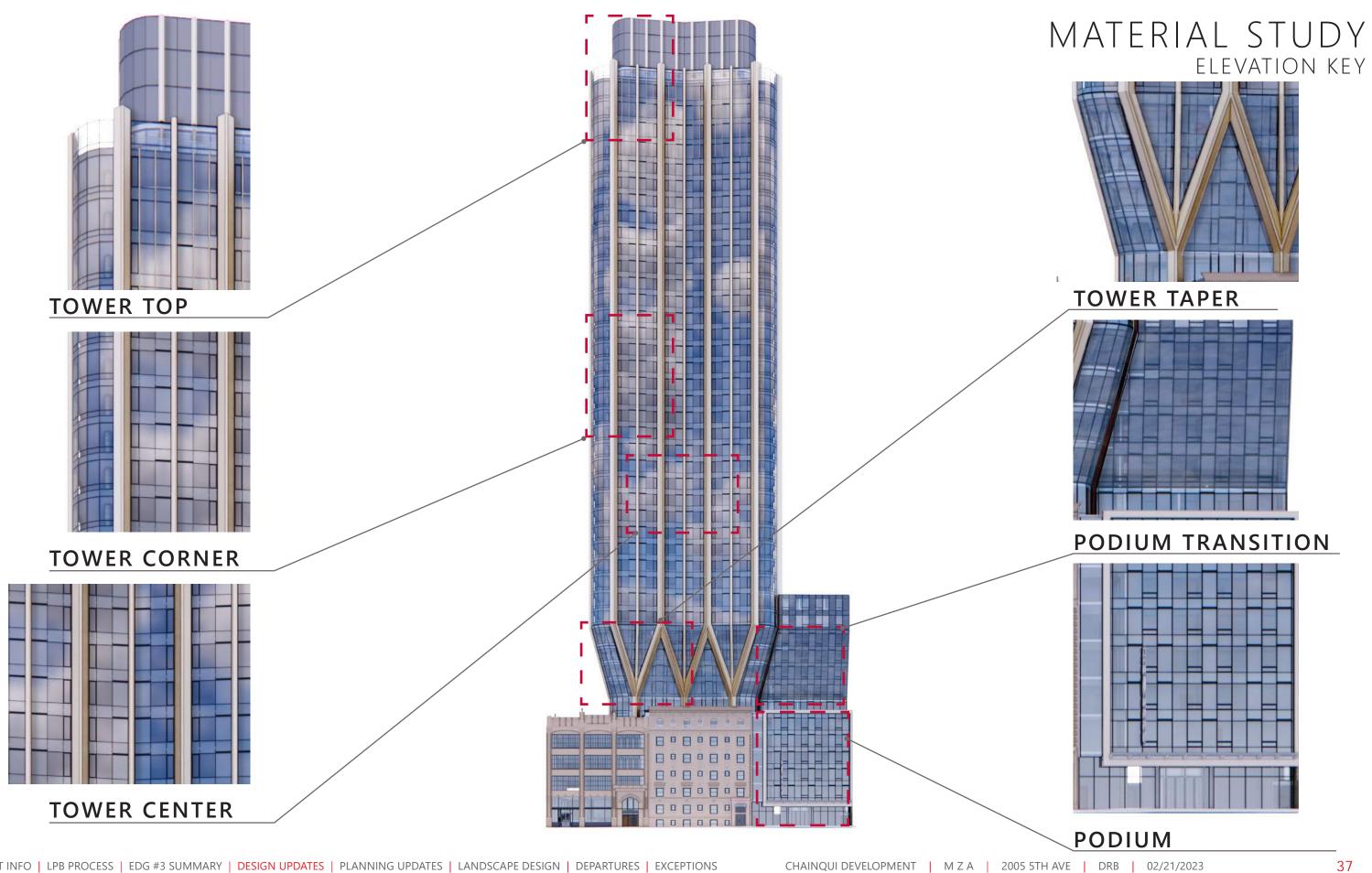




# MATERIAL BOARD

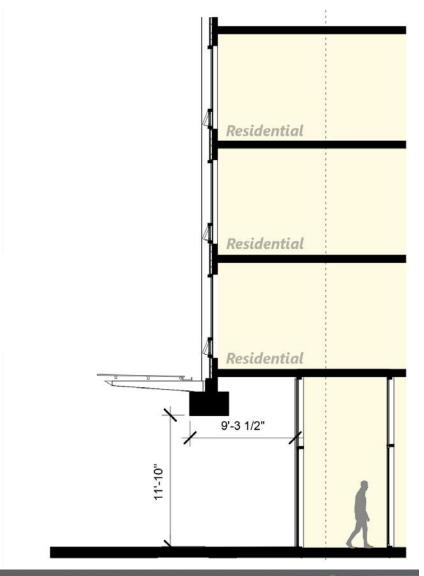


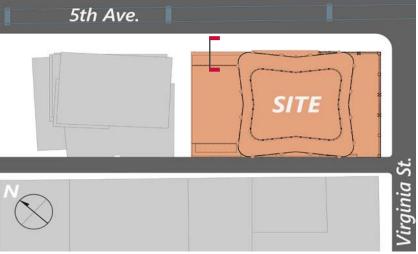
Number in DRB	Product Colors	Name/Reference Number
1-Glass 1		Guardian SunGuard
2-Accent Metal		PPG Duranar Micas Metal Coating
3,5,9,15-Charcoal	Charcoal	PPG Duranar Solid Metal Coating
4-Spandrel Glass	Warm gray	Guardian Deco HT
6-Band and Canopy Finish	Moondust mica	PPG Duranar Micas Metal Coating
7-Glass 2	SN 68	Guardian SunGuard
12-Black Tile	Black	Black Square Glossy Ceramic Tile, 1"x1" and 4"x4"
16-Stone Like Finish	Sand72	GFRC Panel
17-Stone Like Finish	Bone78	GFRC Panel
18-Stone Like Finish	White87	GFRC Panel
20-Accent Metal	Driftwood mica	PPG Duranar Micas Metal coating
		_



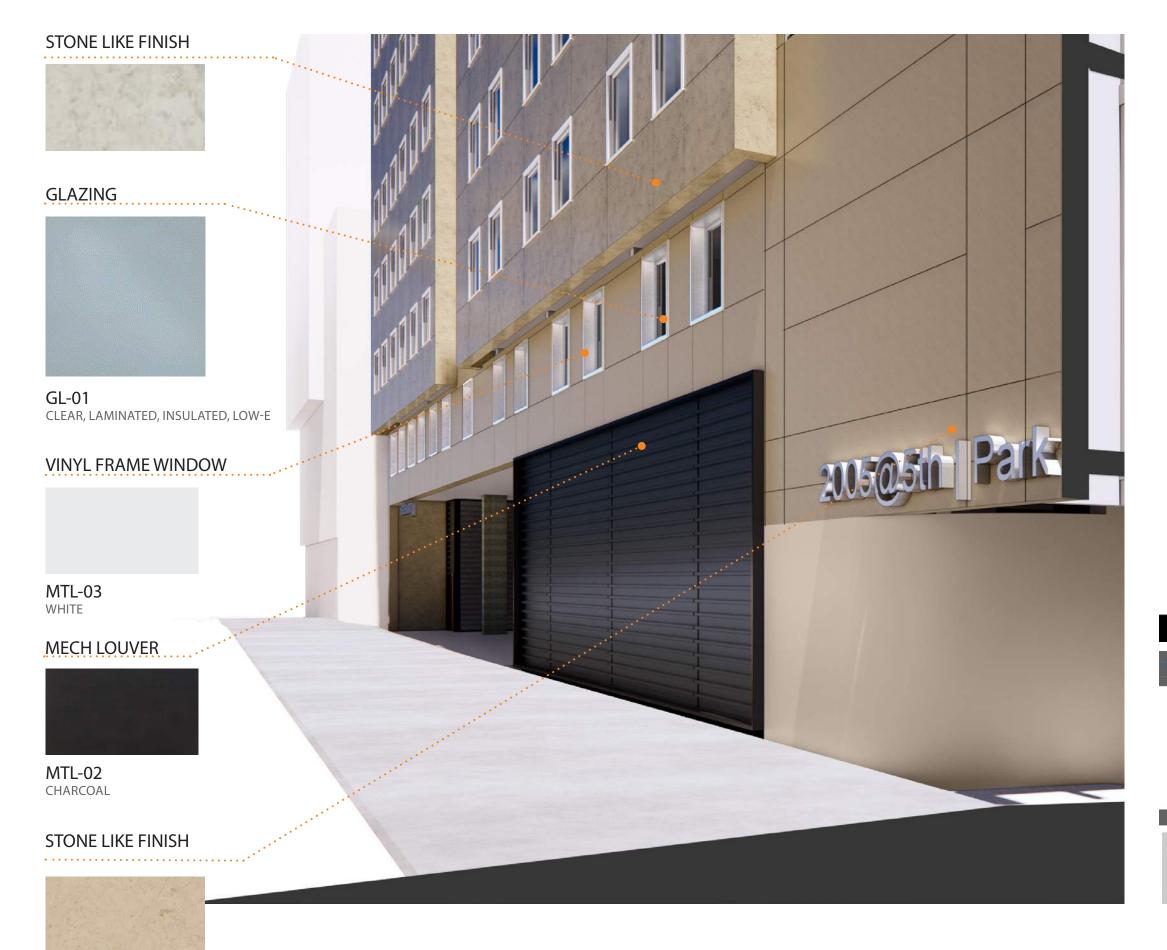


#### MATERIAL STUDY NORTH EAST ENTRY

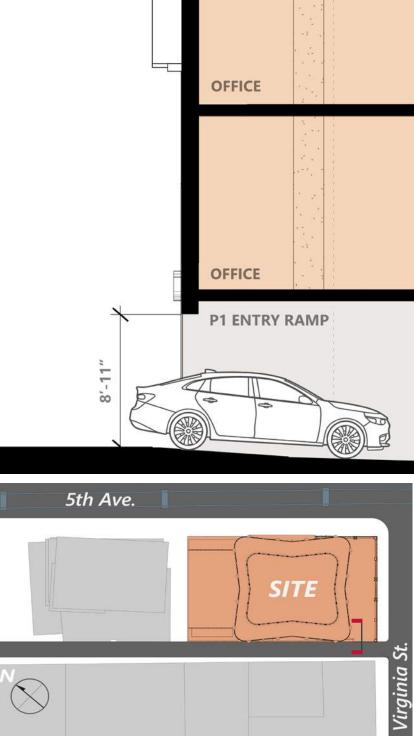


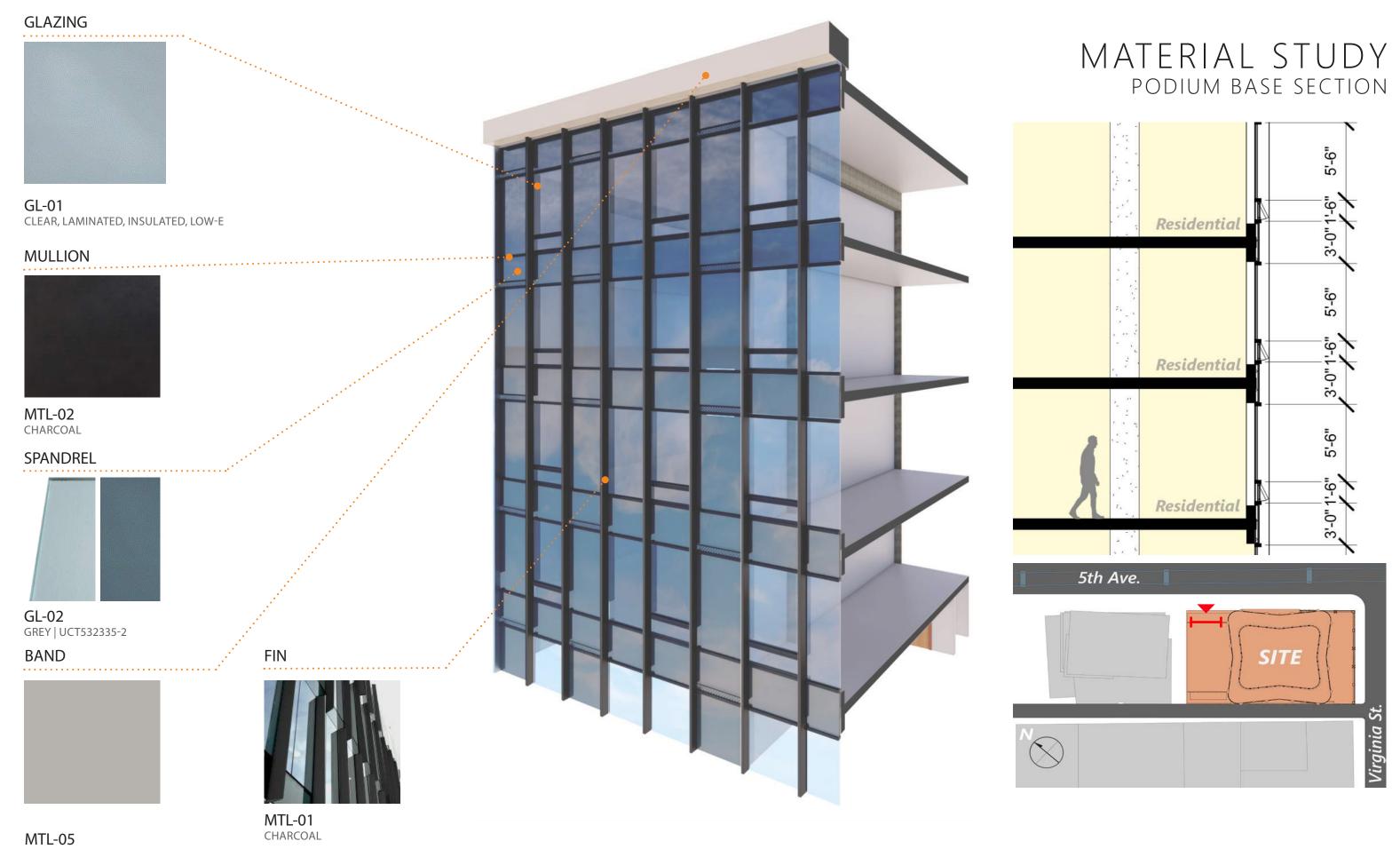






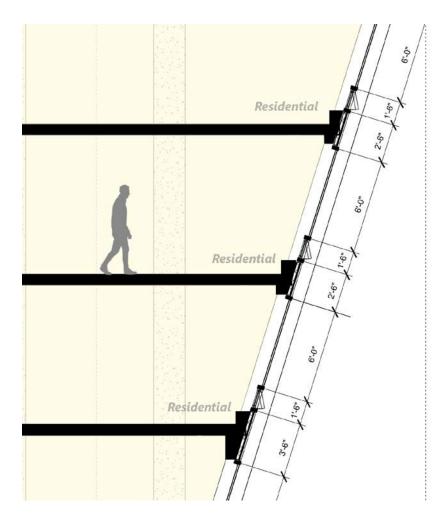
# MATERIAL STUDY ALLEY RAMP ENTRY





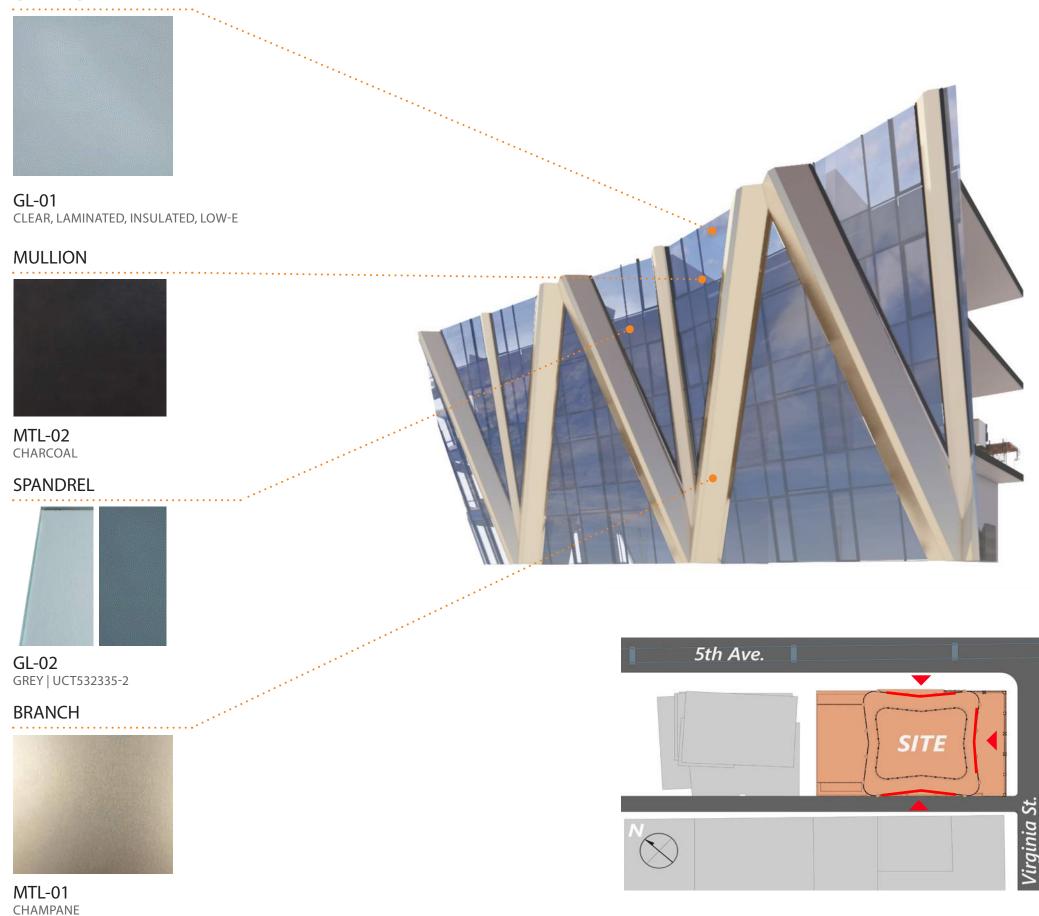
# GLAZING GL-01 CLEAR, LAMINATED, INSULATED, LOW-E MULLION MTL-02 CHARCOAL SPANDREL GL-02 GREY | UCT532335-2 FIN MTL-01 CHARCOAL

# MATERIAL STUDY PODIUM TOP SECTION

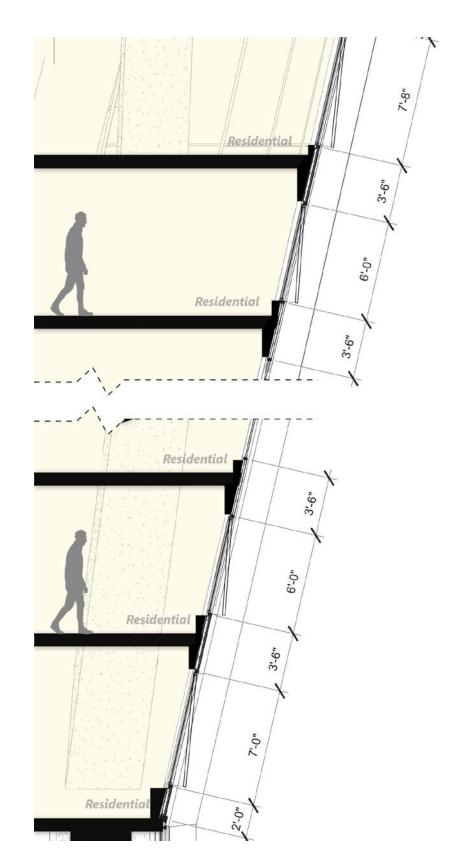




#### GLAZING

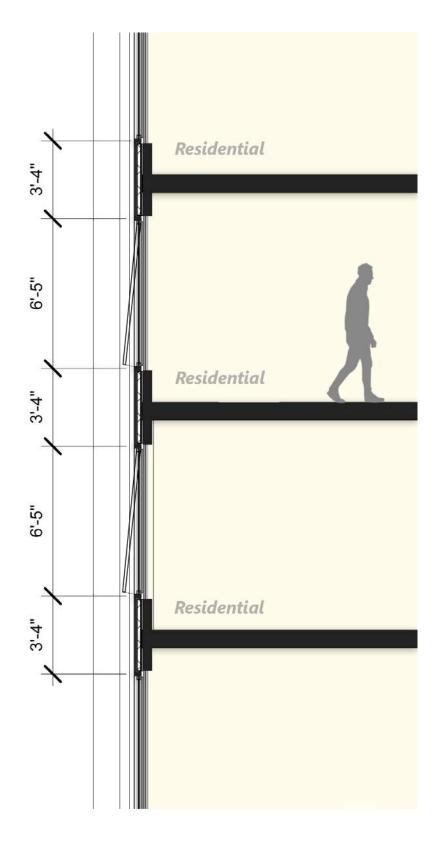


#### MATERIAL STUDY TOWER TAPERED SECTION



# GLAZING GL-01 CLEAR, LAMINATED, INSULATED, LOW-E MULLION MTL-02 CHARCOAL SPANDREL 5th Ave. GL-02 GREY | UCT532335-2 **BRANCH**

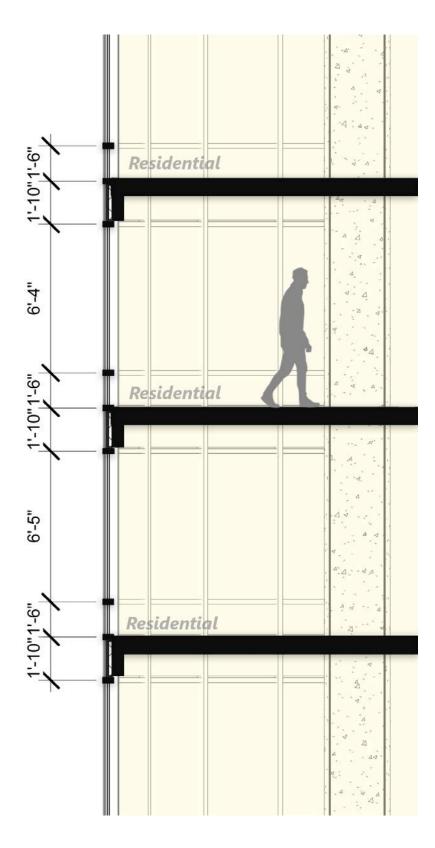
# MATERIAL STUDY TOWER MID SECTION



MTL-01 CHAMPANE

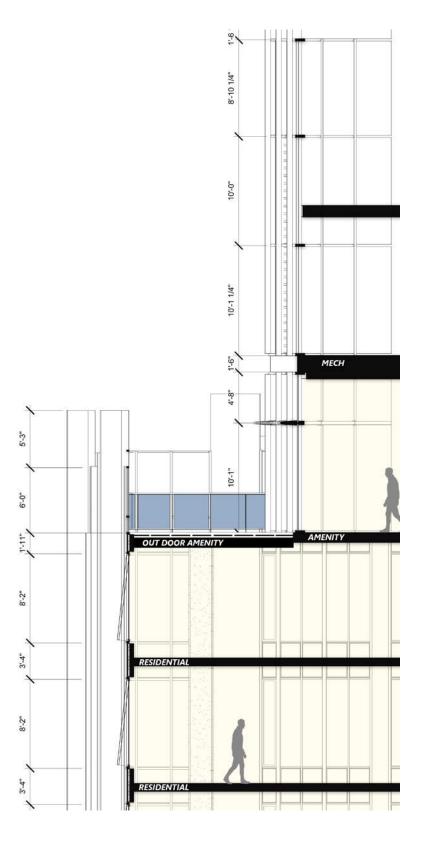
# GLAZING GL-01 CLEAR, LAMINATED, INSULATED, LOW-E MULLION MTL-02 CHARCOAL SPANDREL 5th Ave. GL-02 GREY | UCT532335-2 **BRANCH** MTL-01 CHAMPANE

# MATERIAL STUDY TOWER CORNER SECTION



# **MECH PANEL** MTL-04 DARK BEIGE GLAZING GL-01 CLEAR, LAMINATED, INSULATED, LOW-E MULLION 5th Ave. MTL-02 CHARCOAL **BRANCH SPANDREL** GL-02 MTL-01 CHAMPANE GREY | UCT532335-2

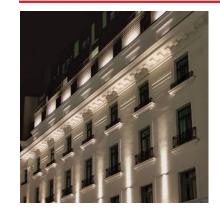
# MATERIAL STUDY TOWER TOP SECTION



# LIGHTING STUDY



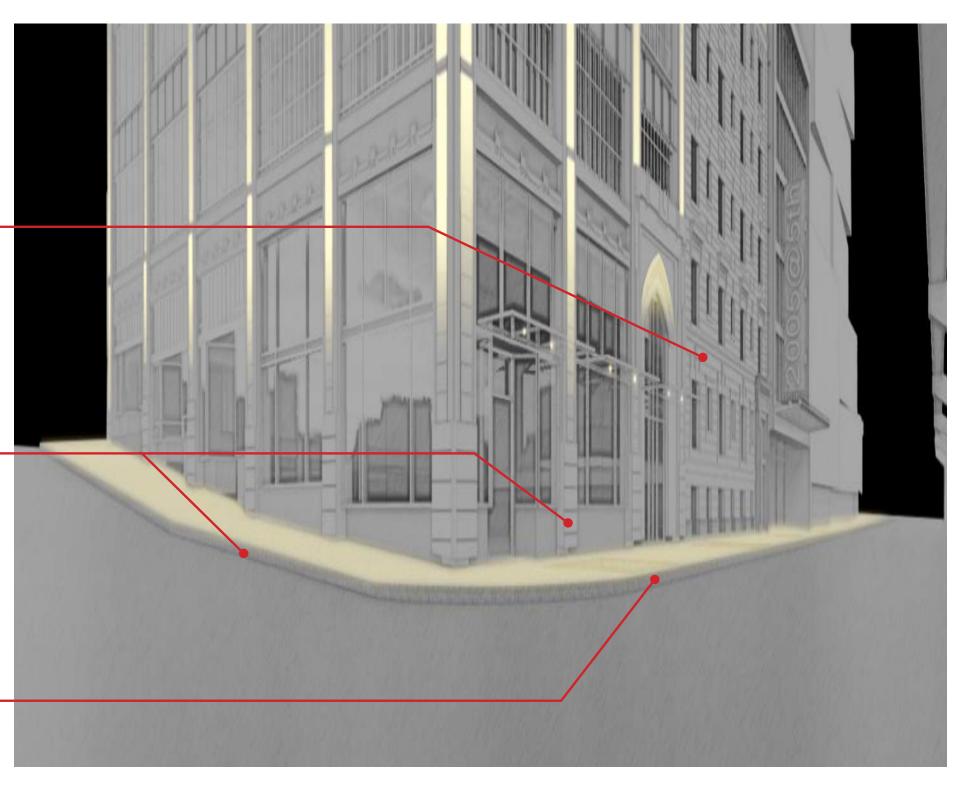
UPLIGHTS INBETWEEN WINDOWS TO ILLUMINATE CORNICE



UP/DOWN LIGHTS TO ILLUMINATE TERRACOTTA PILLARS AND SIDE WALK

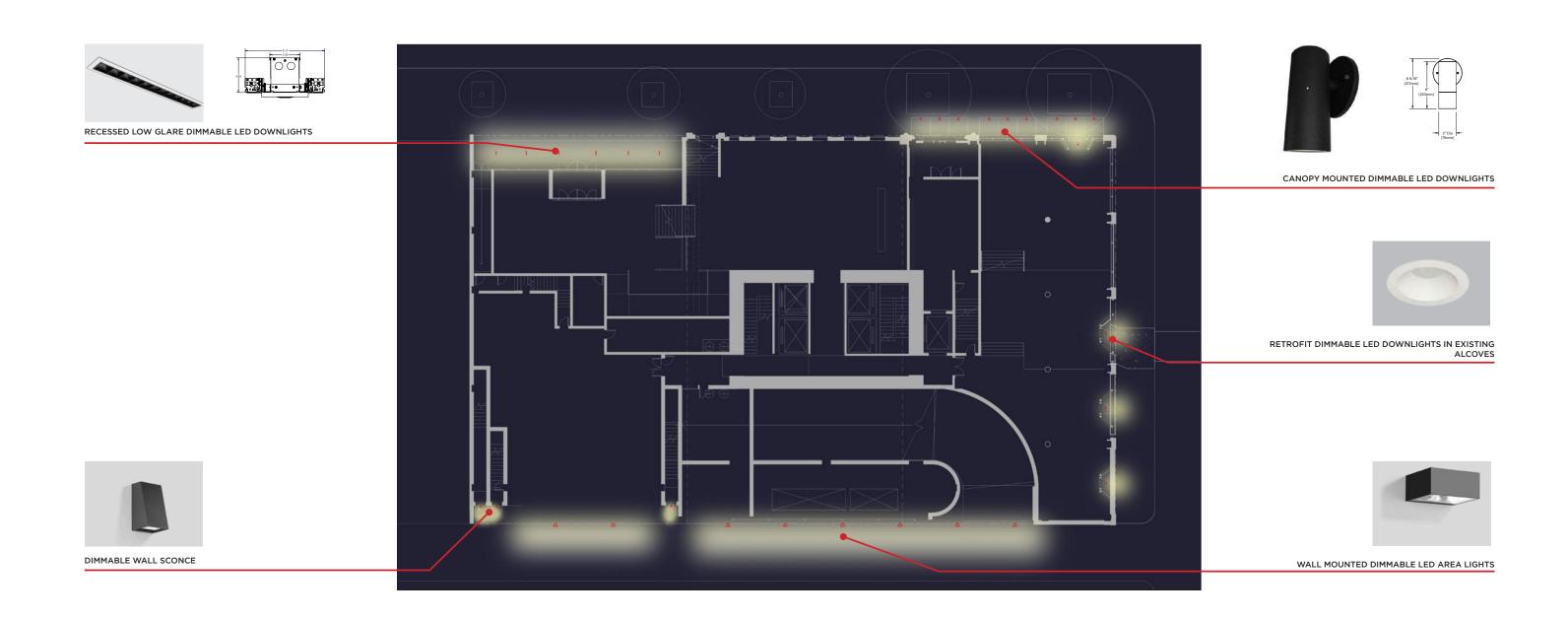


CANOPY MOUNTED LINEAR UPLIGHT TO HIGHLIGHT ARCH



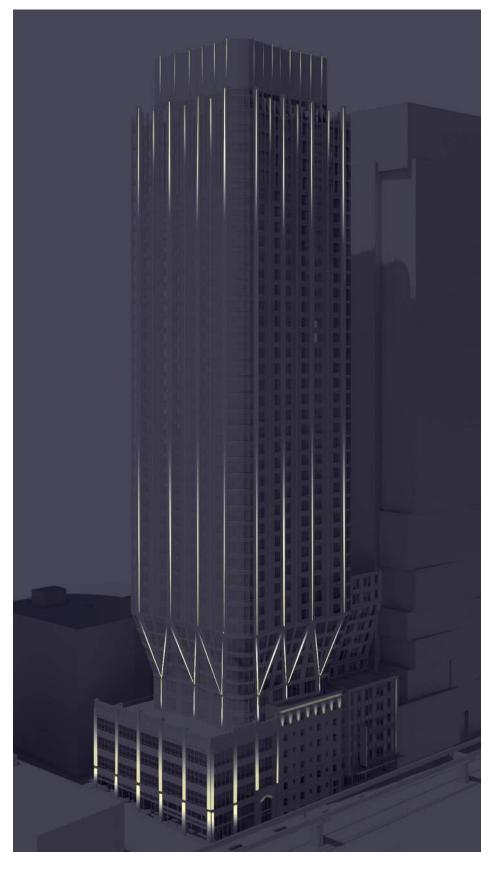


# LIGHTING STUDY





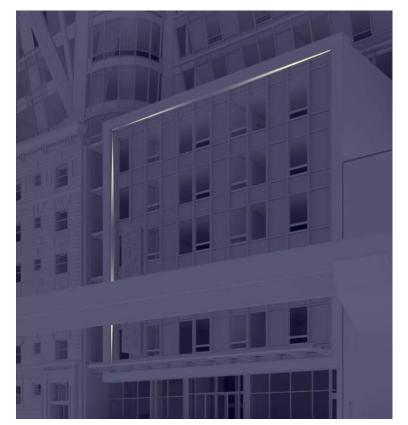
### LIGHTING STUDY



#### **TOWER LIGHTING**

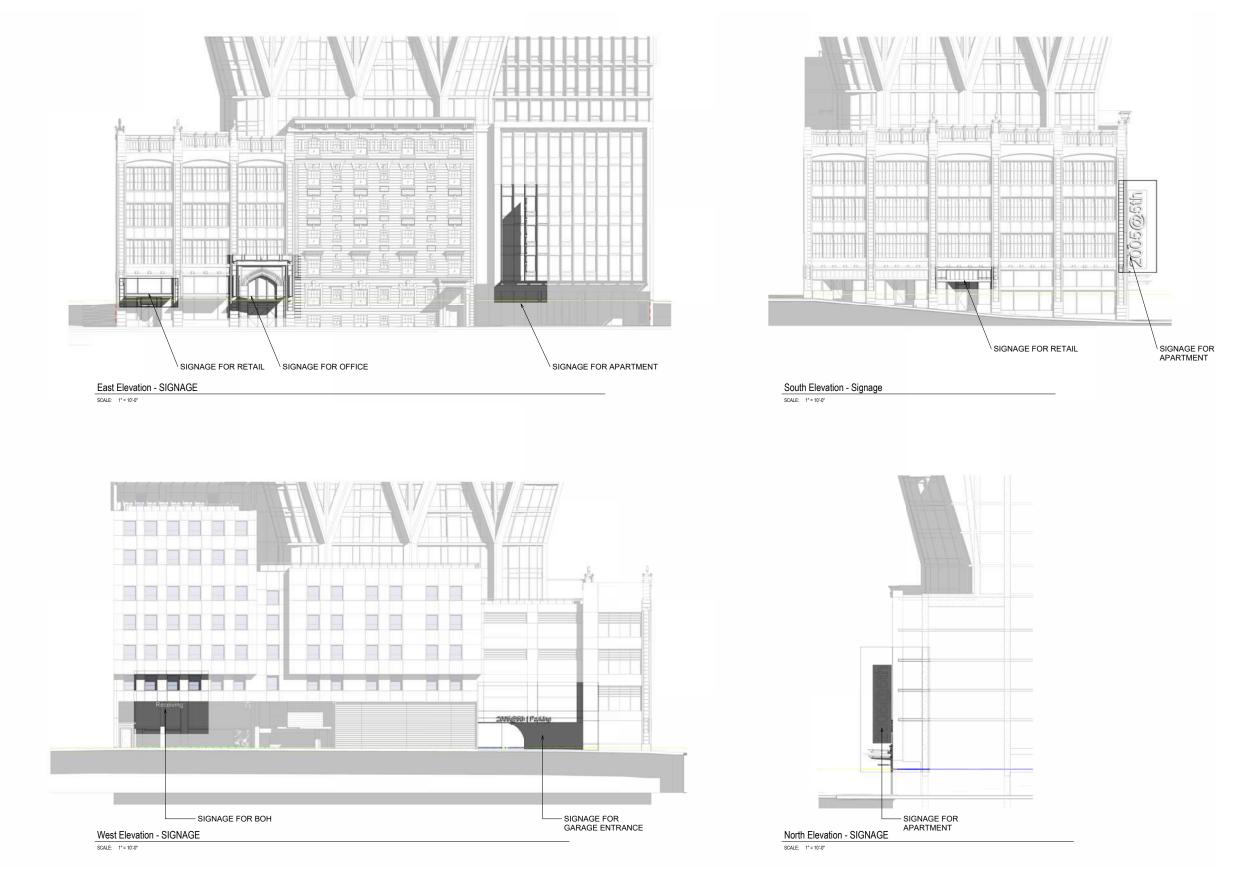
SUBTLE ACCENTING OF BRANCHES AND STRUCTURAL FINS
- REINFORCES THE VERTICALITY OF THE TOWER, WHILE
DRAWING FOCUS TO THE BASE AND TERMINOUS.
-HIGHLY FOCUSABLE LIGHT FIXTURES WILL CONTAIN LIGHT
TO JUST THE ARCHITECTURAL FEATURES AND NOT IMPACT
NEIGHBORING RESIDENTS

LOWRISE FACADE LIGHTING
SUBTLE ACCENTING OF FRAME USING HIGHLY
FOCUSED LIGHT FIXTURES





### SIGNAGE



# 05

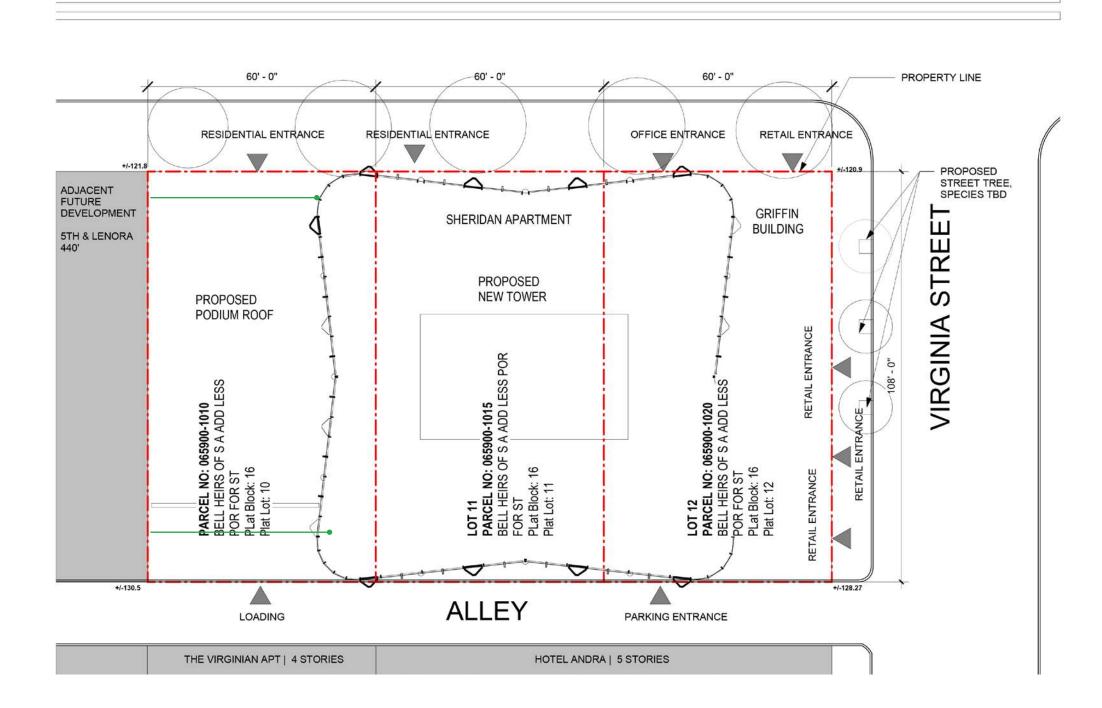
# PLANNING UPDATES

- Massing Overview
- Site Plan
- Floor Plans
- Elevations
- Sections
- Renderings

### MASSING OVERVIEW

#### **5TH AVENUE**

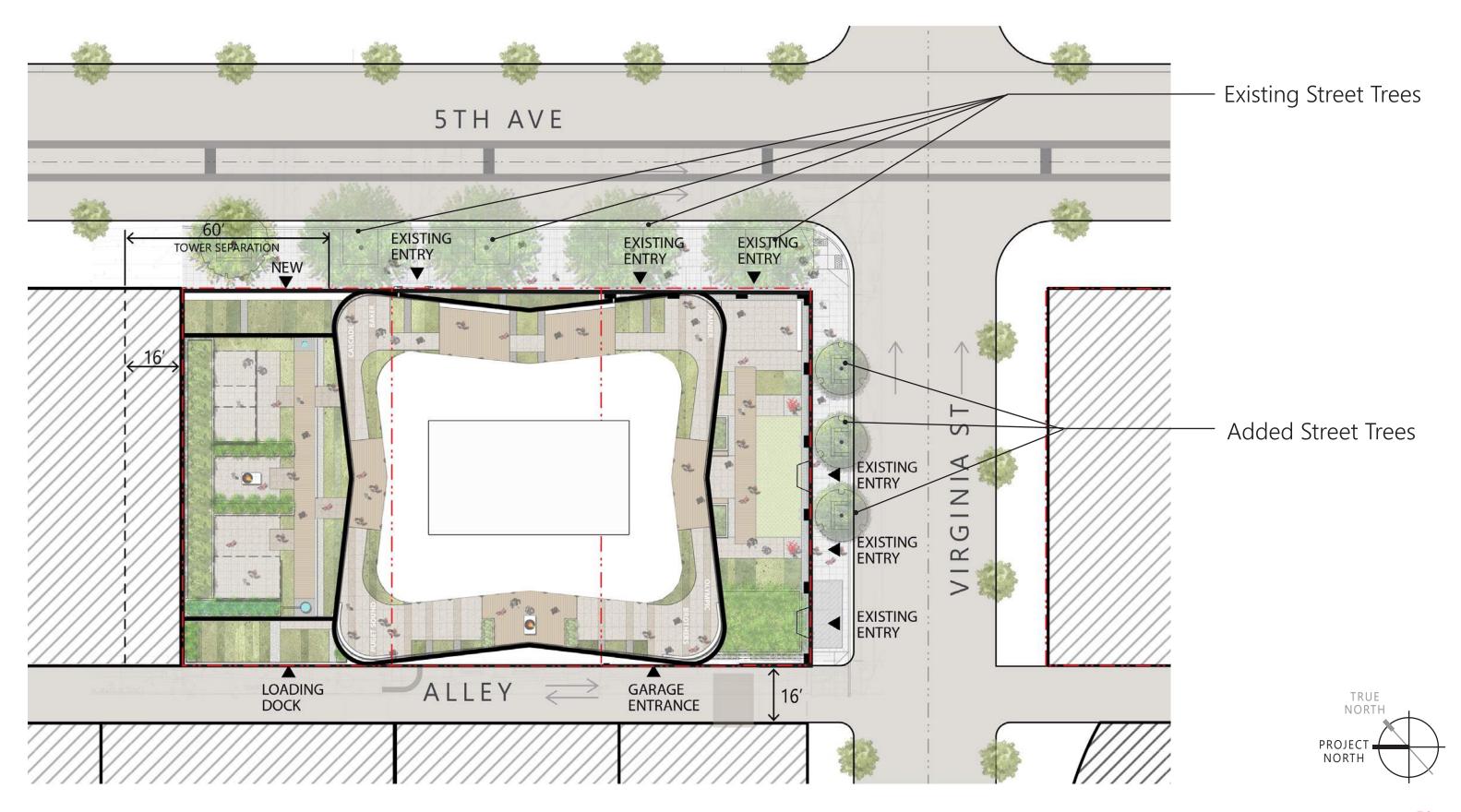
STREET ADDRESS: 2005 5TH AVE
OWNER: CHAINQUI DEVELOPMENT

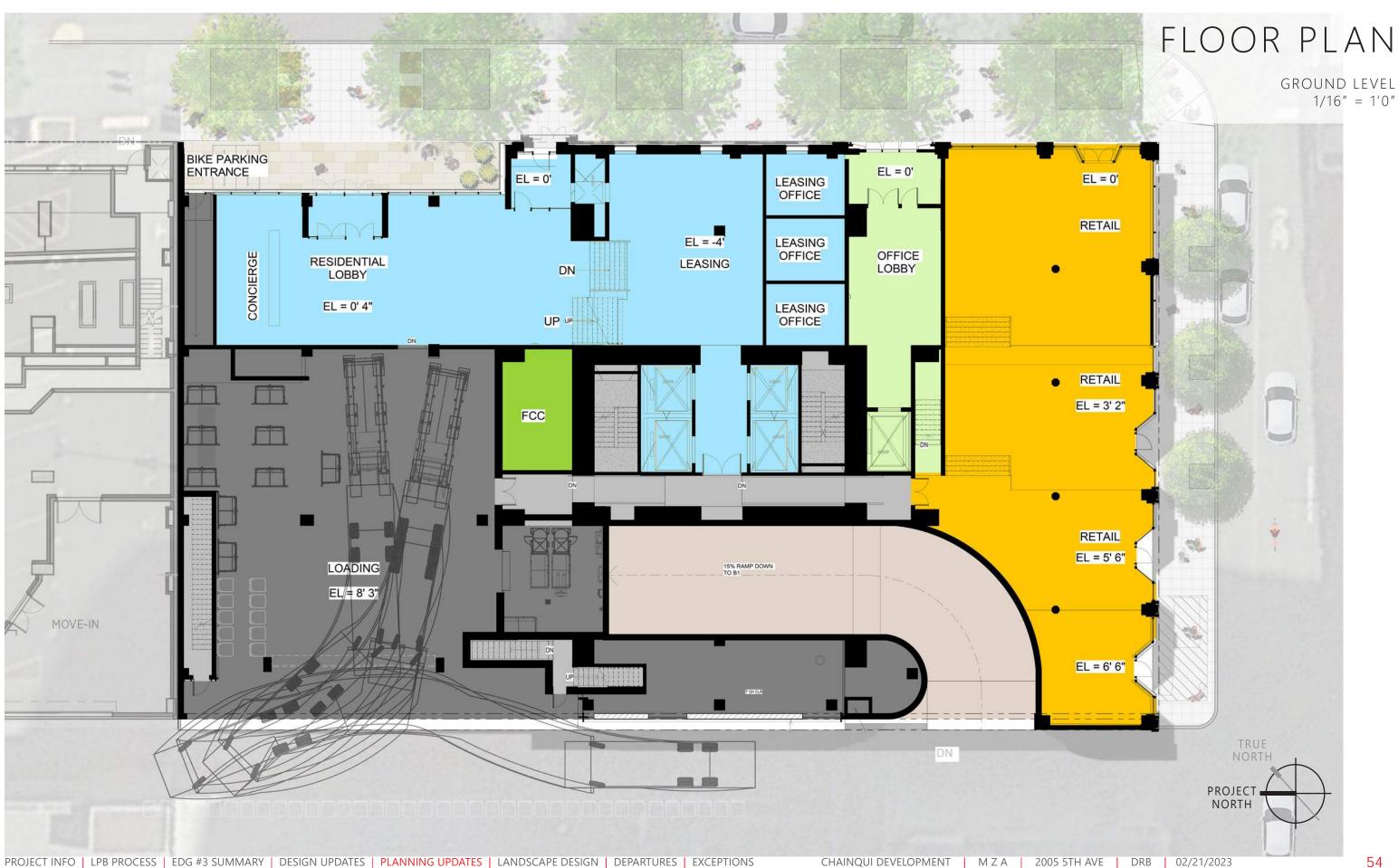




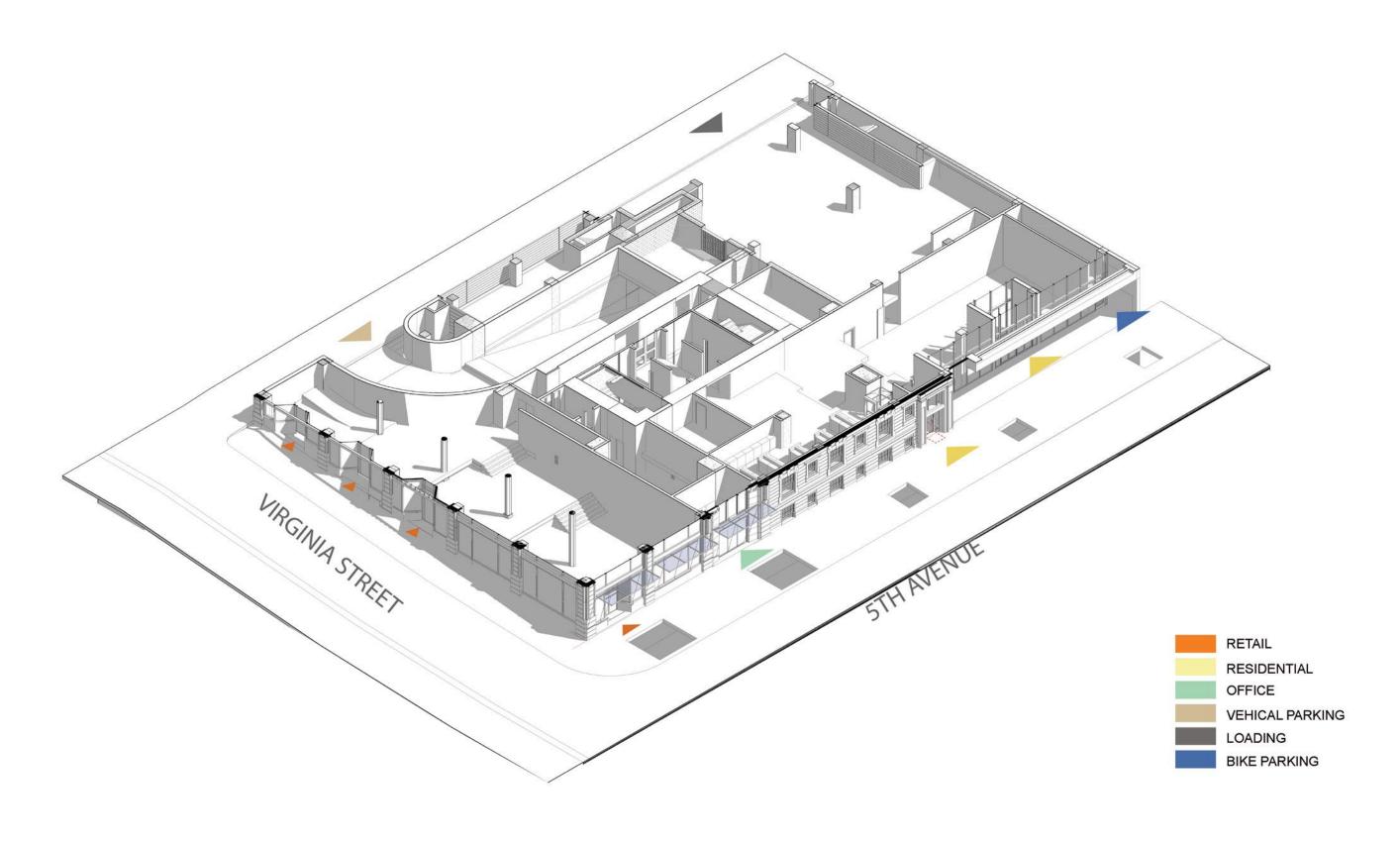


### SITE PLAN



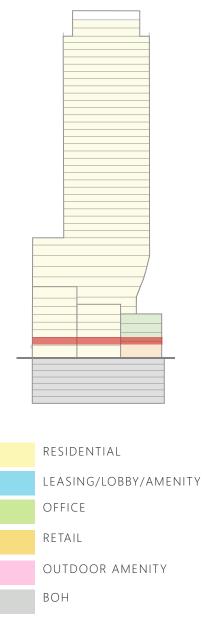


# PODIUM ISOMETRIC DIAGRAM

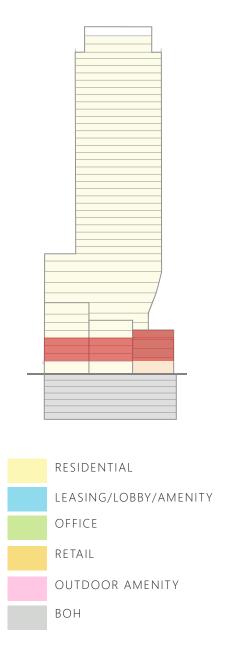








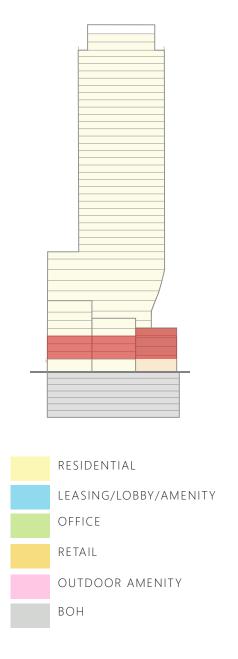




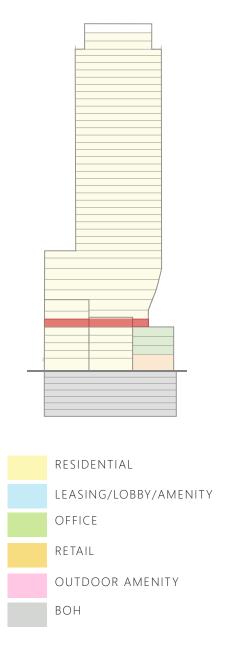


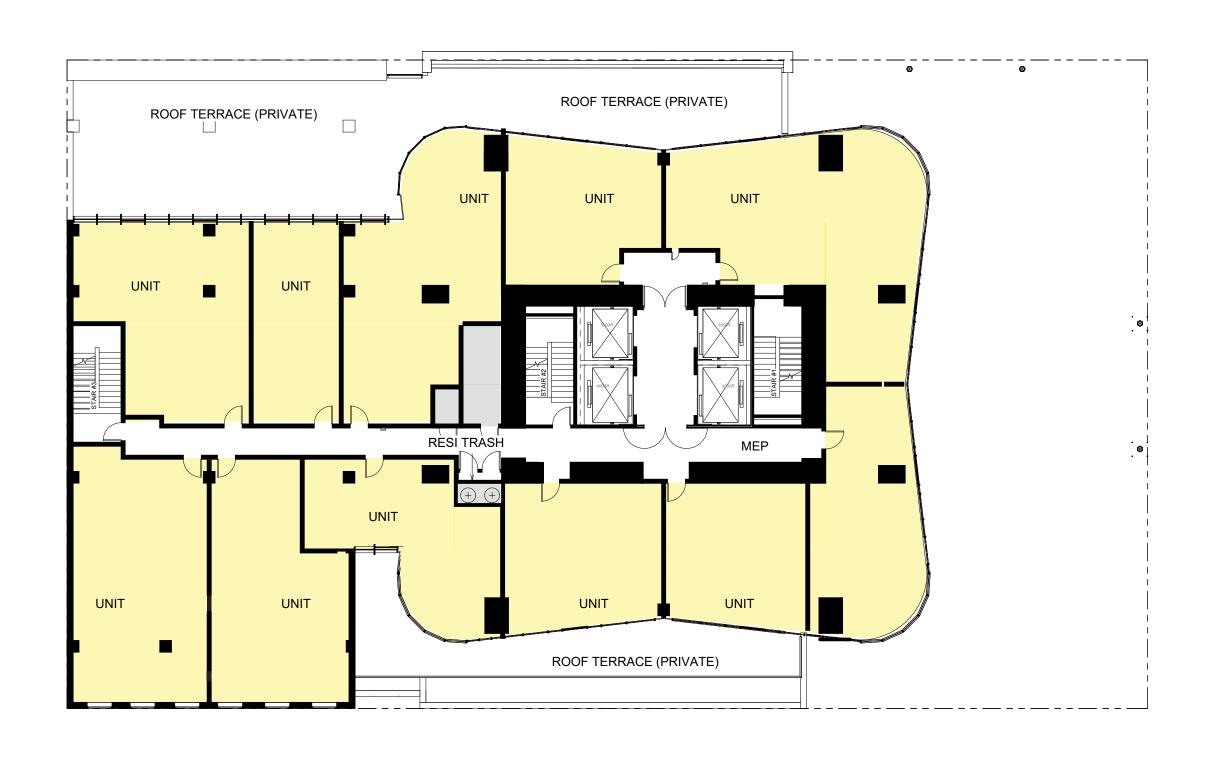
LEVEL 4-5

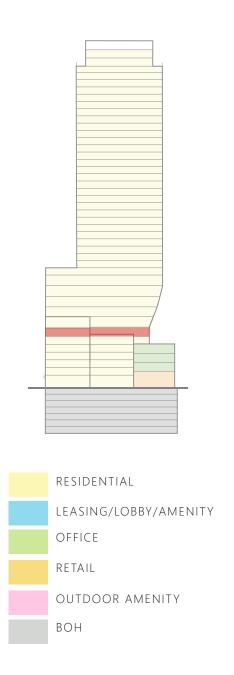


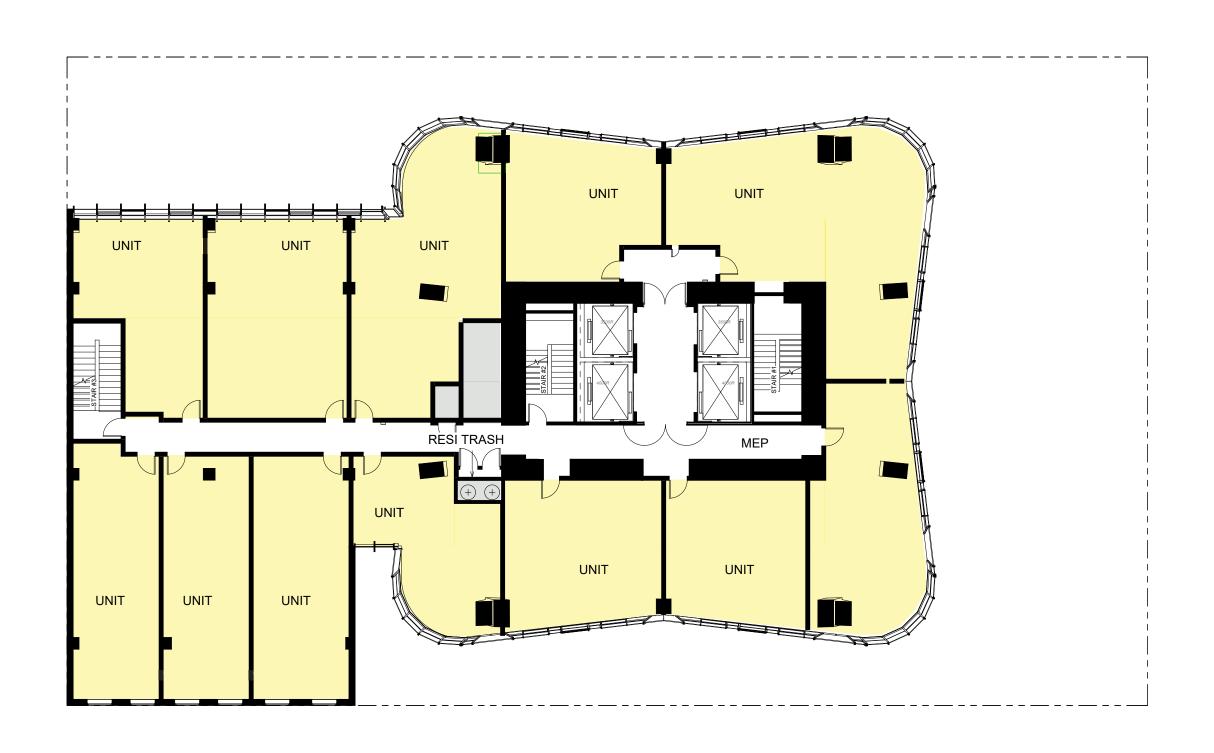


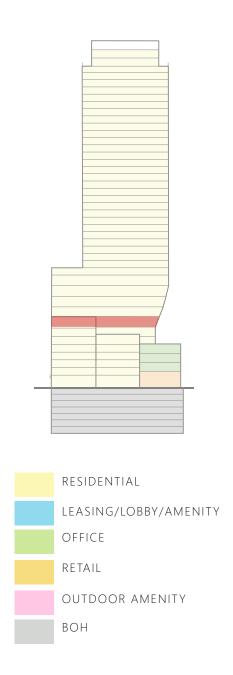


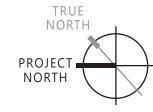


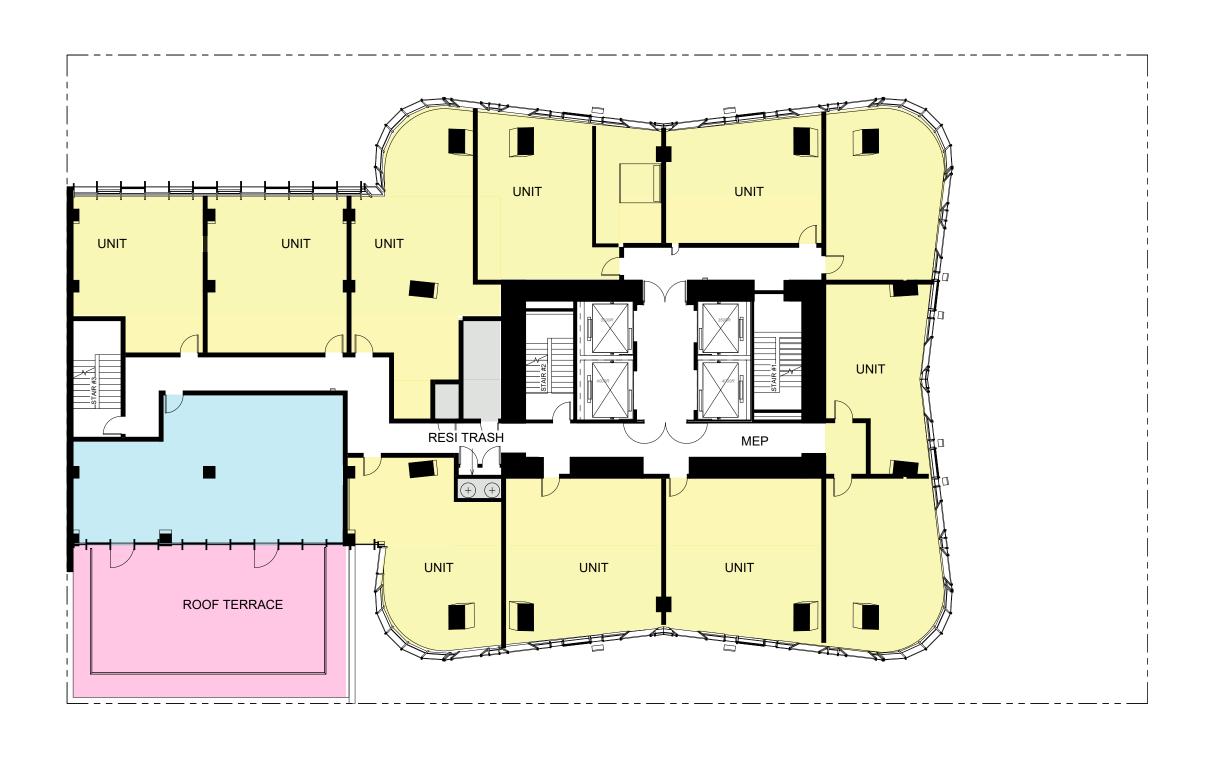


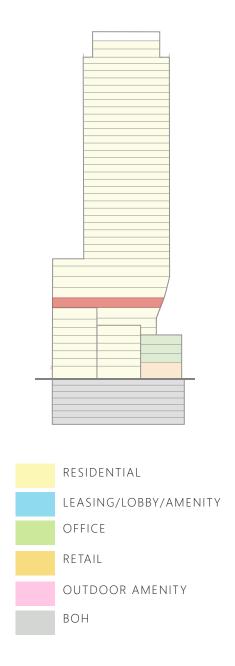




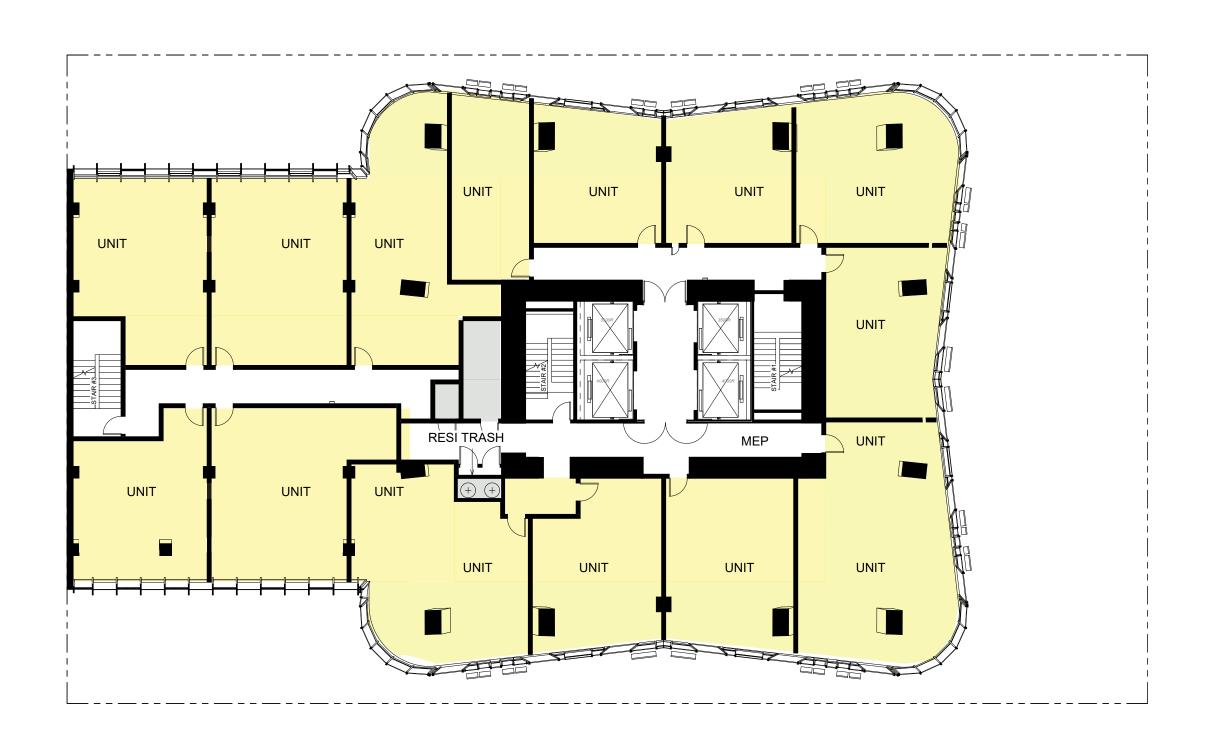


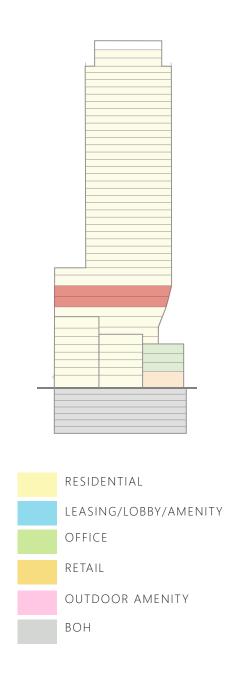




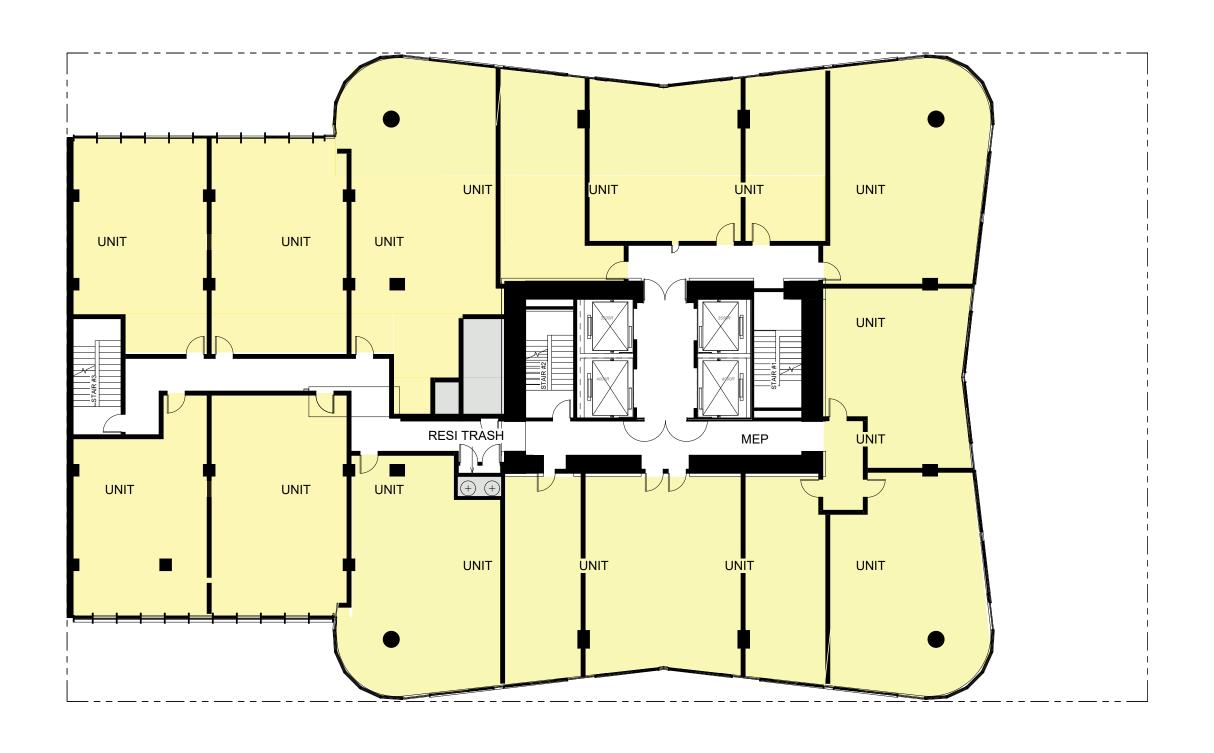


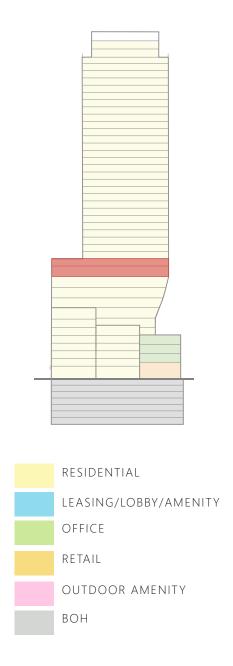
LEVEL 10 AND 11



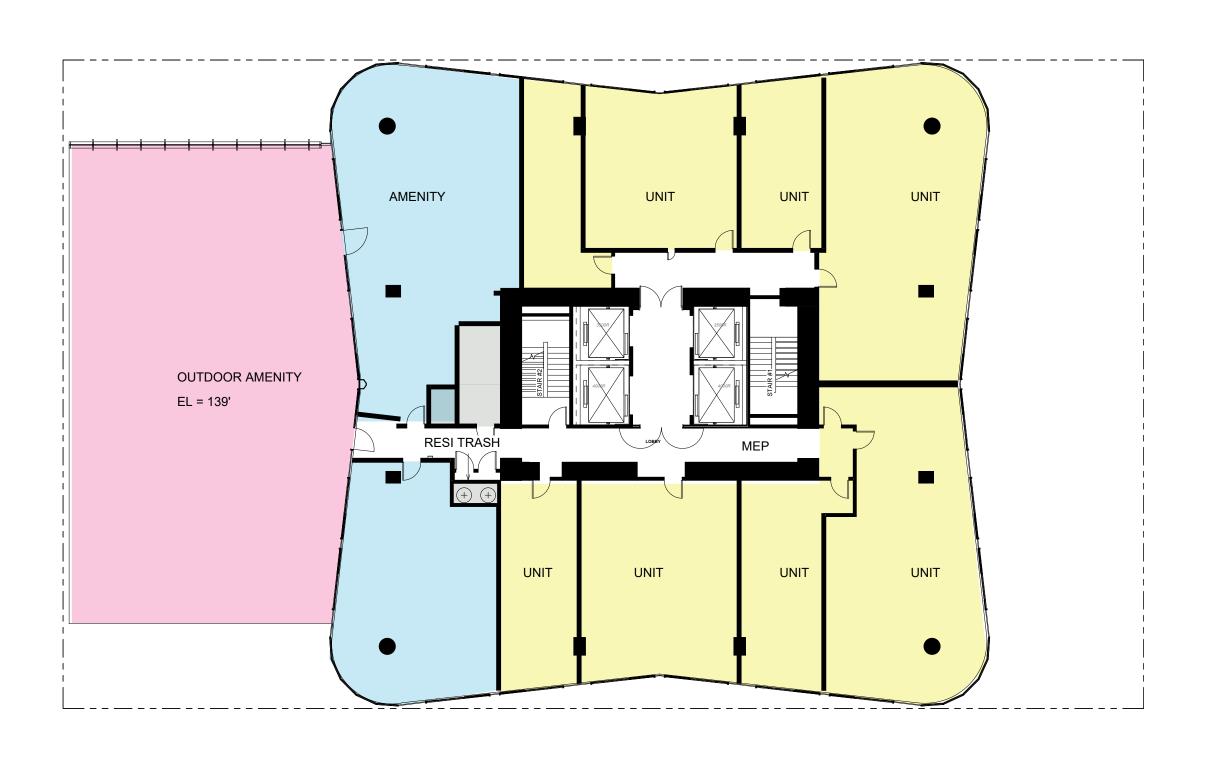


LEVEL 12 AND 13

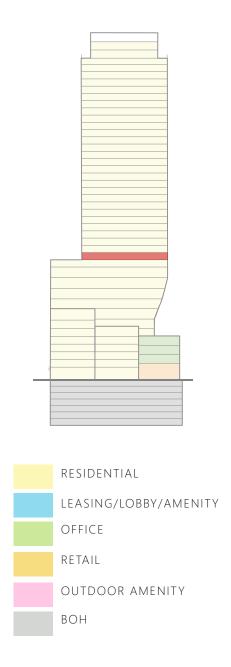




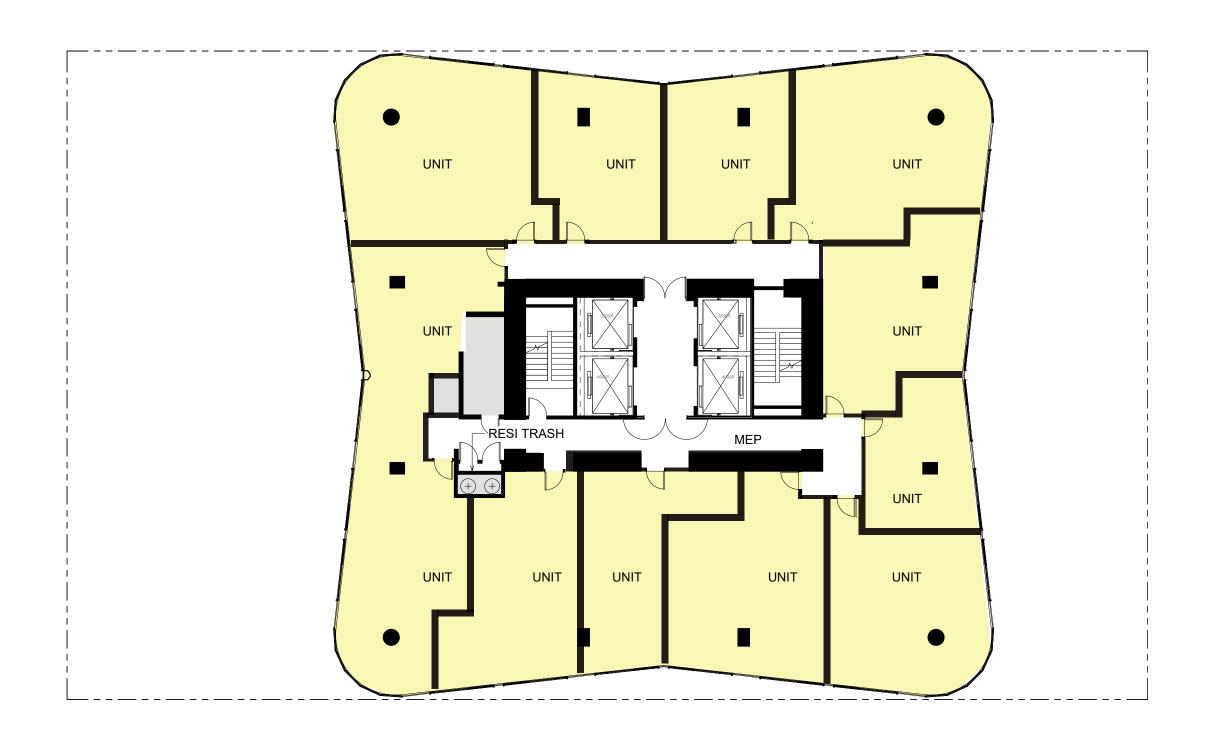
LEVEL 14

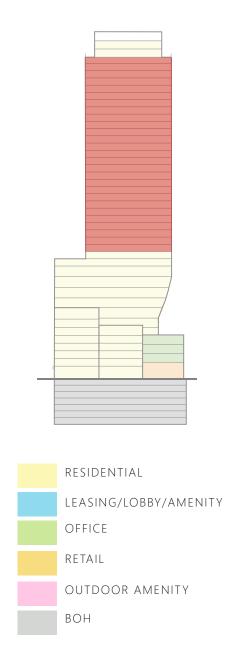


PROJECT INFO | LPB PROCESS | EDG #3 SUMMARY | DESIGN UPDATES | PLANNING UPDATES | LANDSCAPE DESIGN | DEPARTURES | EXCEPTIONS

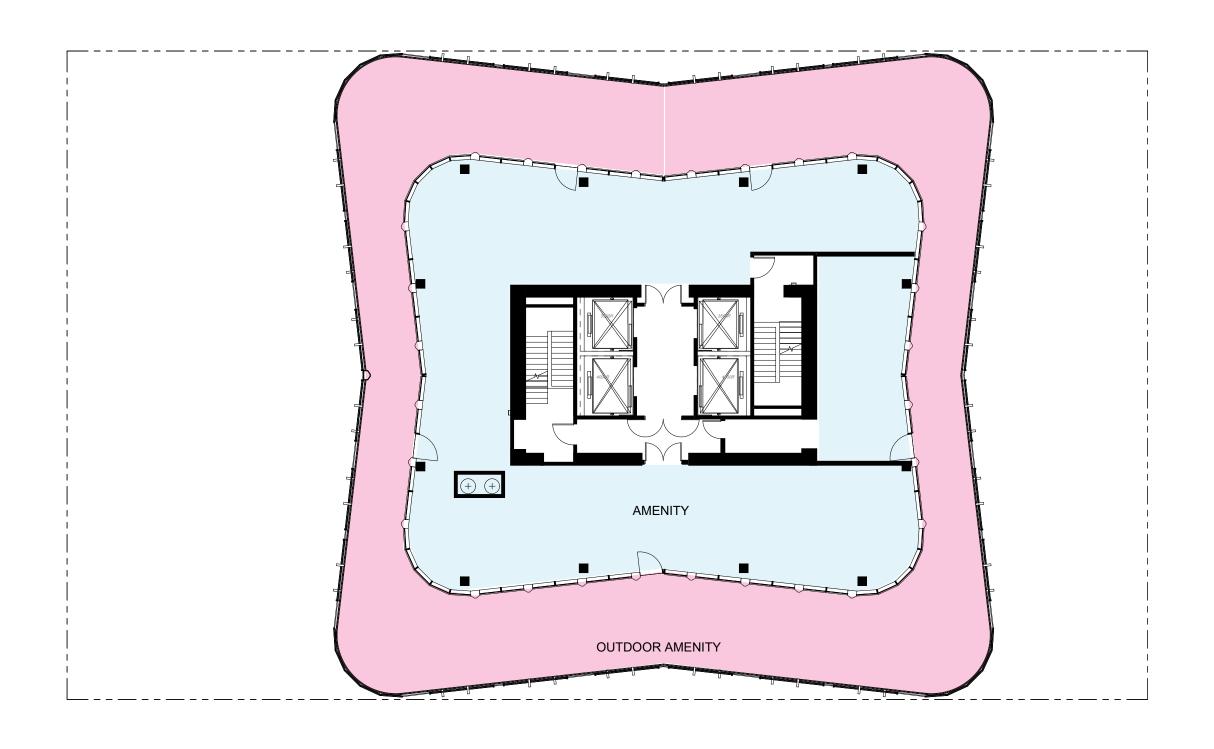


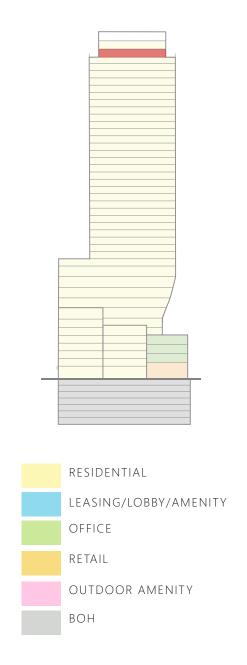
LEVEL 15-TYPICAL FLOOR





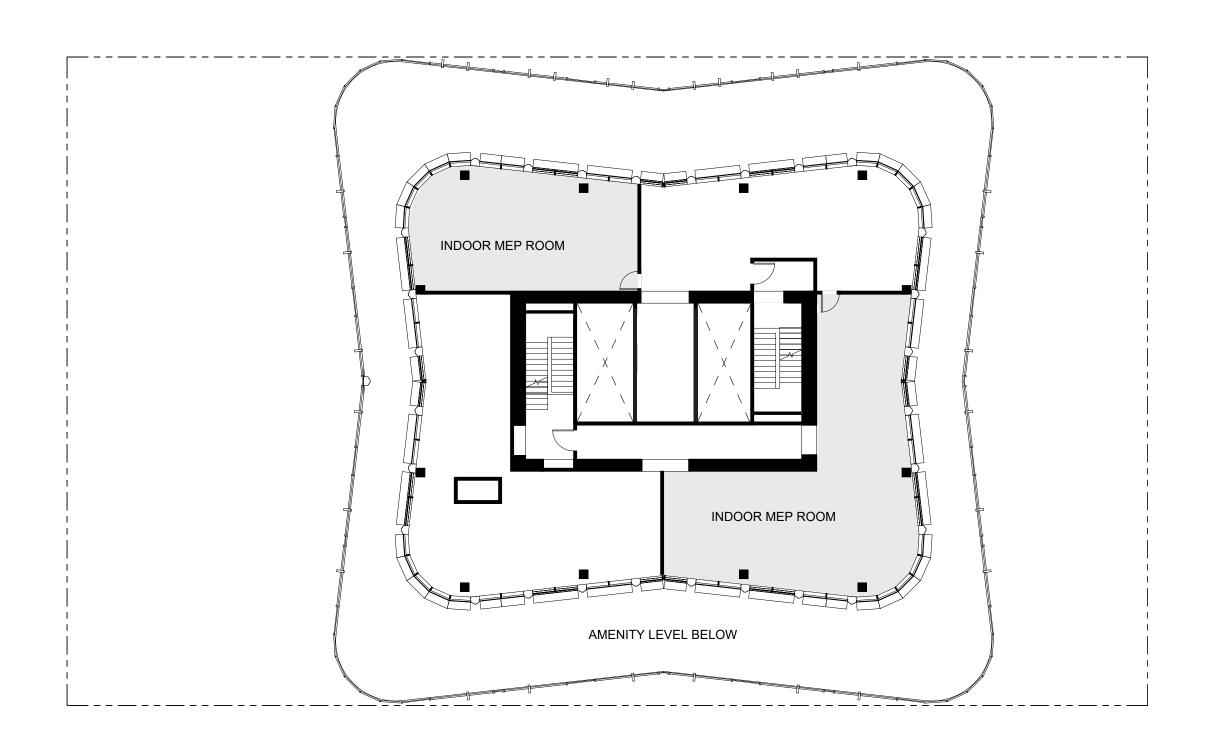
LEVEL 44 ROOF AMENITY

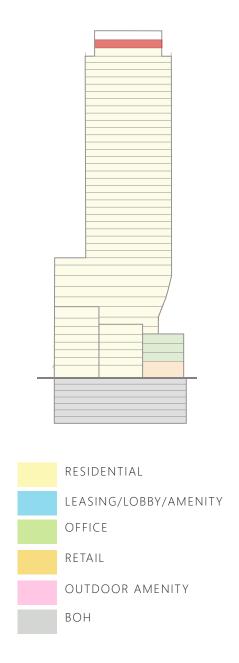




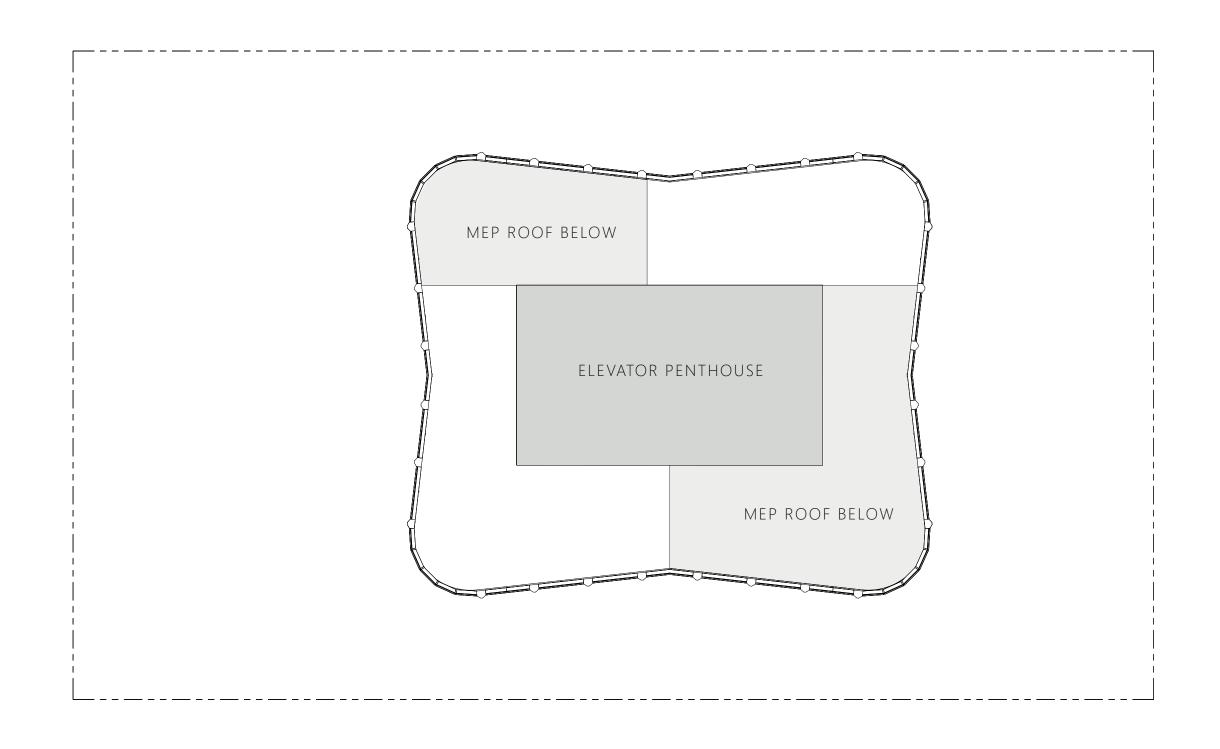


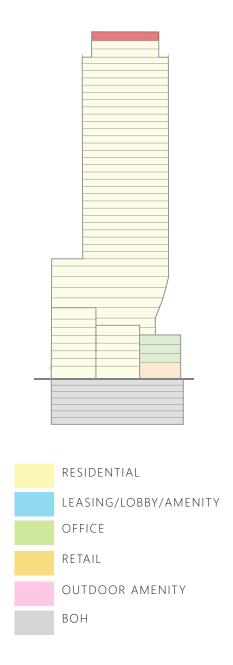
LEVEL 45 MEP





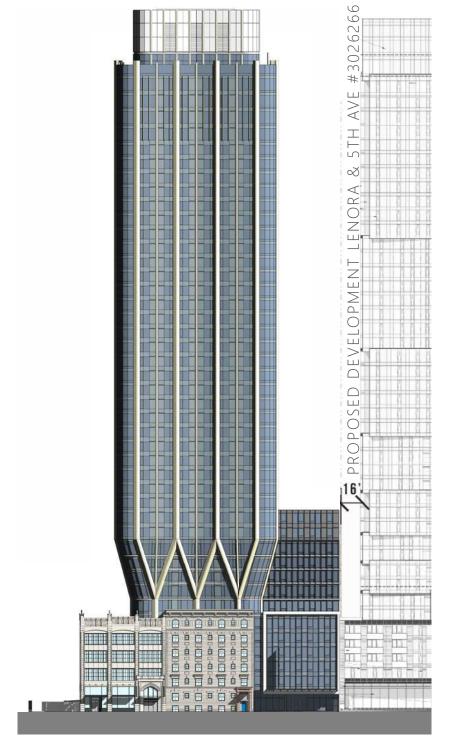
LEVEL ROOF

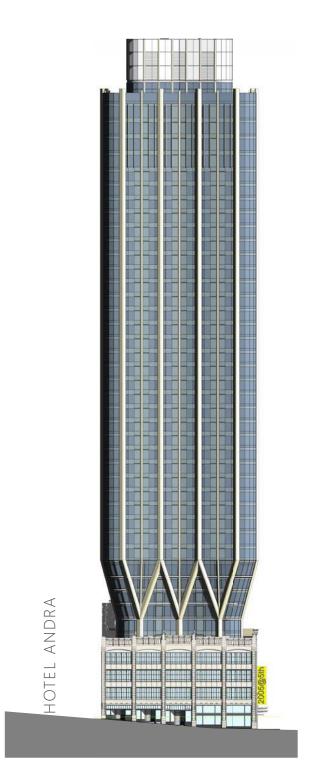






### ELEVATIONS



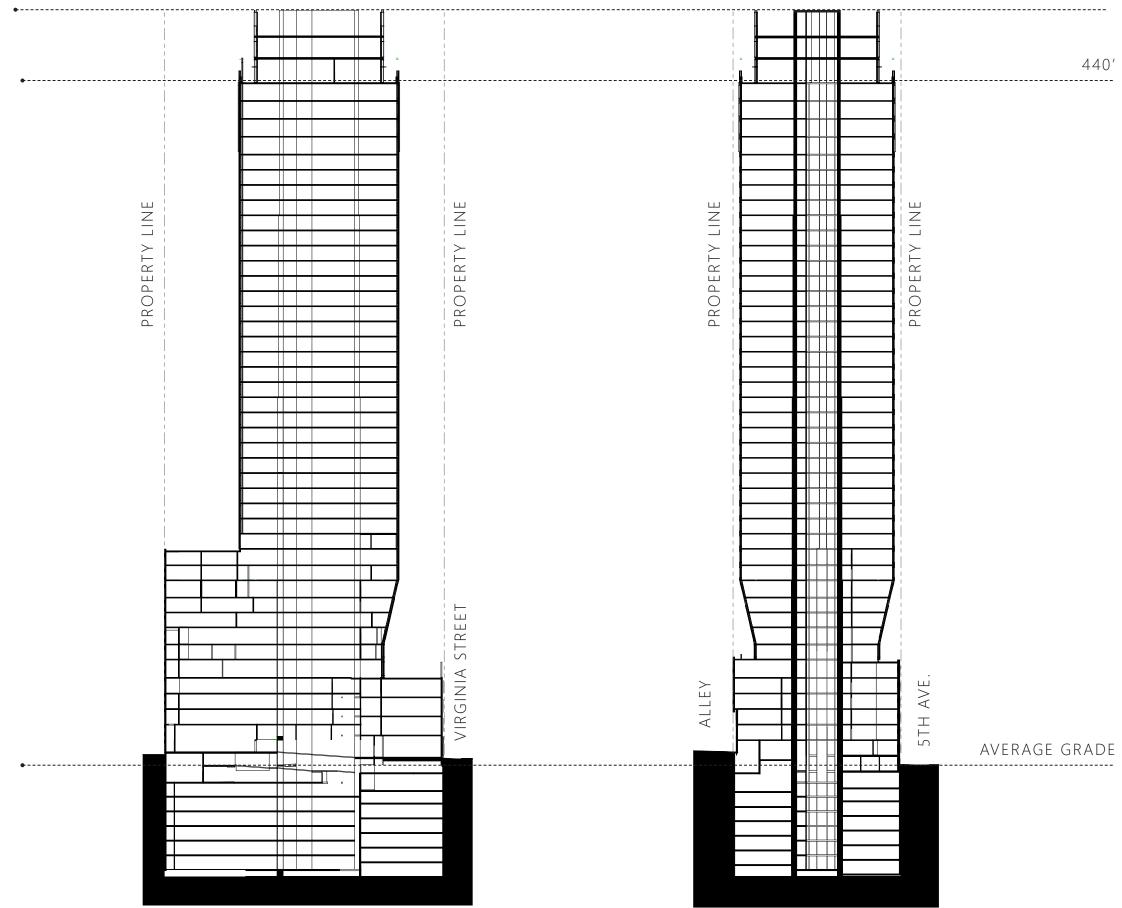






EAST ELEVATION SOUTH ELEVATION WEST ELEVATION NORTH ELEVATION

### SECTIONS

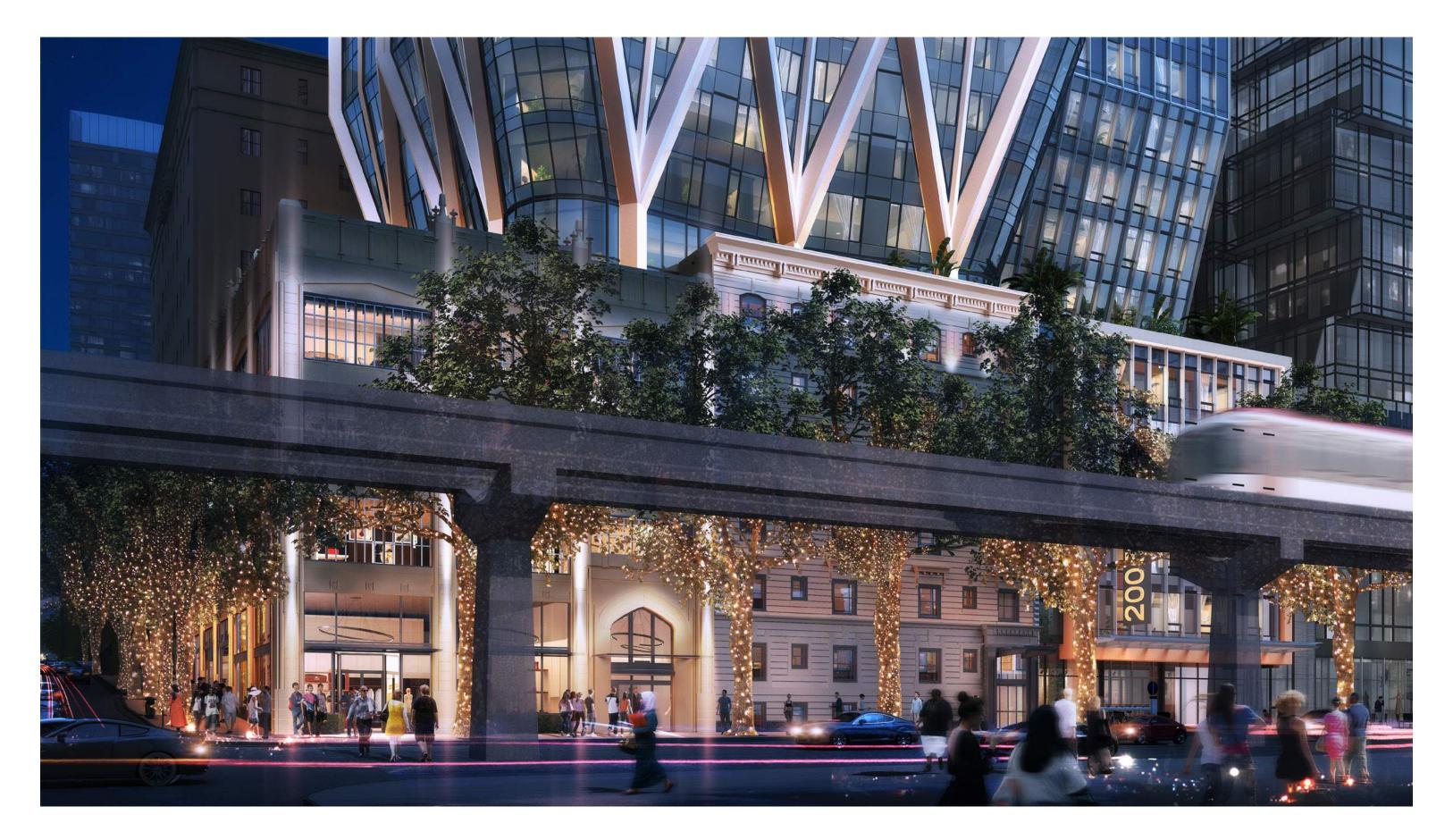










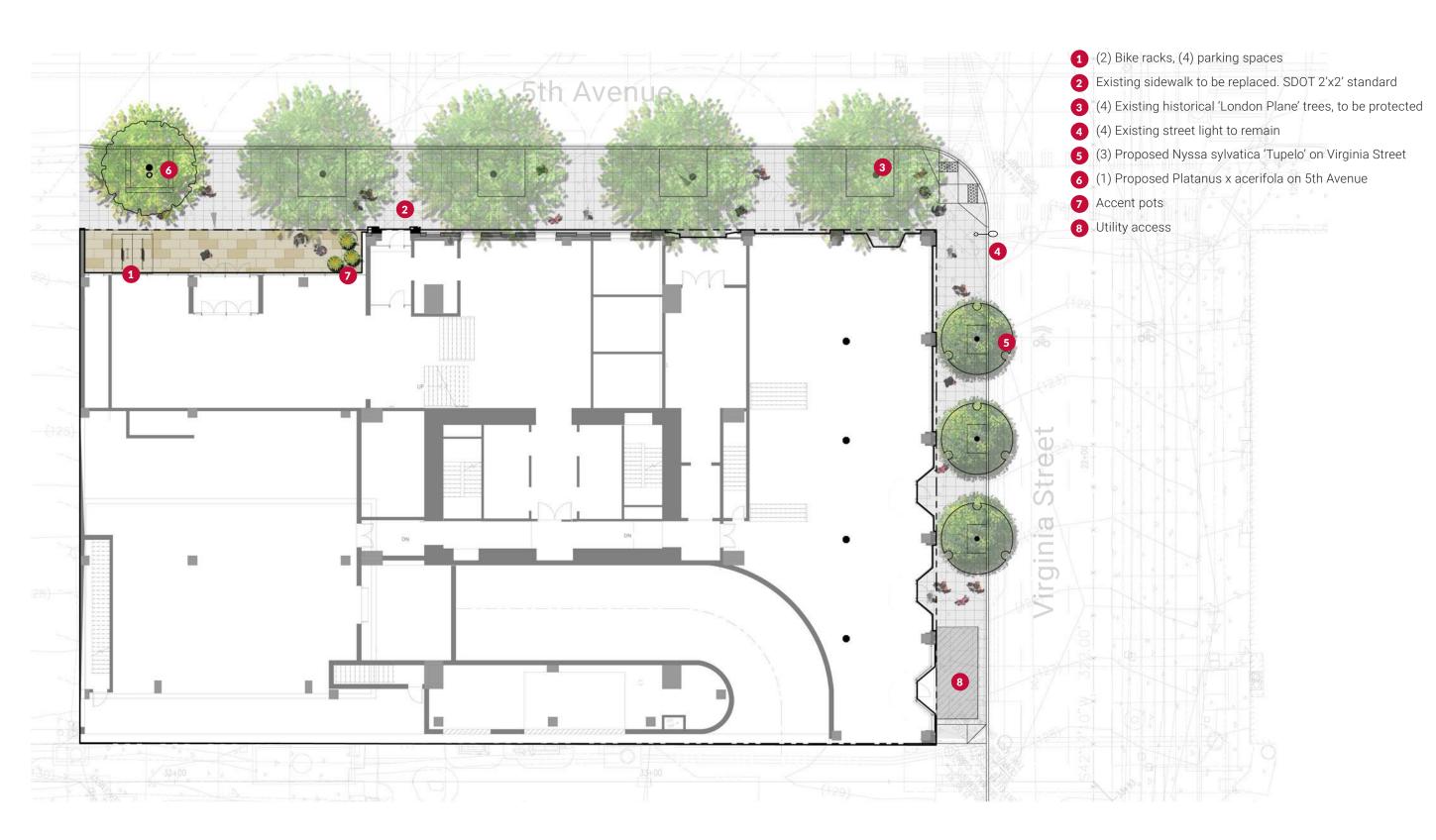






# 06

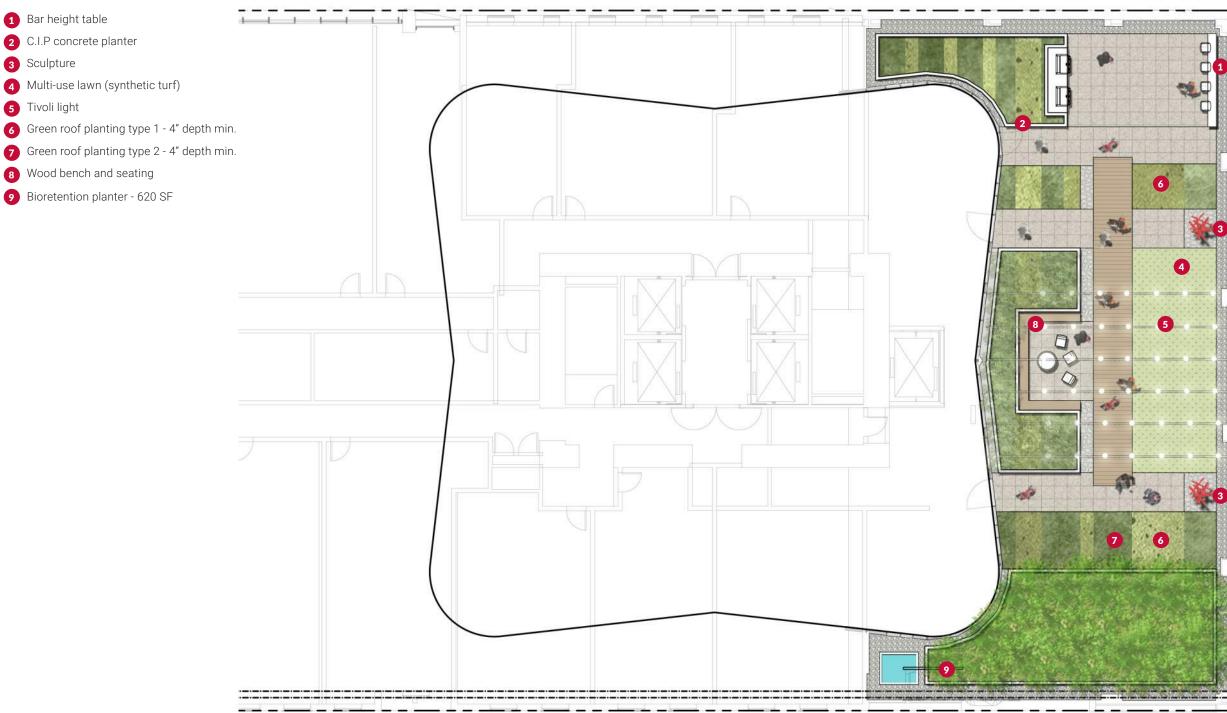
# LANDSCAPE



GROUND LEVEL ENTRY

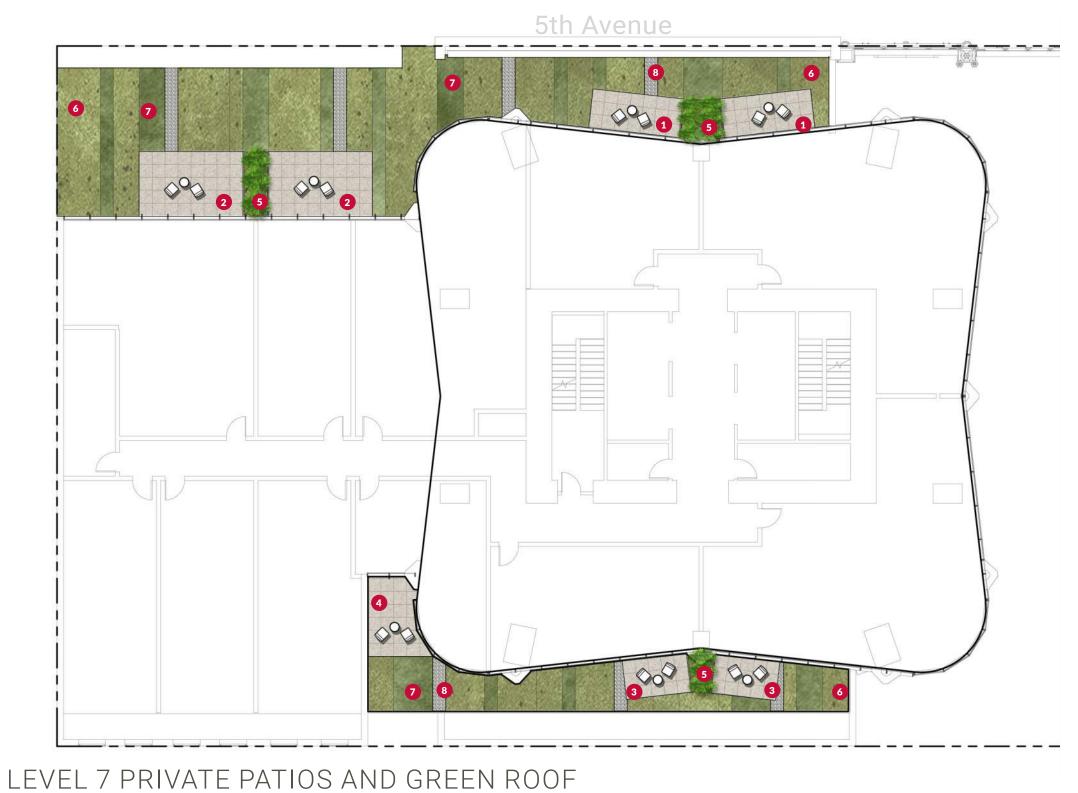






LEVEL 6 RAIN GARDEN





1 (2) Private patio 6'x14'

(2) Private patio 10'x16'

(2) Private patio 6'x10'

4 (1) Private patio 10'x12'

5 Raised planter w/ screening planting

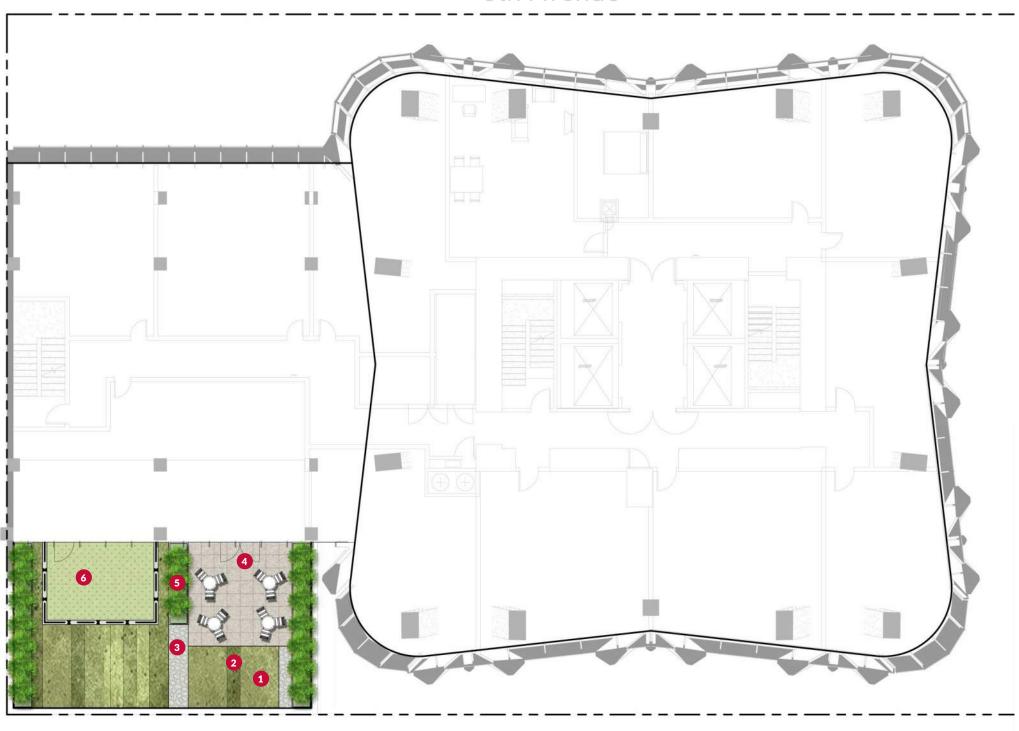
6 Green roof planting type 1 - 4" depth min.

**7** Green roof planting type 2 - 4" depth min.

8 Gravel



## 5th Avenue



1 Green roof planting type 1 - 4" depth min.

2 Green roof planting type 2 - 4" depth min.

4 Seating area

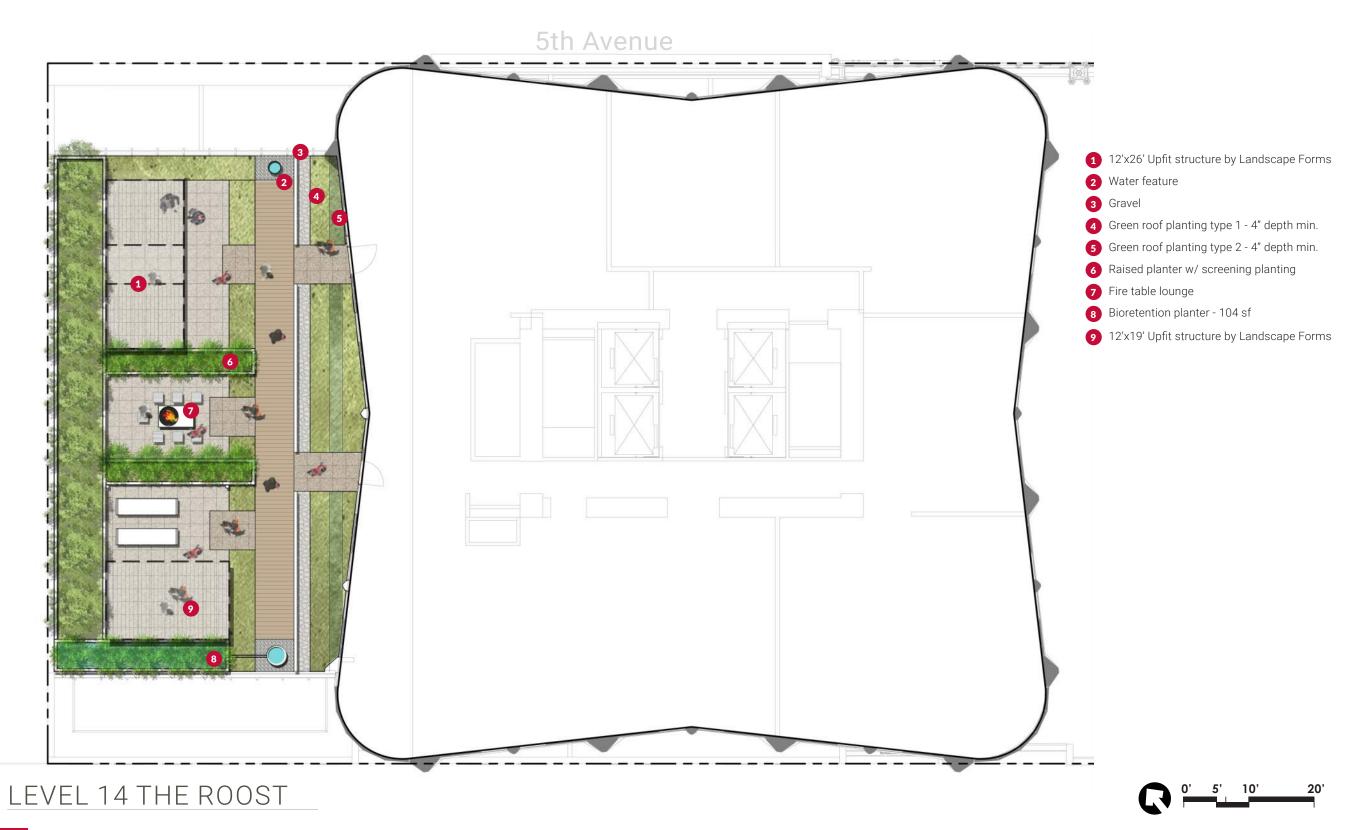
5 Raised planter w/ screening planting

6 Dog amenity under 200 sq-ft

LEVEL 9 PRIVATE PATIOS AND GREEN ROOF



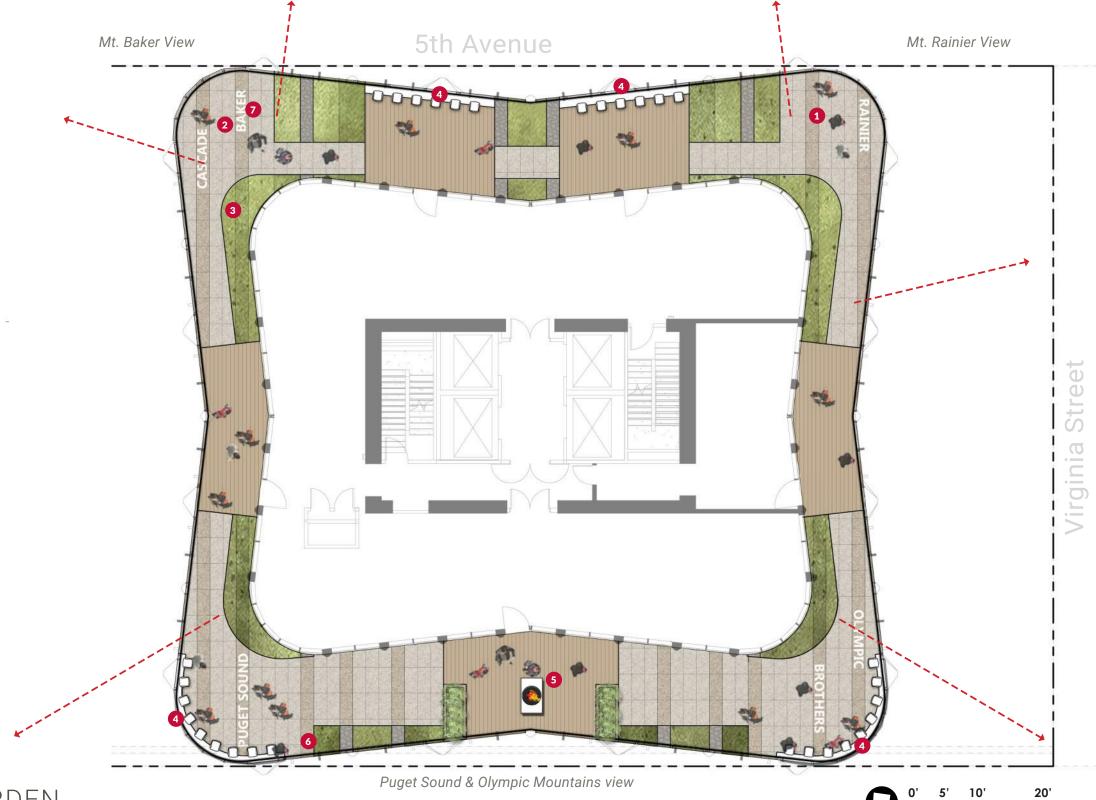




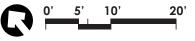




- 2 Mont. Baker terrace
- 3 Green roof planting
- 4 Bar height table and chairs
- 5 "Brothers" view deck w/ fire table
- 6 Gravel
- 7 Engraved wayfinding text



LEVEL 44 AERIE GARDEN





# 07

# DEPARTURES

[23.49.058.B] Facade modulation is required above a height of 85 feet above the sidewalk for any portion of a structure located within 15 feet of a street lot line. No modulation is required for portions of a facade set back 15 feet or more from a street lot line. The maximum length of a facade without modulation is 100 feet from elevation 240' to 400'.  [23.49.058.C.1] Maximum tower width In DMC zones, the maximum facade width for portions of a	110' between the elevations of 240' to 400'.	In leiu of the required 15' x 60' slot for the portion of the tower facade length exceeding 100' between the elevations of 240' to 400', a 5' indention has been designed at the midpoint of the tower on all four sides. This indent serves to break down the perceived length of the facade while at the same time creating a simple and pure 'clover' tower form. The tower width is held at a constant 110' width. This is less than the allowed width of 125' for elevations between 160'-240'. The consistent tower width up to 440' strengthens the beauty of the New Formalism style of the design.
	A depositions is as accepted for	100 240. The consistent tower width up to 440 strengthens the beauty of the New Formalish style of the design.
building above 85 feet along the general north/south axis of a site (parallel to the Avenues) shall be 120 feet or 80 percent of the width of the lot measured on the	between the elevations of	The proposed design option for the tower incorporates a lower massing that is set back from the main tower about 14' on both the east and west sides but exceeds the maximum façade length of 120'. This design decision was made in order to maintain the purity of the tower's new formalism design style, which relies on symmetry and simplicity to achieve its bold but timeless aesthetic.
Avenue, whichever is less,		The code-compliant option would have required a step back in the tower at 240', resulting in an asymmetric tower mass and less tower separation at higher elevations. This would have disrupted the tower's iconic curved corners, tapered base, and branching vertical expression. The proposed design incorporates a clearly distinct and lower massing that serves as a transitional base between the scale of the tower and the pedestrian-scaled podium. This lower massing is clad differently than the tower, further enhancing the visual separation between the two elements.
[23.49.058.C.2] Tower 160-240 feet - 10,000 sf average residential gross floor area limit per story; tower 240-440 feet - 10,700 sf average residential gross floor area limit per story; max floor Area - 11,500 sf average residential gross floor area limit per story.	A departure is requested for levels 10, 11, 12 and 13.	A departure is requested to exceed the maximum floor plate size in four floors at the base of the tower but will meet the average tower floor plate size of 10,700 square feet and maintain the 60-foot tower separation. This departure is necessary to make the new podium piece a liaison between the two towers for a subtle transition and a strong base to support the towers proportionally. Additionally, all 4 corners of the tower are now clearly delineated due to the top podium setback of 14', creating a symmetrical tapered form that is true to the tower's New Formalism design style. It should be noted that the typical tower levels are below the average floor plate size.
[23.49.018.A] Continuous 8 ft deep weather protection required for the entire street frontage, or must extend to a line (2) feet from curb line, whichever is less. Lower edge must be a minimum 10 feet and maximum of 15 feet above sidewalk. Adequate lighting shall be provided in the building facade or on the canopy.	Request departure to omit added weather protection along Sheridan, along Virginia Street, and at all Griffin pilasters.	The unique features of the Sheridan's Beaux Arts style terracotta facade make it unsuitable for the addition of weather protection. Additionally, the first level window openings are located within the 10-15 foot zone where weather protection is required. Pending LPB approval, a natural horizontal band of weather protection has been added to the Griffin. However, in order to maintain the vertical expression of the building, the weather protection would not be continuous in front of the terracotta pilasters. There is also not enough head clearance to add canopies along Virginia
may exceed the height limits as indicated: A. Open railings, planters, clerestories,	architectural extensions	A departure is required for a glass railing extending 6' above the walking surface at the outdoor amenity on the tower roof and vertical architectural elements extending 9' above the roof surface. Additional guardrail height increases the sense of safety for residents and improves the usability of the outdoor rooftop amenities by creating more effective protection from the high winds. Moreover, in order to create a distinct tower terminus with an articulate silhouette that celebrates the New Formalism design aesthetic on the skyline, the primary vertical elements are extended beyond the top of the glass parapet at the rooftop.
Rooftop Railing Height 1 Modulation Setback  2, 3 Residential Tower Plates  4 Continuous Weather Protection		Rooftop Railing Height  1 Modulation Setback  2, 3 Residential Tower Plates  4 Continuous Weather Protection
	[23.49.058.C.2] Tower 160-240 feet - 10,000 sf average residential gross floor area limit per story; tower 240-440 feet - 10,700 sf average residential gross floor area limit per story; max floor Area - 11,500 sf average residential gross floor area limit per story.  [23.49.018.A] Continuous 8 ft deep weather protection required for the entire street frontage, or must extend to a line (2) feet from curb line, whichever is less. Lower edge must be a minimum 10 feet and maximum of 15 feet above sidewalk. Adequate lighting shall be provided in the building facade or on the canopy.  [23.49.008.D] The following rooftop features are permitted with unlimited rooftop coverage and may exceed the height limits as indicated: A. Open railings, planters, clerestories, skylights, play equipment, parapets, and firewalls up to 4 feet above the appliacable height limit;  5  Rooftop Railing Height Height 1 Modulation Setback  4 Continuous	[23.49.058.C.2] Tower 160-240 feet - 10,000 sf average residential gross floor area limit per story; tower 240-440 feet - 10,700 sf average residential gross floor area limit per story; max floor Area - 11,500 sf average residential gross floor area limit per story.  [23.49.018.A] Continuous 8 ft deep weather protection required for the entire street frontage, or must extend to a line (2) feet from curb line, whichever is less. Lower edge must be a minimum 10 feet and maximum of 15 feet above sidewalk. Adequate lighting shall be provided in the building facade or on the canopy.  [23.49.008.D] The following rooftop features are permitted with unlimited rooftop coverage and may exceed the height limits as indicated: A. Open railings, planters, clerestories, skylights, play equipment, parapets, and firewalls up to 4 feet above the appliacable height limit;  Separative is requested for levels 10, 11, 12 and 13.  Request departure to omit added weather protection along Sheridan, along Virginia Street, and at all Griffin pilaters are permitted with unlimited rooftop coverage and glass windscreen and 9' architectural extensions above the roof.

PROJECT INFO | LPB PROCESS | EDG #3 SUMMARY | DESIGN UPDATES | PLANNING UPDATES | LANDSCAPE DESIGN | DEPARTURES | EXCEPTIONS

CHAINQUI DEVELOPMENT | M Z A | 2005 5TH AVE | DRB | TBD

## DEPARTURE 1: MODULATION

#### DEPARTURE 1

#### Modulation

#### [23.49.058.B]

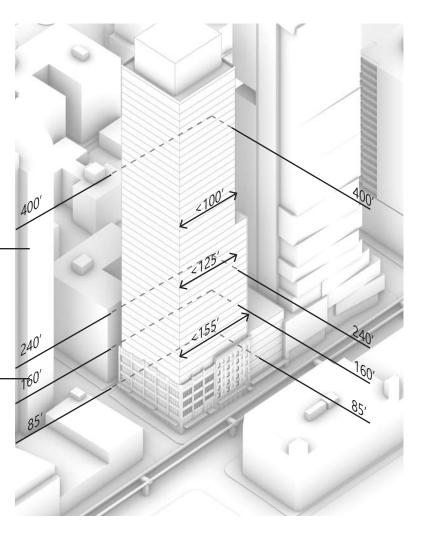
Facade modulation is required above a height of 85 feet above the sidewalk for any portion of a structure located within 15 feet of a street lot line. No modulation is required for portions of a facade set back 15 feet or more from a street lot line. The maximum length of a facade without modulation is 100 feet from elevation 240' to 400'. Any portion of a facade exceeding the maximum length of 155' shall be set back a minimum of 15 feet from the street lot line for a minimum distance of 60 feet before any other portion may be within 15 feet of the street lot line.

#### Request:

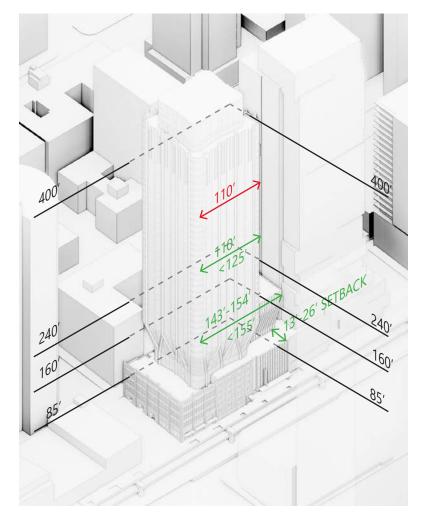
A departure is requested for a unmodulated facade length of 110' between the elevations of 240' to 400',

#### Justification:

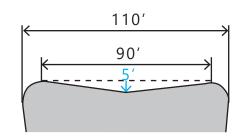
In leiu of the required 15' x 60' slot for the portion of the tower facade length exceeding 100' between the elevations of 240' to 400', a 5' indention has been designed at the midpoint of the tower on all four sides. This indent serves to break down the perceived length of the facade while at the same time creating a simple and pure 'clover' tower form. The tower width is held at a constant 110' width. This is less than the allowed width of 125' for elevations between 160'-240'. The consistent tower width up to 440' strengthens the beauty of the New Formalism style of the design.



CODE COMPLIANT



**PROPOSED** 



## DEPARTURE 2: TOWER WIDTH

#### DEPARTURE 2

#### **Tower Width**

#### [23.49.058.C]

Maximum tower width

a. In DMC zones, the maximum facade width for portions of a building above 85 feet along the general north/south axis of a site (parallel to the Avenues) shall be 120 feet or 80 percent of the width of the lot measured on the Avenue, whichever is less,

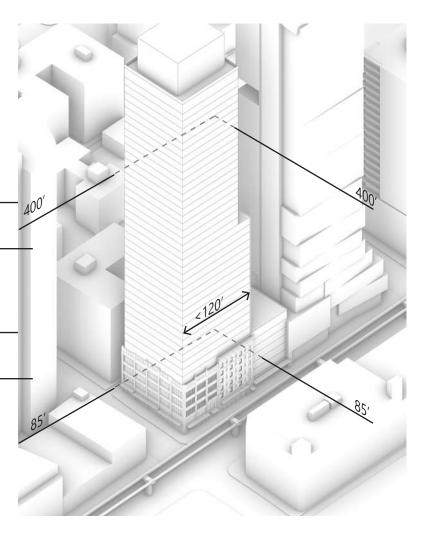
#### Request:

A departure is requested for tower width to be between 143' and 154' between the elevations of 85'-140'.

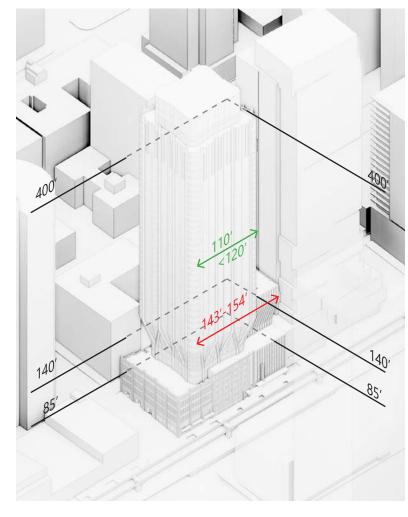
#### Justification:

The proposed design option for the tower incorporates a lower massing that is set back from the main tower about 14' on both the east and west sides but exceeds the maximum façade length of 120'. This design decision was made in order to maintain the purity of the tower's new formalism design style, which relies on symmetry and simplicity to achieve its bold but timeless aesthetic. All 4 corners of the tower are now clearly delineated due to the top podium setback of 14', creating a symmetrical tapered form that is true to the tower's New Formalism design style.

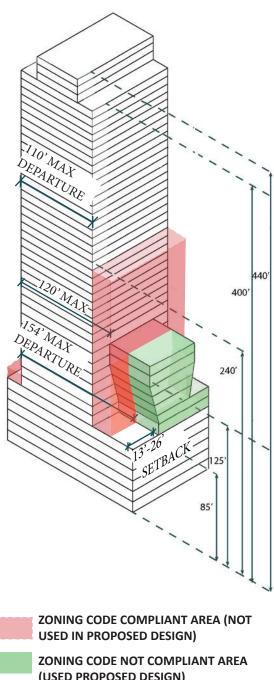
The code-compliant option would have required a step back in the tower at 240', resulting in an asymmetric tower mass and less tower separation at higher elevations. This would have disrupted the tower's iconic curved corners, tapered base, and branching vertical expression. The proposed design incorporates a clearly distinct and lower massing that serves as a transitional base between the scale of the tower and the pedestrian-scaled podium. This lower massing is clad differently than the tower, further enhancing the visual separation between the two elements.



CODE COMPLIANT



**PROPOSED** 



(USED PROPOSED DESIGN)

## DEPARTURE 3: Tower Floor Plate Area

#### DEPARTURE 3

#### **Residential Tower Plates**

[23.49.058.C]

Tower 160-240 feet - 10,000 sf average residential gross floor area limit per story; tower 240-440 feet - 10,700 sf average residential gross floor area limit per story; max floor Area -11,500 sf average residential gross floor area limit per story Max facade width above 85' along an avenue shall be 120' or 80% of the width of the lot measured on the avenue whichever is less.

#### Request:

A departure is requested for level 10, 11, 12 and 13.

#### Justification:

A departure is requested to exceed the maximum floor plate size in four floors at the base of the tower but will meet the average tower floor plate size of 10,700 square feet and maintain the 60-foot tower separation. This departure is necessary to make the new podium piece a liaison between the two towers for a subtle transition and a strong base to support the towers proportionally. Additionally, all 4 corners of the tower are now clearly delineated due to the top podium setback of 14', creating a symmetrical tapered form that is true to the tower's New Formalism design style. It should be noted that the typical tower levels are below the average floor plate size.



## DEPARTURE 4: WEATHER PROTECTION

#### **EDG #2 PRELIMINARILY SUPPORTED**

#### DEPARTURE 4

#### Weather Protection

[23.49.018.A]

Continuous 8 ft deep weather protection required for the entire street frontage, or must extend to a line (2) feet from curb line, whichever is less. Lower edge must be a minimum 10 feet and maximum of 15 feet above sidewalk. Adequate lighting shall be provided in the building facade or on the canopy.

#### Request:

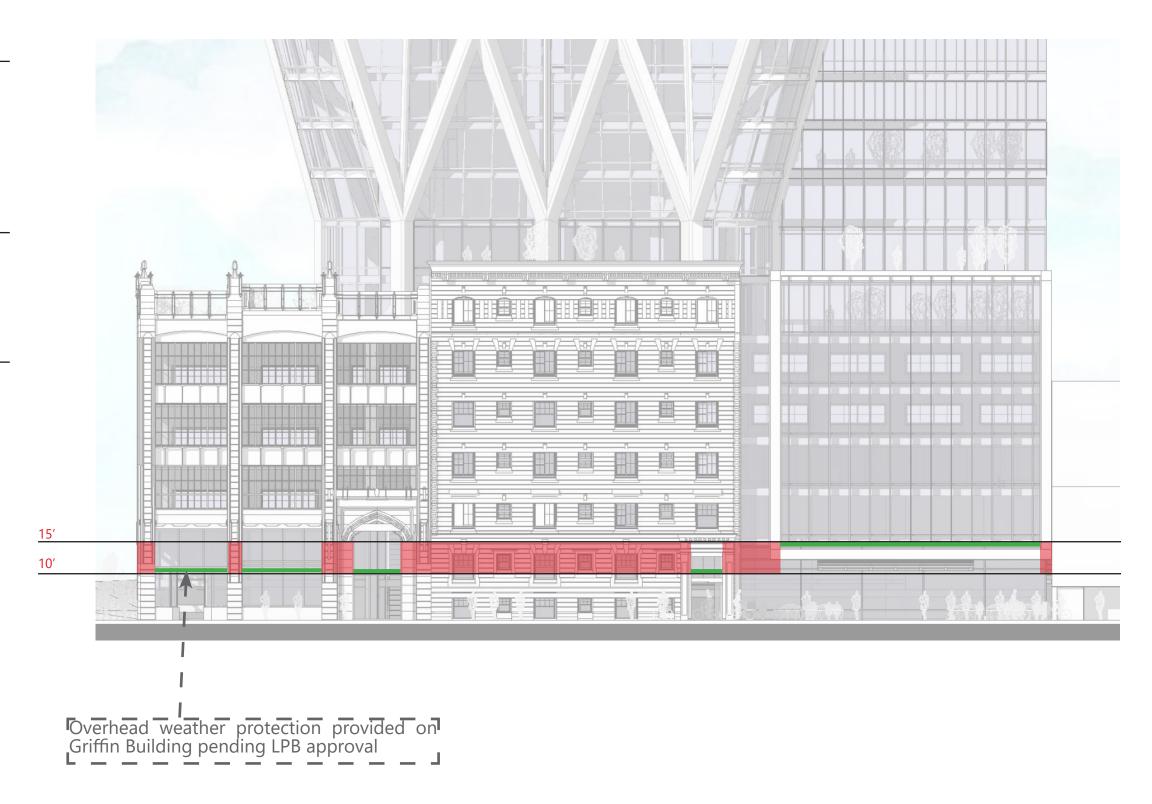
A departure is requested to not provide added weather protection along the Griffin facade on the virginia street, Sheridan facade on 5th Ave and in front of the Griffin pilasters and area between the two columns and the building edge for the new north podium addition .

#### Justification:

The unique features of the Sheridan's Beaux Arts style terracotta facade make it unsuitable for the addition of weather protection. Additionally, the first level window openings are located within the 10-15 foot zone where weather protection is required.

Pending LPB approval, a natural horizontal band of weather protection has been added to the Griffin. However, in order to maintain the vertical expression of the building, the weather protection would not be continuous in front of the terracotta pilasters. There is also not enough head clearance to add canopies along Virginia Street.

A new grand canopy will be placed above the main residential entry in the new north podium addition. It is placed between the two free-standing columns to accentuate the vertical expression from the ground up to the tower.



## DEPARTURE 4: WEATHER PROTECTION

**EDG #2 PRELIMINARILY SUPPORTED** 

#### DEPARTURE 4

#### Weather Protection

[23.49.018.A]

Continuous 8 ft deep weather protection required for the entire street frontage, or must extend to a line (2) feet from curb line, whichever is less. Lower edge must be a minimum 10 feet and maximum of 15 feet above sidewalk. Adequate lighting shall be provided in the building facade or on the canopy.

#### Request:

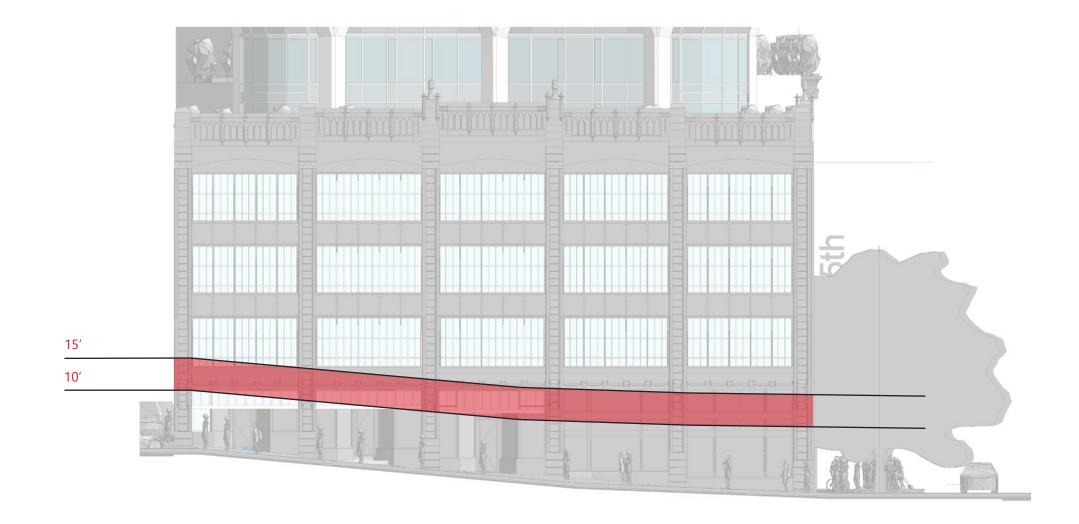
A departure is requested to not provide added weather protection along the Griffin facade on the virginia street, Sheridan facade on 5th Ave and in front of the Griffin pilasters and area between the two columns and the building edge for the new north podium addition .

#### Justification:

The landmarked Sheridan's Beaux Arts style, terracotta facade with its punched openings does not lend itself to added weather protection. The 1st level window openings are within the 10' to 15' zone where weather protection is required. A steel and glass canopy will be added above the main entry to replace the existing canvas canopy that is not original to the building.

The Griffin building provides a natural horizontal band to apply weather protection between the pilasters and above the main entry. However, in order to maintain the vertical expression, the weather protection would not be continuous in front of the terracotta pilasters. The request of adding weather protection to the Griffin Building is still pending LPB approval.

A new grand canopy will be placed above the main residential entry in the new north podium addition. It is placed between the two free-standing columns to accentuate the vertical expression from the ground up to the tower.



# DEPARTURE 5: Railing Height

#### DEPARTURE 5

#### Rooftop Railing Height

[23.49.008.D]

The following rooftop features are permitted with unlimited rooftop coverage and may exceed the height limits as indicated: A. Open railings, planters, clerestories, skylights, play equipment, parapets, and firewalls up to 4 feet above the appliacable height limit;

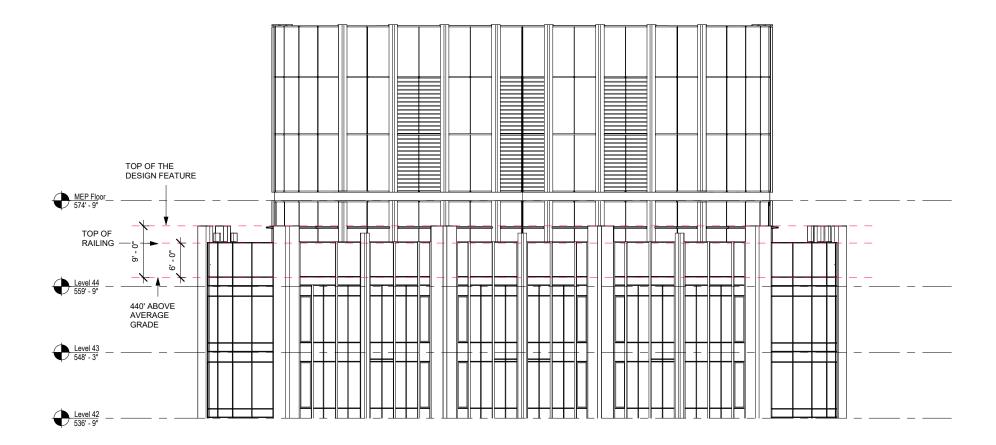
#### Request:

A departure is requested for a 6 feet roof open railing in height.

#### Justification:

A departure is required for a glass railing extending 6' abobe the walking surface at the outdoor amenity on the tower roof and vertical architectural elements extending 9' above the roof surface.

Additional guardrail height increases the sense of safety for residents and improves the usability of the outdoor rooftop amenities by creating more effective protection from the high winds. Moreover, in order to create a distinct tower terminus with an articulate silhouette that celebrates the new formalism design aesthetic on the skyline, the primary vertical elements are extended beyond the top of the glass parapet at the rooftop.



# 80

# EXCEPTIONS

EXCEPTIONS CODE DETAIL REQUEST JUSTIFICATION

#### 1. Minimum Tower Separation

#### [23.49.058.D.3]

Except as otherwise provided in this subsection 23.49.058.D, in a DMC zone with a mapped height limit of more than 170 feet located either in Belltown, as shown on Map A for 23.49.058, or south of Union Street, if any part of a tower exceeds 160 feet in height, then all portions of the tower that are above 125 feet in height must be separated from any other existing tower that is above 160 feet in height, and the minimum separation required between towers from all points above the height of 125 feet in each tower is 80 feet.

A special exception is requested for tower separation of 0' to be increased from a height of 125' to 140', and the tower separation requirement from between the heights of 140' and 440' be decreased from 80' to 60'.

The Landmarks Preservation Board's (LPB) #1 priority is to protect the integrity of the existing (2) landmarks on the site.

In conversations with the ARC over the past several years, locating the tower so that it does not cover the existing roof of the Griffin Building while maintaining the first southern bay of structural columns will preserve the integrity of the indoor and outdoor spaces of this historic structure. Any attempt to cover the Griffin Building roof and bring tower columns and core through the indoor spaces were not approved. The tapered tower base shape allows 60' of separation between the proposed tower and the planned tower to the north, placing the majority of the tower structural core within the existing light well of the Griffin and Sheridan Buildings. This tower location and its resultant core location also makes it possible to design a feasible parking layout in the garage below meeting the minimum demands of the market for parking.

By raising the height at which the tower separation requirement kicks in, much more integration is allowed between the tower and podium thus not cutting the podium short directly where the tower taper begins.

The purposes of the infill piece are 1) serve as a transitional and linkage piece between the 5th and Lenora tower and 5th and Virginia tower, so its design needs to be subtle and 2) to give the base a proportionate volume to look supportive to the two towers on the block.

The tower's clover-like shape provides rounded corners which allow wider view angles from the planned tower to the north. The indention at the midpoint in the clover-like plan shape further separates the two towers to 65' apart and creates non-parallel facade planes that asissts in increasing privacy between the two towers.

# EXCEPTION 1: TOWER SEPARATION

ABOVE 140 FEET

#### **EXCEPTION 1**

#### Minimum Tower Separation

#### [23.49.058.D.3]

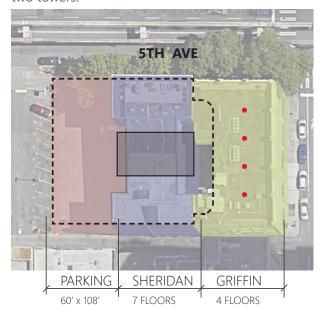
Except as otherwise provided in this subsection 23.49.058.D, in a DMC zone with a mapped height limit of more than 170 feet located either in Belltown, as shown on Map A for 23.49.058, or south of Union Street, if any part of a tower exceeds 160 feet in height, then all portions of the tower that are above 125 feet in height must be separated from any other existing tower that is above 160 feet in height, and the minimum separation required between towers from all points above the height of 125 feet in each tower is 80 feet.

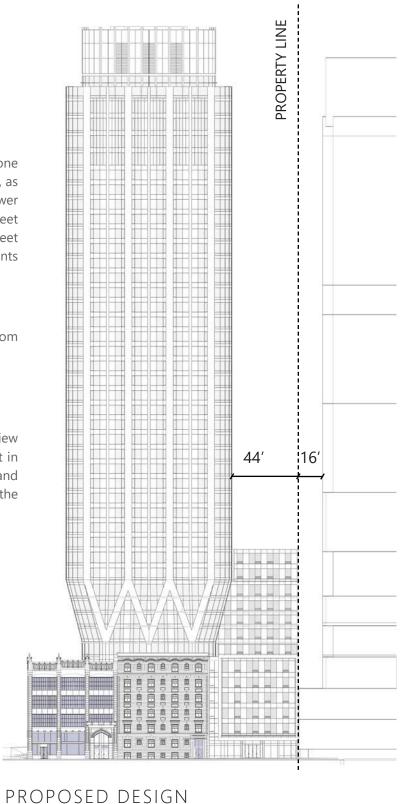
#### Request:

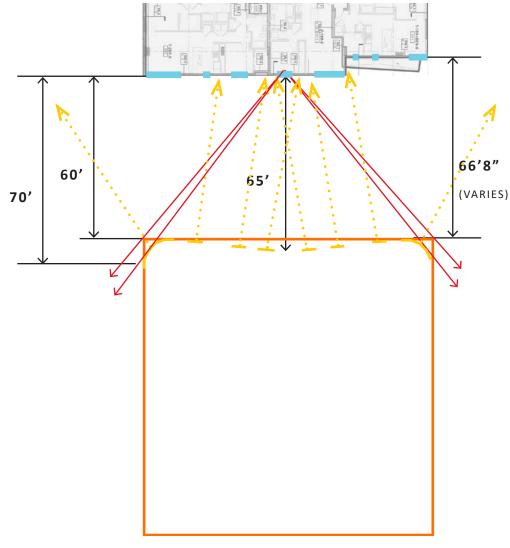
A special exception is requested for the tower separation requirement from between the heights of 140' and 440' be decreased from 80' to 60'.

#### Justification:

The tower's clover-like shape provides rounded corners which allow wider view angles from the planned tower to the north. The indention at the midpoint in the clover-like plan shape further separates the two towers to 65' apart and creates non-parallel facade planes that asissts in increasing privacy between the two towers.







PROPOSED TOWER **FOOTPRINT** 

Average Tower Plate: 10,478 SQFT

# EXCEPTION 1: TOWER SEPARATION

125 TO 140 FEET

#### **EXCEPTION 1**

#### Minimum Tower Separation

[23.49.058.D.3]

Applies to all structures over 160 feet separated from other 160 ft tower. All portions of the tower above 125 feet shall be separated by 80 feet.

#### Request:

A special exception is requested for tower separation of 0' to be increased from a height of 125' to 140".

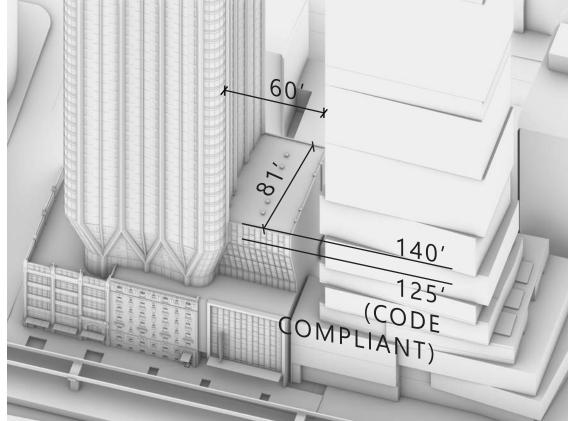
#### Justification:

By raising the height at which the tower separation requirement kicks in, much more integration is allowed between the tower and podium thus not cutting the podium short directly where the tower taper begins.

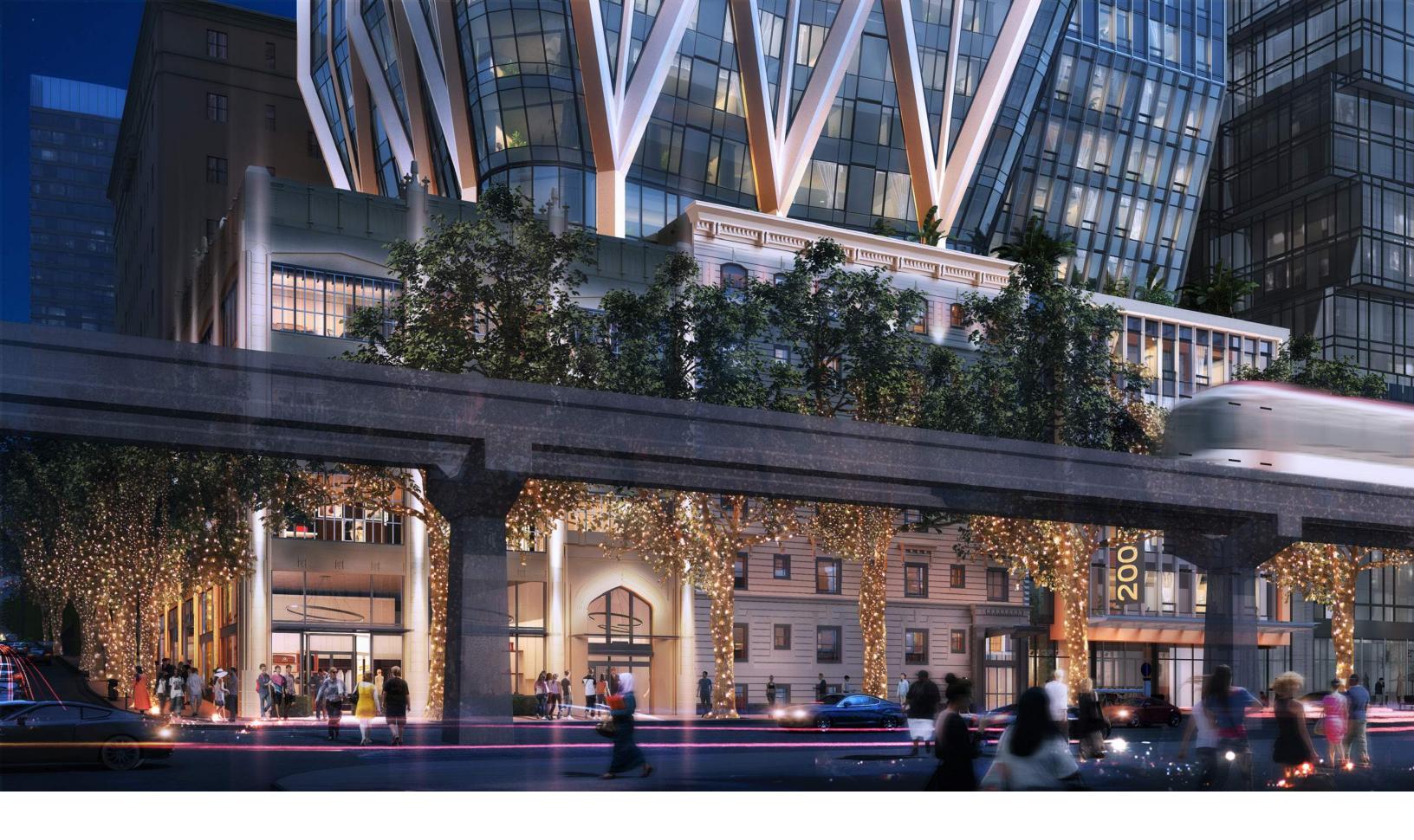
The purposes of the infill piece are 1) serve as a transitional and linkage piece between the 5th and Lenora tower and 5th and Virginia tower, so its design needs to be subtle and 2) to give the base a proportionate volume to look supportive to the two towers on the block.







PROPOSED DESIGN



9

# APPENDIX



(4) Existing historical 'London Plane' trees, to be protected, TBD. Install flexipave surfacing at grade. Extend existing planter area extents, per SDOT direction.

Existing Street Light , 20' offset to new trees, TYP.

(3) Proposed Street Trees, species TBD by SDOT.

Install flexipave at grade. No planting areas at this location.

Existing utility vaults to be protected





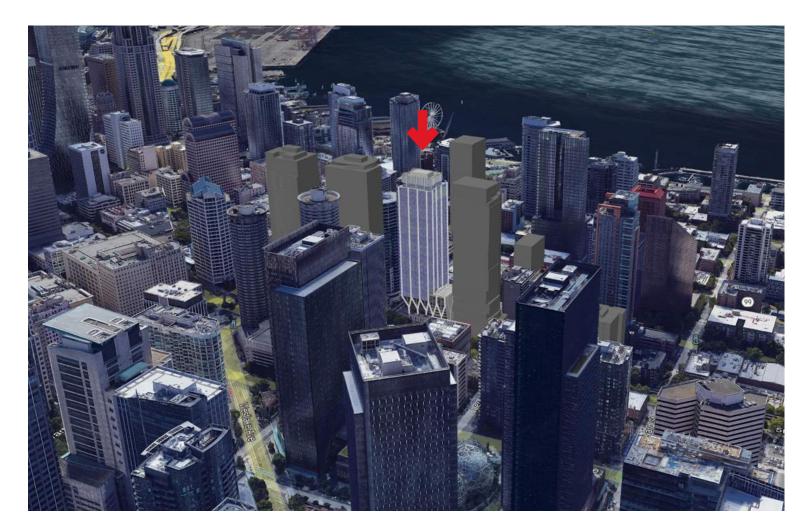


**APPENDIX** CHAINQUI DEVELOPMENT | M Z A | 2005 5TH AVE | DRB | 02/21/2023

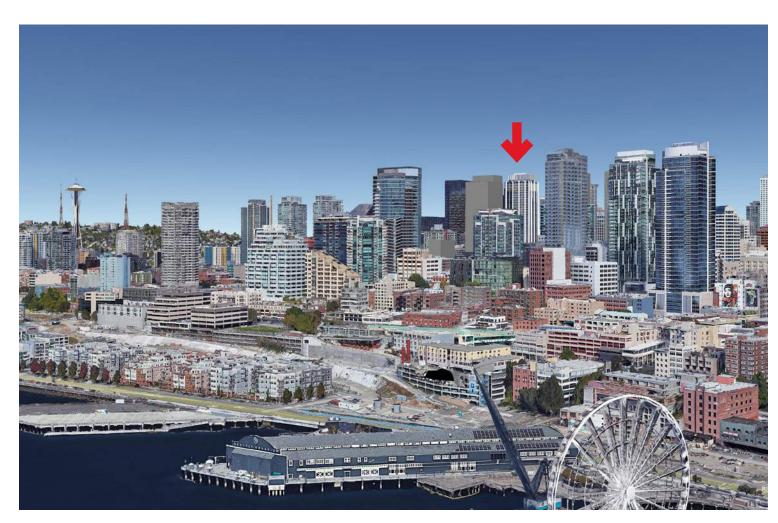
# Space Needle Sp

# TERMINUS DESIGN

### URBAN SKYLINE VIEWS







VIEW 2: Looking NE

APPENDIX CHAINQUI DEVELOPMENT | M Z A | 2005 5TH AVE | DRB | 02/21/2023 100

# SHADOW STUDY

PROPOSED

9:00AM NOON 3:00PM 9:00AM NOON 3:00PM WINTER SOLSTICE EQUINOX SUMMER SOLSTICE 9:00AM NOON 3:00PM 9:00AM NOON 3:00PM **APPENDIX** CHAINQUI DEVELOPMENT | M Z A | 2005 5TH AVE | DRB | 02/21/2023 101

EXISTING



5th and Virginia Seattle, WA 3/1/2021

SW corner of 5th Avenue and Virginia Street in Seattle, WA

2015 5th Ave 065900-1010

Parcel Number Current Use Griffin Building (office) 2005 5th Ave 065900-1020 2011 5th Ave 065900-1015 Sheridan Apartments

Parking Lot

Current Bldg GSF Land Area (SF) Dimensions 60' x 120' 32,356 4 6,480 36,880 6 6,480 60' x 120'

19,440 0.45 Acres

Retail, Office, Hotel, Multi-Family Residential

DMC 240/290-440 (Downtown Mixed-Use Commercial) Belltown Urban Center Village Downtown Fire District Overlay Districts:

Street Level Uses

ENITE OUE REQUIREMENTS		
	Applicable Land Use Code Section	This Proposal
23.40.006 Demolition of Housing	A demolition permit for a structure containing a dwelling unit may only be issued if a)the structure has not been occupied for past 6 months, b) a permithas been issued by the Director following the procedures of Master Use Permits to change the use, c) a permit or approval has been issued by the Director ot relocate the structure to another lot, or d) a complete building permit application for construction of a new principal structure on the same lot as the structure to be demolished has been submitted to the Director, the demolition permit application and the building permit application are categorically exempt from review under Chapter 25.05, Environmental Policies and Procedures, the issuance of some other approval is not required by this Title 23 or Title 25 as a condition to issuing the demolition permit, and the Director has approved a waste diversion plan pursuant to Section	Per option (d) A complete building permit application for construction of a new principal structure on the same lot as the structure to be demolished has been submitted to the Director, the demolition permit application and the building permit application are categorically exempt from review under Chapter 25.05, Environmental Policies and Procedures, the issuance of some other approval is not required by this Title 23 or Title 25 a a condition to issuing the demolition permit, and the Director has approved a waste diversion plan pursuant to Section 23.40.007.
	23.40.007.	
23.40.008 Demolition of Landmarks	A.Except as provided in subsection B, no demolition permit for a landmark shall be issued until the requirements of Section 25.12.835 of the Landmarks Preservation Ordinance have been satisfied.	This project shall preserve the historic facades of the Griffin and Sheridan Buildings.  Demolition of the interior structure including floors and roof shall be approved by the Landmarks Preservation Board.
23.42.048 Configuration of Dwelling Units	All dwelling units shall contain a) a food prepration area, b) a bathroom, and c) one or more sleeping rooms.	All dwelling units contain a) a food prepration area, b) a bathroom, and c) one or more sleeping rooms.
	Small efficiency dwelling units shall have a living room net floor area of at least 150 net square feet, the total floor area shall be at least 220 square feet. Each unit shall contain a food preparation area and a bathroom	There are no small efficiency dwelling units in the project.
23.42.118 Landmark Structures	Landmark structures may be expanded even if the espansion increases the extent of nonconformity, when the Landmarks Board determines that there is no feasible alternative that meets the development standards of the zone while preserving the integrity of the landmark structure.  The Director may permit the proposed expansion if it is approved by Landmarks Board and if:	Expansion is under review by the Landmarks Board for approval.
	1. The expansion does not have a significant adverse effect on the light, air, solar, and visual access of properties within a 300-foot radius; and	
	2. The expansion does not adversely affect the pedestrian environment in the vicinity.	
23.49.007 MHA	Mandatory agreement through payment or performance options	
23.58B MHA-C	Payment option calculated at \$11.84 x commercial chargeable area	
23.58C MHA-R	Payment option calculated at \$9.56 x residential chargeable area	
23.49.008 A	240' Non-Residential	
Base and Maximum	290' Base Residential Height 440' Max. Residential Height using bonus available under 23.49.015	
Heights 23.49.008 B	440' Max. Residential Height using bonus available under 23.49.015  May exceed the maximum height for residential use by 10% if:	
Height Exception	The facades of the portion of the structure above the limit do not enclose an area greater than 9,000 square feet.     The enclosed space is occupied only by those uses or features otherwise permitted in	Proposal includes rooftop enclosed common recreation area with mechanical equipment above located above the height limit by a maximum of 10% (44 feet) of height.
	Section 23.49.008 as an exception above the height limit, and shall not be combined with any	
23.49.008D	other height exception for screening or rooftop features to gain additional height.	Dranged includes anon-railings, plantage paranets, stair parthouses, anglesed common
Rooftop Features	<ol> <li>The following rooftop features are permitted up to 100% rooftop coverage:</li> <li>Open railings, clerestories, planters, skylights, parapets, and firewalls up to 4ft high</li> </ol>	Proposal includes open railings, planters, parapets, stair penthouses, enclosed common recreation area, mechanical equipment, elevator penthouses, and rooftop screening within the maximum height limits indicated.
Height Limits	<ul> <li>b. Insulation material, rooftop decks, landscape soil may exceed the max height by 2 feet</li> <li>c. Solar collectors up to 7 feet above the height limit</li> <li>d. Smokestacks, and flagpoles may extend up to 50 feet when located 10 feet from lot lines.</li> </ul>	
	The following rooftop features are permitted up to 55% of the roof area:	
	a. Solar collectors, stair penthouses, covered or enclosed common recreation area,	
	mechanical equipment, and wind turbines up to 15 feet above height limit.	
	b. Elevator penthouses up to 23 feet for an elevator cab up to 8 feet high, 25 feet if the cab is	
	higher than 8 feet, and an additional 10 feet if the elevator serves the rooftop designed to	
	provide useable open space.	
	c. Minor communication utilities	
	d. Greenhouses dedicated to food production as long as the combined total of all roof	
	features does not exceed 50%	
	3. Screening of rootop features:	
	a. The amount of rooftop screening may exceed the maximum percentage of features.	
	b. The height of rooftop screening may not exceed 10% of the applicable height.	
	<ol> <li>Features listed may exceed a height of 50 feet if authorized by the Director through a administrative conditional use process, evaluated on the basis of public benefits provided.</li> </ol>	
23.49.009	Per Map 1G the following streets: 5th: Not Required	Although street level uses are not required, the project proposes to have general sales and
Street Level Uses	Virginia: Not Required	services along Virginia Street

Virginia:

Not Required

services along Virginia Street.

This Proposal
Per option (d) A complete building permit application for construction of a new principal structure on the same lot as the structure to be demolished has been submitted to the Director, the demolition permit application and the building permit application are categorically exempt from review under Chapter 25.05, Environmental Policies and Procedures, the issuance of some other approval is not required by this Title 23 or Title 25 as a condition to issuing the demolition permit, and the Director has approved a waste diversion plan pursuant to Section 23.40.007.
This project shall preserve the historic facades of the Griffin and Sheridan Buildings.  Demolition of the interior structure including floors and roof shall be approved by the Landmarks Preservation Board.
All dwelling units contain a) a food prepration area, b) a bathroom, and c) one or more sleeping rooms.
There are no small efficiency dwelling units in the project.
Expansion is under review by the Landmarks Board for approval.
Proposal includes rooftop enclosed common recreation area with mechanical equipment above located above the height limit by a maximum of 10% (44 feet) of height.
Proposal includes open railings, planters, parapets, stair penthouses, enclosed common recreation area, mechanical equipment, elevator penthouses, and rooftop screening within the maximum height limits indicated.

23.49.10	Common recreation area shall meet the following:
Residential Reqts	1. An area equivalent to 5% of the total gross floor area in residential use, excluding any floor
	area gained through a voluntary agreement for housing under Section 23.49.015, shall be
	provided, but shall not exceed the area of the lot. It may be provided at or above grade.
	2. A maxium of 50% of the common recreation area may be enclosed.
	3. Minimum horizontal dimension shall be 15 feet, except open space provided as landscape
	setback area at street level shall be min 10 feet. No required common recreation area shall
	be less than 225 sf.
	4. Common recreation area that is provided as open space at street level shall be counted as
	twice the actual area in determining minimum requirements.
	5. In mixed-use projects, the Director may permit a bonused public open space to satisfy a
	portion of the common recreation area requirement.
23.49.011A	Base FAR Maximum FAR
Floor Area Ratio	5 8
100171100110110	Chargeable floor area shall not exceed base FAR except as authorized by bonuses.
	a) First 0.25 increment of FAR above Base FAR shall be by acquiring Regional Development
	Credits pursuant to Section 23.58A.044.
	b) Additional FAR above Base FAR shall be obtained by floor area bonuses per Section
	23.49.012 (housing and child care) or 23.49.013 (amenities), by transfer of TDR per 23.49.014,
	c) Minimum of 5% of the floor area above base FAR shall be by acquiring Landmark TDR's
	from the City or a private party.
23.49.011 B	Street Level Uses with min floor to floor height of 13 feet and min 15 feet deep
FAR Exemptions	Including: General Sales and Services, Child Care Centers, Human Services, Eating and
	Drinking Establishments, Bicycle Parking
	Residential Use, Live-Work Units
	Floor area below grade
	Parking accessory to residential up to 1 stall/unit, to hotel up to 1 stall/4 rooms
	3.5% of the floor area for Mechanical Equipment
	100% of the mechanical unit area on the roof
23.49.012	Option 1: Provide 15.6% of the bonus area in low-income housing
Housing FAR Bonus	Option 2: Purchase bonus area at current rate (\$24.95)/gross square foot
23.49.013	Min 5,000 sf Public Open Space (Commercial Parcel Park): 5:1
Amenities FAR Bonus	Ground Floor Public Restrooms: 7:1, No Limit
	Ground Floor Human Services: 7:1 up to 10,000 sf of human services
23.49.014	Available TDR's: Housing, DMC Housing, Landmark Housing, Landmark, Open Space
TDR's	Within Block TDR's: May send or receive within the same block
TDIC 3	a) Max within-block TDR: Base FAR less area of sending lot area
	b) Receiving lot is limitted to gain of 15% of floor area above first increment
23.49.015A	Bonus development available for residential development.
Low-Income Housing	Low-income housing may be provided outside the project thru payment option.
	Continuous 8 ft deep weather protection required for the entire street frontage, or must
Weather	extend to a line (2) feet from curb line, whichever is less.
Protection	Lower edge must be a minimum of 10 feet and maximum of 15 feet above sidewalk.
i i otection	Adequate lighting shall be provided in the building façade or on the canopy.
23 49 019A B C	
23.49.019A,B,C	No parking is required  One story of parking is permitted above grade for every level below grade, up to four stories
Parking	One story of parking is permitted above grade for every level below grade, up to four stories
	Maximum parkings for non-residential uses limited of 1 space per 1 000 -f
22 40 0105	Maximum parking: for non-residential uses, limited of 1 space per 1,000 sf.
23.49.019E	Bicycle parking is required according to subsection 23.54.015.K.
23.54.015.K	
	feet of office use long-term short-term
	long-term short-term
	office 1 per 2,000 square feet 1 per 10,000 square feet
	Residential 1 per dwelling unit 1 per 20 dwelling units
23.49.019H	Parking access: if lot abuts an alley, alley access is required.
Parking Access	The Director may allow or require access from a right-of-way other than the alley after
	consulting with the Director of Transportation on whether and to what extent alternative
	locations of access would enhance pedestrian safety and comfort, facilitate transit
	operations, facilitate the movement of vehicles, minimize the on-street queuing of vehicles,
	enhance vehicular safety, or minimize hazards, and, for hotel use, improve passenger loading
	enhance venicular safety, or minimize nazarus, and, for noter use, improve passenger loading
	safety or increase visibility of vehicular access for guests arriving by car.

5% of Gross Residential Use Option: 5.0% x 332,910 16,646 SF  5% of Gross Residential Use is utilized, located at the L12 and L42 rooftops.  50.0% x 16,646 8,323 Max Enclosed 8,323 Min Exterior  5ite Area: Base Maximum 5ite area: 19,440 19,440 Multiplier: 5 8  Fotal: 97,200 155,520  Parking is provided below-grade only, per market conditions for residential, at rate of 0.61 per 1000sf for office and 0.56 per unit of residential  100.5 per unit of residential  116,780 116,78	ite Area Optio	n:		Lot Area:	19,440	SF
20.0% x 16,646 8,323 Max Enclosed 8,323 Min Exterior site Area: Base Maximum 19,440 19				010	16,646	SF
Site Area: Base Maximum Site area: 19,440 19,440 Multiplier: 5 8  Fotal: 97,200 155,520  Parking is provided below-grade only, per market conditions for residential, at rate of 0.61 Per 1000sf for office and 0.56 per unit of residential  Ing-term short-term # Office 58.39 11.678 116780 Residential 400 20 400	5% of Gross Re	sidential Use is	s utilized, lo	cated at the L12 an	d L42 rooftop:	s.
Parking is provided below-grade only, per market conditions for residential, at rate of 0.61 per 1000sf for office and 0.56 per unit of residential    long-term	60.0%	х	16,64	16		
Parking is provided below-grade only, per market conditions for residential, at rate of 0.61 per 1000sf for office and 0.56 per unit of residential    long-term	ite Area:		Base	Maximum		
Parking is provided below-grade only, per market conditions for residential, at rate of 0.61 per 1000sf for office and 0.56 per unit of residential    long-term	iite area: Multiplier:		,440	19,440		
long-term   short-term   #     116780     Residential   400   20   400	otal:	97	7,200	155,520		
Iong-term   short-term   #     office   58.39   11.678   116780     Residential   400   20   400						
Iong-term   short-term   #     office   58.39   11.678   116780     Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Long-term   Short-term   # Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #     office   58.39   11.678   116780     Residential   400   20   400						
Iong-term   short-term   #     office   58.39   11.678   116780     Residential   400   20   400						
Iong-term   short-term   #     office   58.39   11.678   116780     Residential   400   20   400						
Long-term   Short-term   # Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #     office   58.39   11.678   116780     Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
Iong-term   short-term   #   Office   58.39   11.678   116780   Residential   400   20   400						
long-term         short-term         #           office         58.39         11.678         116780           Residential         400         20         400						
office         58.39         11.678         116780           Residential         400         20         400					for residentia	ıl, at rate of 0.61
office         58.39         11.678         116780           Residential         400         20         400					for residentia	il, at rate of 0.61
office         58.39         11.678         116780           Residential         400         20         400					for residentia	ıl, at rate of 0.61
office         58.39         11.678         116780           Residential         400         20         400					for residentia	ıl, at rate of 0.61
office         58.39         11.678         116780           Residential         400         20         400					for residentia	ıl, at rate of 0.61
Residential 400 20 400		office and 0.56	per unit of	residential		ıl, at rate of 0.61
	eer 1000sf for c	office and 0.56	per unit of	residential -term	#	ıl, at rate of 0.61
	oer 1000sf for c	long-term 58.39	per unit of	-term 11.678	# 116780	ıl, at rate of 0.61

ZONING SUMMARY

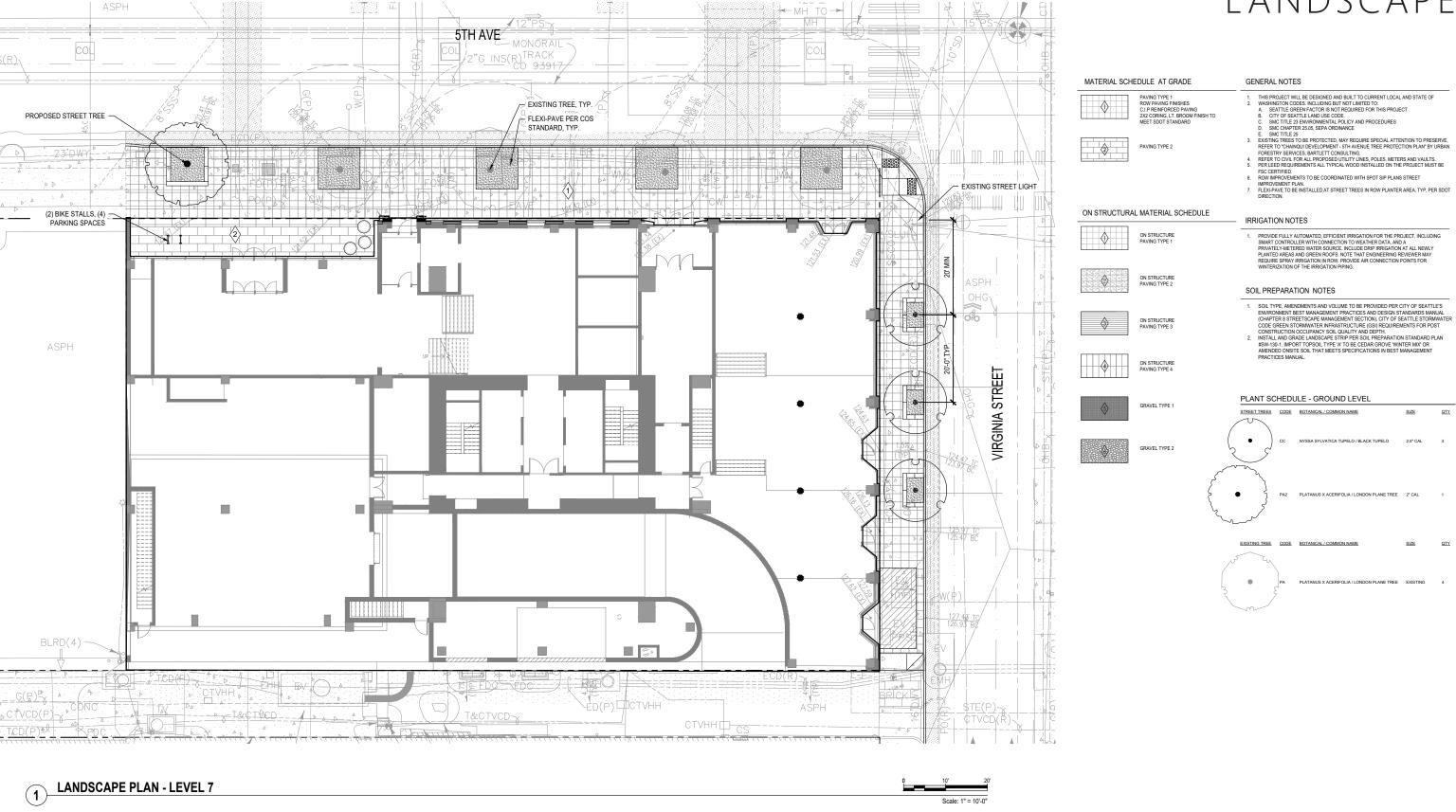
102 **APPENDIX** CHAINQUI DEVELOPMENT | M Z A | 2005 5TH AVE | DRB | 02/21/2023

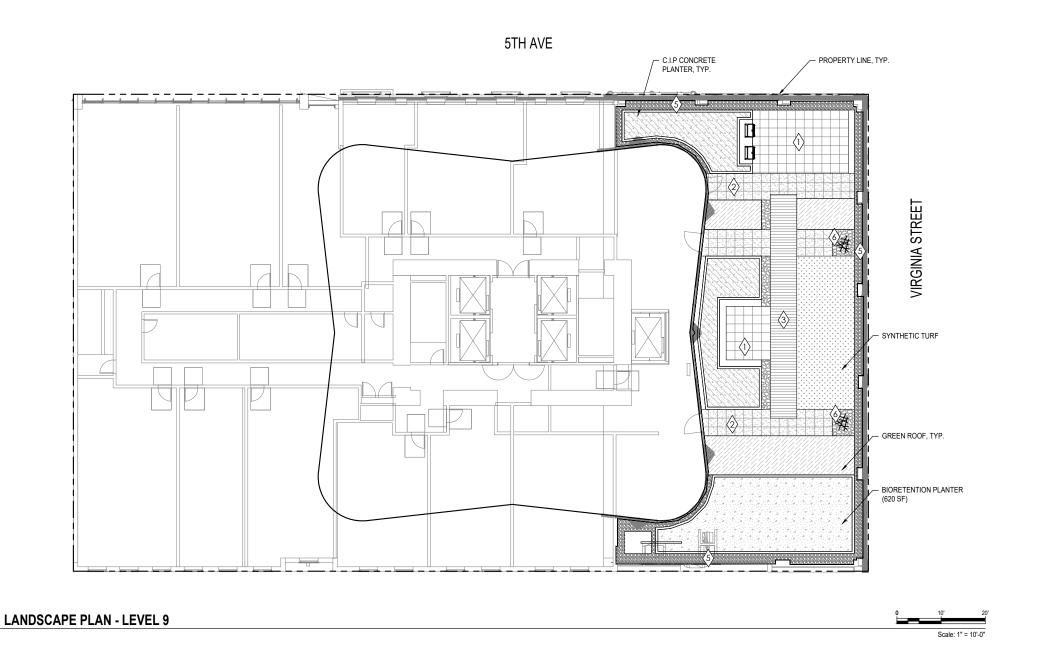
# ZONING SUMMARY

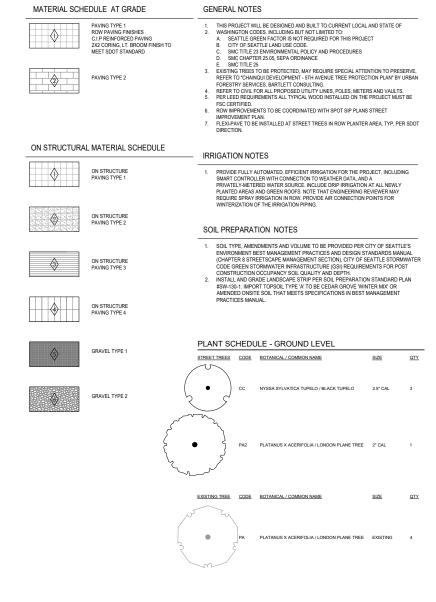
TMP is required	if the development is expected	to generate 50 or more employees single-
occupant vehicl	e trips in any one pm hour.	
TMP is required	for multi-family development t	hat is expected to generate 50 or more
vehicle trips in	any one pm hour or demand for	25 or more vehicles parking on the street
overnight.		
5th Ave: 15 fee	t	
Virginia: 12 fee	t	
Alley: 20 feet		
Lots in the same	e block may be combined, whet	her contiguous or not, for
the sole purpos	e of allowing some or all charge	able floor area on one lot
to be used on o	ne or more other lots.	
A. Flexible-use I	Parking for short-term parking n	nay be permittted as conditional use.
B. Accessory Pa	rking garages for short and long	term permitted to max of 23.49.019
5th Ave:	Class I Pedestrian Street	25 ft
Virginia:	Class II Pedestrian Street	15 ft
Per Map 1H, 5tl	h Ave and Virginia Street do not	require property line facades.
	-	
	• •	
		eeding 15' deep = .3 x 180 = 54 feet
Virginia:		
0		
Max facade set	· · · · · · · · · · · · · · · · · · ·	
-		iscononis is 10 reed
		Max Floor Area
		11,500
		11,500
	_	
		senarated from other160 ft tower
		•
•		•
Director may w	aive of filodity the tower spacin	grequirements
Duildings over 1	60 ft tall on the black	
-		foot) 16 ft to proporty line
		reet) , 16 it to property line
2) warwick Hot	ei (18 stories - 218 feet)	
B: .		
	· · · · · · · · · · · · · · · · · · ·	
	· · · · · · · · · · · · · · · · · · ·	
•		
•	· -	
	• •	
c) Potential imp	act on the public environment,	including shadow and view impacts on nearby
streets and ope	n spaces	
d) Design chara	cteristics of the additional towe	r, including bulk, massing, façade treatments,
-,		, ,
	occupant vehicl  TMP is required vehicle trips in a overnight.  5th Ave: 15 fee Alley: 20 feet Lots in the samuthe sole purpost to be used on o A. Flexible-use in B. Accessory Pa  5th Ave: Virginia:  Per Map 1H, 5th General setback 5th Ave:  Virginia:  Max façade seth Min. length of the Tower 160-240 feet 160-240 feet 160-240 feet 160-240 feet 240-500 feet  Applies to all sthall portions of the Director may when the second se	Sth Ave: 15 feet Virginia: 12 feet Alley: 20 feet Lots in the same block may be combined, whet the sole purpose of allowing some or all charge to be used on one or more other lots. A. Flexible-use Parking for short-term parking n B. Accessory Parking garages for short and long Sth Ave: Class I Pedestrian Street Virginia: Class II Pedestrian Street Per Map 1H, 5th Ave and Virginia Street do not General setback limits for streets not requiring Sth Ave: Applies between an elevatior Max setback area = 5 x 180' = Max width of any setback ex Virginia: Applies between an elevatior Max setback area = 10 x 120' Miax width of any setback ex Max façade setback from street lot lines at inte Min. length of the corner setback is 20 feet. Tower 160-240 Tower 240-440 10,000 10,700 Elevation Max Unmod. Length 85-160 feet 155 ft 160-240 feet 125 ft 1240-500 feet 100 ft Applies to all structures over 160 feet in height All portions of the tower above 125 feet shall b Director may waive or modify the tower spacin Applies to all structures over 160 feet in height All portions of the tower above 125 feet shall b Director may waive or modify the tower spacin Buildings over 160 ft tall on the block: 1) Vulcan Tower - 3026266 LU - (44 stories, 440 2) Warwick Hotel (18 stories - 218 feet)  Director may waive or modify the tower spacin towers on the same block that are not separate (80 feet). The Director shall determine that iss to the presence of the additional tower have be exceptions to tower spacing standards. The Di a) potential impact on adjacent residential stru b) Aspects of the proposal that offset the reduc c) Potential impact on the public environment, streets and open spaces

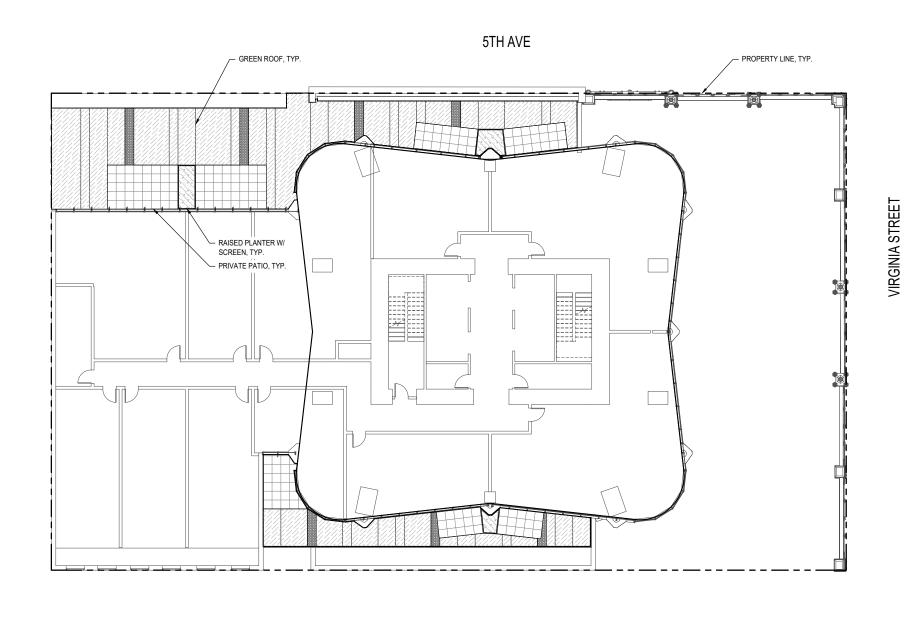
5th Ave Existing Sidewalk W	idth: 18 feet	
Virginia Street Existing Sidev	walk Width: 11 feet	
	t, propsal widens by 2 feet to bined on this block for the p	18 feet except at the first ba
rai tili ee pareels wiii be com	isined on this block for the p	ojeci.
No flexible-use parking is pr		
Accessory parking is propose	ed for office and residential (	uses
Proposed Façade Heights:	5th Ave.:	56-60 feet
	Virginia Street:	56-48 feet
5th Ave: Proposed se	etback area = 98 SF	
Virginia: Proposed se	etback area : historic façade,	no sethack
	,	
11,500 SF		
·		
151 ft		
110 ft		
110 ft Tower 60'		
Separation		

APPENDIX CHAINQUI DEVELOPMENT | M Z A | 2005 5TH AVE | DRB | 02/21/2023 103









#### MATERIAL SCHEDULE AT GRADE





#### ON STRUCTURAL MATERIAL SCHEDULE











#### GENERAL NOTES

- THIS PROJECT WILL BE DESIGNED AND BUILT TO CURRENT LOCAL AND STATE OF
   WASHINGTON CODES. INCLUDING BUT NOT LIMITED TO:
   A. SEATLE GREEN FACTOR IS NOT REQUIRED FOR THIS PROJECT
   B. CITY OF SEATTLE LAND USE CODE.
   SAME THIZ 25 BENNORMARY IN POLICY AND PROCEDURES
   SAME THIZ 25 BENNORMARY IN POLICY AND PROCEDURES SHOW IN PRESENCE AND PROSED THAT ON SHAPE THE PROTECTION PLAN FOR URBAN FORESTIVE SERVICES. BRATILET CONSILTING.
   REFER TO COMIL FOR ALL PROPOSED UTILITY LINES, POLES, METERS AND VAULTS.
   PER LEED REQUIREMENTS ALL PYPOLA WOOD INSTALLED ON THE PROJECT MUST BE
   ROW IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO SECURITY OF THE PLANS STREET
  IMPROVEMENT OF THE PLANS STREET
  I

#### IRRIGATION NOTES

PROVIDE FULLY AUTOMATED, EFFICIENT IRRIGATION FOR THE PROJECT, INCLUDING SMART CONTROLLER WITH CONNECTION TO WEATHER DATA, AND A PRIVATELY METERED WATER SOURCE, INCLUDE GRIP IRRIGATION AT ALL NEWLY PLANTED AREAS AND GREEN ROOFS. NOTE THAT ENGINEERING REVIEWER MAY REQUIRE SPAY IRRIGATION IN SOW, PROVIDE AIR CONNECTION POINTS FOR WINTERIZATION OF THE IRRIGATION PPING.

#### SOIL PREPARATION NOTES

- SOIL TYPE. AMENOMENTS AND VOLUME TO BE PROVIDED PER CITY OF SEATTLES ENVIRONMENT BEST MANAGEMENT PRACTICES AND DESION STANDARDS MANUAL (CHAPTER STREETSCARE MANAGEMENT SERVON), CITY OF SEATTLES STORMWATER CODE GREEN STORWMATER INFRASTRUCTURE (GSI) REQUIREMENTS FOR POST CONSTRUCTION OCCUPANCY SOIL CUALLITY AND DEPTHAL TON STANDARD PLAN BEN'S AND GRADE LANGSCARE STRIP PER SOIL PREPARATION STANDARD PLAN BEN'S AND MANCH TO PER A TO BE COLOR GROVE WAITER MIX OR AMENDED NORTH SOIL THAT MEETS SPECIFICATIONS IN BEST MANAGEMENT PRACTICES MANUAL.

#### CONCEPT PLANT SCHEDULE LEVEL 7



PLANTER PLANTING
BLEDWING SPECIAL AGE / MISTY LAGE GOATSBEARD
BLEDWING SPECIAL AGE / MISTY LAGE GOATSBEARD
BLEDWING SPECIAL SPECIAL AGE / GOLDEN MEDICAN MOCK
COTONEASTER OF AUDICIPATIVE IS WORT / GRAVE LAGE COTO
HOUSEASTER OF AUDICIPATIVE IS WORT / GRAVE LAGE COTO
HOUSEASTER OF AUDICIPATIVE IS WORT / GRAVE LAGE COTO
HOUSEAND LAGE CONTROL AND AUDICIPATIVE IN AUDICI

#### CONCEPT PLANT SCHEDULE LEVEL 9

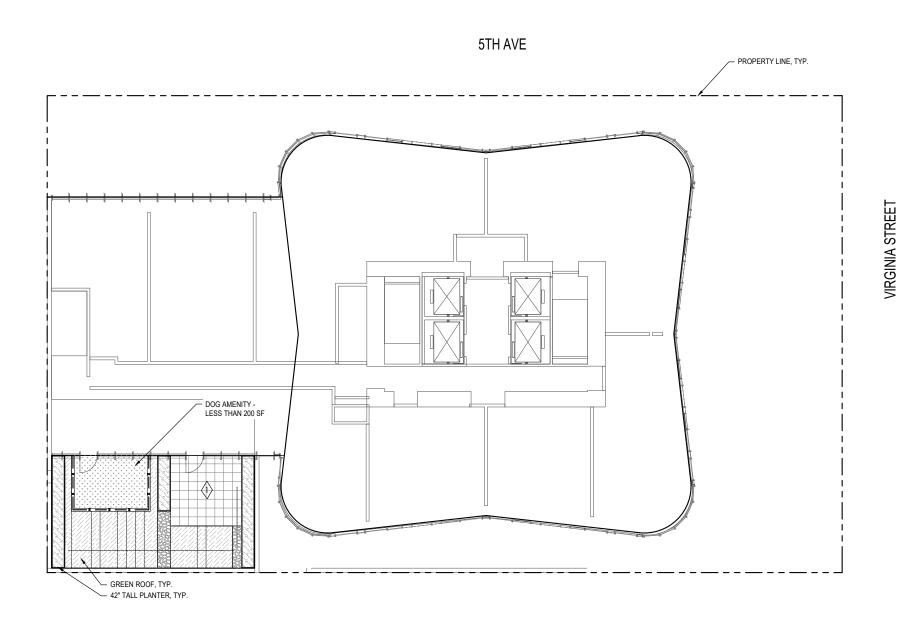


ARLINCUS X MIST I TUNE FIRM.

BLECHNUM SPICANT / DEER FERN GOLDEN MEDICAN MOCK ORANGE OHOSYA TERMATA SUNDANCE / GOLDEN MEDICAN MOCK ORANGE OHOSYA TERMATA SUNDANCE / GOLDEN MEDICAN GENYLEAR COTONEASTER DAHNE OHOSA AUREOMAGGINATA / / MISTER DAHNE HYDRANGEA MACROPHYLLA PIA: / PIA DWARF HYDRANGEA HYDRANGEA FOR MACROPHYLLA PIA: / PIA DWARF HYDRANGEA FOLLY / DAMPASE FEAVER JADANESE POLLY

**LANDSCAPE PLAN - LEVEL 7** 





#### MATERIAL SCHEDULE AT GRADE



#### ON STRUCTURAL MATERIAL SCHEDULE













#### GENERAL NOTES

- THIS PROJECT WILL BE DESIGNED AND BUILT TO CURRENT LOCAL AND STATE OF
   WASHINGTON CODES. INCLUDING BUT NOT LIMITED TO:
   A. SEATLE GREEN FACTOR IS NOT REQUIRED FOR THIS PROJECT
   B. CITY OF SEATTLE LAND USE CODE.
   SAME THIZ 25 BENNORMARY IN POLICY AND PROCEDURES
   SAME THIZ 25 BENNORMARY IN POLICY AND PROCEDURES SHOW IN PRESENCE AND PROSED THAT ON SHAPE THE PROTECTION PLAN FOR URBAN FORESTIVE SERVICES. BRATILET CONSILTING.
   REFER TO COMIL FOR ALL PROPOSED UTILITY LINES, POLES, METERS AND VAULTS.
   PER LEED REQUIREMENTS ALL PYPOLA WOOD INSTALLED ON THE PROJECT MUST BE
   ROW IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO BE COORDINATED WITH SPOT SP PLANS STREET
  IMPROVEMENTS TO SECURITY OF THE PLANS STREET
  IMPROVEMENT OF THE PLANS STREET
  I

#### IRRIGATION NOTES

PROVIDE FULLY AUTOMATED, EFFICIENT IRRIGATION FOR THE PROJECT, INCLUDING SMART CONTROLLER WITH CONNECTION TO WEATHER DATA, AND A PRIVATELY METERED WATER SOURCE, INCLUDE GRIP IRRIGATION AT ALL NEWLY PLANTED AREAS AND GREEN ROOFS. NOTE THAT ENGINEERING REVIEWER MAY REQUIRE SPAY IRRIGATION IN SOW, PROVIDE AIR CONNECTION POINTS FOR WINTERIZATION OF THE IRRIGATION PPING.

#### SOIL PREPARATION NOTES

- SOIL TYPE. AMENDMENTS AND VOLUME TO BE PROVIDED PER CITY OF SEATTLE'S ENVIRONMENT BEST MANAGEMENT FRACTICES AND DESION STANDARDS MANUAL (CHAPTER STREETSCAPE MANAGEMENT SERVON, CITY OF SEATTLE STORMWATER CODE GREEN STORMWATER INFRASTRUCTURE (GS) REQUIREMENTS FOR POST CONSTRUCTION OCCUPANCY SOIL CUALITY AND DEPTH.

  INSTALL AND GRADE LANGSCAPE STRIP PER SOIL PREPARATION STANDARD PLAN BOYL'SS. IMPORT TO SEAT OF THE ATTO STANDARD PLAN BOYL'SS. IMPORT TO SEAT OF THE ATTO SEATONS ON BEST MANAGEMENT PRACTICES MANUAL.

  PRACTICES MANUAL.

#### CONCEPT PLANT SCHEDULE LEVEL 7





#### CONCEPT PLANT SCHEDULE LEVEL 9

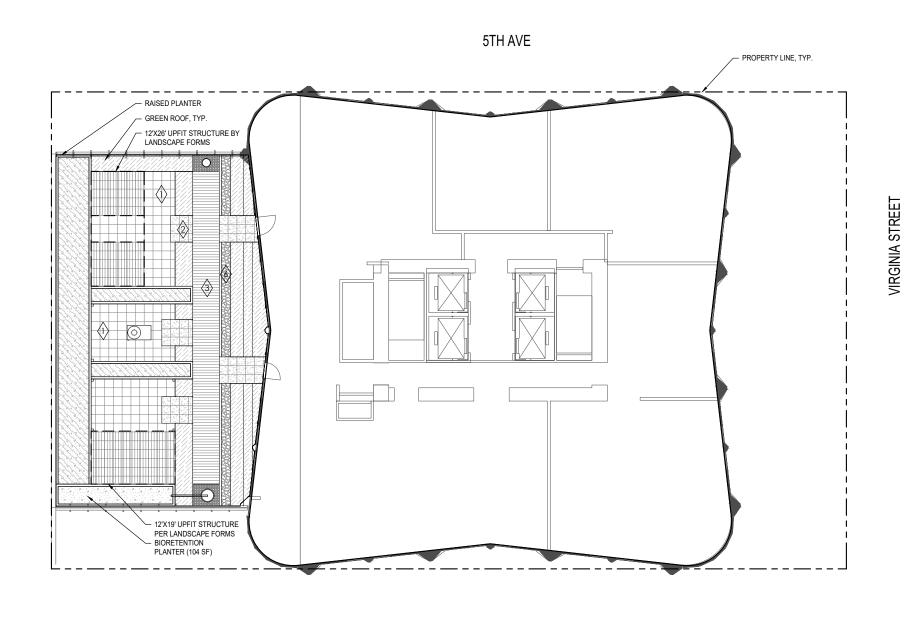


PLANTER PLANTING

ARINCUS X MISTY LAGE / MISTY LAGE GOATSBEARD
BLOCHNUS SICIANT / DEER FERN
OUSVA TERWAT A SURDANCE / DOL ERN MESCAN MOOK OFFANSE
OUSVA TERWAT A SURDANCE / DOL ERN MESCAN MOOK OFFANSE
OHNER GOODEAN ALREEMANGHANT / WANTER OHNERSTER
HYDRANGEA MACROPHYLL PRA / PAR DUWER HYDRANGEA
HYDRANGEA MACROPHYLL PRA / PAR DUWER HYDRANGEA
HAMAN LATEGUM NUMBET MONET MOUNTAGE MALERE
LONGERA PLEATA / PRIVET HONEYSUDURE OFF CHARGES
MACROPHYLE MAIN MISTER MONET MOUNTAGE OFF CHARGES
MACROPHYLE MAIN MISTER MORE STREET MAIN MONET MONES
SARCOCOCCA HOOKEMAN VAR. HOOKEMAN / SWETTROX
SARCOCOCCA HOOKEMAN / S

**LANDSCAPE PLAN - LEVEL 9** 





#### MATERIAL SCHEDULE AT GRADE

PAVING TYPE 1 ROW PAVING FINISHES C.I.P REINFORCED PAVING



PAVING TYPE 2

#### ON STRUCTURAL MATERIAL SCHEDULE







ON STRUCTURE PAVING TYPE 3



ON STRUCTURE PAVING TYPE 4





#### GENERAL NOTES

- 1. THIS PROJECT WILL BE DESIGNED AND BUILT TO CURRENT LOCAL AND STATE OF
  2. WASHINGTON CODES, INCLUDING BUT NOT LIMITED TO:
  A. SEATTLE GREEN FACTOR IS NOT REQUIRED FOR THIS PROJECT
  B. CITY OF SEATTLE LAND USE CODE.
  C. SIMC TITLE 23 ENVIRONMENTAL POLICY AND PROCEDURES
  D. SIMC CHAPTER 250, SEPA ORDINANCE
  E. SIMC TITLE 25
  S. EMISTING TREES TO BE PROTECTED, MAY REQUIRE SPECIAL ATTENTION TO PRESERVE, REFER TO "CHANQUI DEVELOPMENT" 5TH AVENUE TREE PROTECTION PLAN" BY URBAN FORESTRY SERVICES, BRATLETT CONSULTING.
  4. REFER TO CIVIL FOR ALL PROPOSED UTILITY LINES, POLES, METERS AND VAULTS.
  5. PER LEED REQUIREMENTS ALL TYPICAL WOOD INSTALLED ON THE PROJECT MUST BE FSC CERTIFIED.
  6. ROW IMPROVEMENTS TO BE COORDINATED WITH SPOT SIP PLANS STREET
  IMPROVEMENT FLAN.
  7. FLEX-PAYET TO BE INSTALLED AT STREET TREES IN ROW PLANTER AREA, TYP, PER SDOT

- 7. FLEXI-PAVE TO BE INSTALLED AT STREET TREES IN ROW PLANTER AREA, TYP, PER SDOT DIRECTION.

#### IRRIGATION NOTES

PROVIDE FULLY AUTOMATED, EFFICIENT IRRIGATION FOR THE PROJECT, INCLUDING SMART CONTROLLER WITH CONNECTION TO WEATHER DATA, AND A PRIVATELY-WETERED WATER SOURCE. INCLUDE DRIP IRRIGATION AT ALL NEWLY PLANTED ABEAS AND GREEN ROOFS. NOTE THAT ENGINEERING REVIEWER MAY REQUIRE SPRAY IRRIGATION IN ROW. PROVIDE AIR CONNECTION POINTS FOR WINTERZIATION OF THE IRRIGATON PRINK.

#### SOIL PREPARATION NOTES

- 1. SOIL TYPE, AMENDMENTS AND VOLUME TO BE PROVIDED PER CITY OF SEATTLE'S SOLI TYPE, AMENUMENTS AND VOICINE TO DE PROVIDED FER CITY OF SEAT ITES
  ENVIRONMENT BEST MANAGEMENT PRACTICES AND DESIGN STANDARDS MANUAL
  (CHAPTER 8 STREETSCAPE MANAGEMENT SECTION), CITY OF SEATTLE STORMWATER
  CODE GREEN STORMWATER INFRASTRICUTIES (GSI) REQUIREMENTS FOR POST
  CONSTRUCTION OCCUPANCY SOIL QUALITY AND DEPTH.
   INSTALL AND GRADE LANDSCAPE STRIP PER SOIL PREPARATION STANDARD PLAN
  #SW-130-1. IMPORT TOPSOIL TYPE 'A' TO BE CEDAR GROVE WINTER MIX' OR
  AMENDED ONSITE SOIL THAT MEETS SPECIFICATIONS IN BEST MANAGEMENT
  PRACTICES MANUAL.

#### CONCEPT PLANT SCHEDULE LEVEL 14



#### CONCEPT PLANT SCHEDULE LEVEL 44



GREEN ROOF PLANTING
PREGROWN SEDUM MAT / MAROON/RED MIX SEDUM MAT
PREGROWN SEDUM MAT / STANDARD MIX SEDUM MAT
PREGROWN SEDUM MAT / SUNRAY/YELLOW-BLUE MIX SEDUM MAT



PLANTER PLANTING
ARUNGIS X MESTY LACE (MISTY LACE GOATSBEARD
BLECHMUN SECONT / DEER FERN
CHOISY X TERMATA SUNDANCE: GOLDEN MESYCAN MOCK ORANGE
CHOISY X TERMATA SUNDANCE: GOLDEN MESYCAN MOCK ORANGE
CHOISY X TERMATA SUNDANCE: GOLDEN MESYCAN MARCHAIL
APPRICE CORRA AUREOMARGIS MOST, GRAY-LEAF COTORISSTER
HOPARNGEA MACROPHYLLA "PIN / IPAD MURRE HYDRANGEA
HEX CREMATA CONVEXA! COMPEKLEAVED JAPANESE HOLLY
LEX CREMATA CONVEXA! COMPEKLEAVED JAPANESE HOLLY
LONGERA PILEATA / PRIVET HONE'SUCIOLE
MAHONIA EUR. SOFT CAREES Y MAHONIA SOFT CARES
OPHIOPOCON PLANISCAPUS 'NORGESCENS' / BLACK MONDO GRASS
SARCOCOCCA HONCERIJAN VAR HONCERIJAN I SWE'EBDOX
SYMPHORICARPOS ORBICULATUS TAFF'S SILVER EDGE' / CORALBEI
SYMPHORICARPOS ORBICULATUS TAFF'S SILVER EDGE' / CORALBEI

**LANDSCAPE PLAN - LEVEL 14** 

## LANDSCAPE

1. THIS PROJECT WILL BE DESIGNED AND BUILT TO CURRENT LOCAL AND STATE OF
2. WASHINGTON CODES. INCLUDING BUT NOT LIMITED TO:
A. SEATTLE GREEN FACTOR IS NOT REQUIRED FOR THIS PROJECT
B. CITY OF SEATTLE LAND USE CODE.
C. SINC ITITLE 23 ENVIRONMENTAL POLICY AND PROCEDURES
D. SINC CHAPTRE 250. SEPA ORDINANCE
E. SINC ITITLE 25
3. EVISITING TREES TO BE PROTECTED, MAY REQUIRE SPECIAL ATTENTION TO PRESERVE, REFER TO CHANQUI DEVELOPMENT - 5TH AVENUE TREE PROTECTION PLAN\* BY URBAN FORESTRY SERVICES, BATLETT CONSULTING.
4. REFER TO CHIL FOR ALL PROPOSED UTILITY LINES, POLES, METERS AND VAULTS.
5. PER LEED REQUIREMENTS ALL TYPICAL WOOD INSTALLED ON THE PROJECT MUST BE FSC CERTIFIED.
6. ROW IMPROVEMENTS TO BE COORDINATED WITH SPOT SIP PLANS STREET IMPROVEMENT FLAN.
7. FLELYPAYET TO BE INSTALLED AT STREET TREES IN ROW PLANTER AREA, TYP, PER SDOT

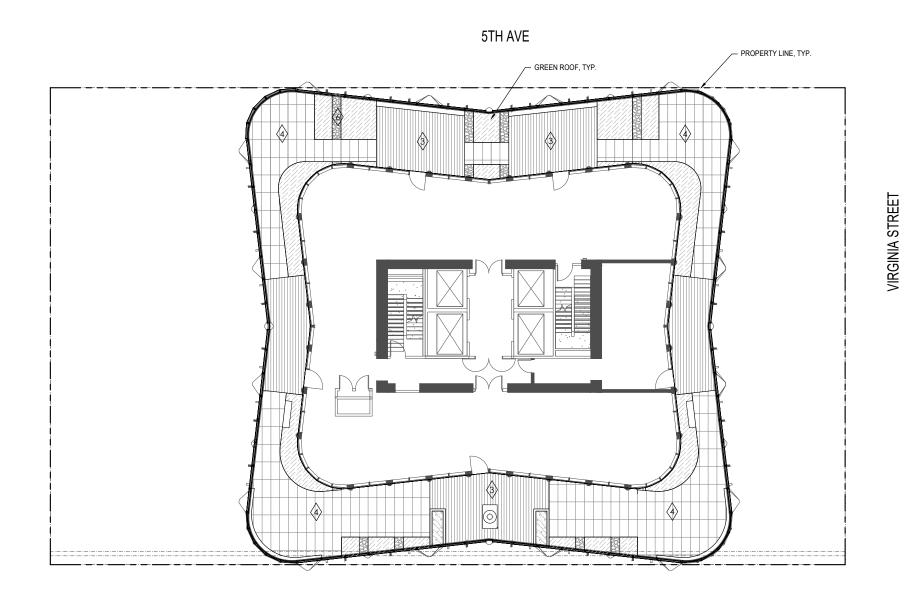
IMPROVEMENT PLAN.

FLEXL-PAVE TO BE INSTALLED AT STREET TREES IN ROW PLANTER AREA, TYP, PER SDOT DIRECTION.

PROVIDE FULLY AUTOMATED, EFFICIENT IRRIGATION FOR THE PROJECT, INCLUDING SMART CONTROLLER WITH CONNECTION TO WEATHER DATA, AND A PRIVATELY METERED WATER SOURCE. INCLUDE DRIP BRIGATION AT ALL NEWLY PLANTED AREAS AND GREEN ROOFS. NOTE THAT ENGINEERING REVIEWER MAY REQUIRE SPRAY IRRIGATION IN POW PROVIDE AIR CONNECTION POINTS FOR WINTERZATION OF THE IRRIGATION PIPING.

1. SOIL TYPE, AMENDMENTS AND VOLUME TO BE PROVIDED PER CITY OF SEATTLE'S

SUIL TYPE, AMENIMENTS AND VOLUME TO BE PROVIDED PER CITY OF SEAT ILES ENVIRONMENT BEST MANAGEMENT PRACTICES AND DESIGN STANDARDS MANUAL (CHAPTER 8 STREETSCAPE MANAGEMENT SECTION), CITY OF SEATTLE STORMWATER CODE GREEN STORMWATER INFRASTRUCTURE (GSI) REQUIREMENTS FOR POST CONSTRUCTION OCCUPANCY SOIL QUALITY AND DEPTH.
 INSTALL AND GRADE LANDSCAPE STRIP PER SOIL PREPARATION STANDARD PLAN #SW-130-1. IMPORT TOPSOIL TYPE "A" TO BE CEDAR GROVE "WINTER MIX" OR AMENDED ONSITE SOIL THAT MEETS SPECIFICATIONS IN BEST MANAGEMENT PRACTICES MANUAL.



#### MATERIAL SCHEDULE AT GRADE



PAVING TYPE 1 ROW PAVING FINISHES C.I.P REINFORCED PAVING 2X2 CORING, LT. BROOM FINISH TO MEET SDOT STANDARD



PAVING TYPE 2

#### ON STRUCTURAL MATERIAL SCHEDULE













CONCEPT PLANT SCHEDULE LEVEL 14

GENERAL NOTES

IRRIGATION NOTES

SOIL PREPARATION NOTES

PLANTER PLANTING
ARNINGUS X. MISTY LACE / MISTY LACE GOATSBEARD
BLECHMUR SPICANT / DEER FERN
CHOISYA TERNATA SURDANCE / GOLDEN MEXICAN MOCK O
COTIONASTER CAUCOMPHILLS HORT: / GRAY LEAR COTO:
HYDRANGEA MACROPHILLS PIA / PIA DWARF HYDRANGEA
LECX CRENATA CONNEXA / CONVEXAL AVED PARSES HO
KALMIA LATIFOLIA MINUET / MINUET MOUNTAIN LAUREL

- SPICATE SHEW SYLDICKY
- SPIC SMILACINA RACEMOSA / FALSE SOLOMON'S-SEAL SYMBHORICARPOS ORBICULATUS "TAFF'S SILVER EDGE" / CORALBERRY "TAFF'S SILVER EDGE"

#### CONCEPT PLANT SCHEDULE LEVEL 44

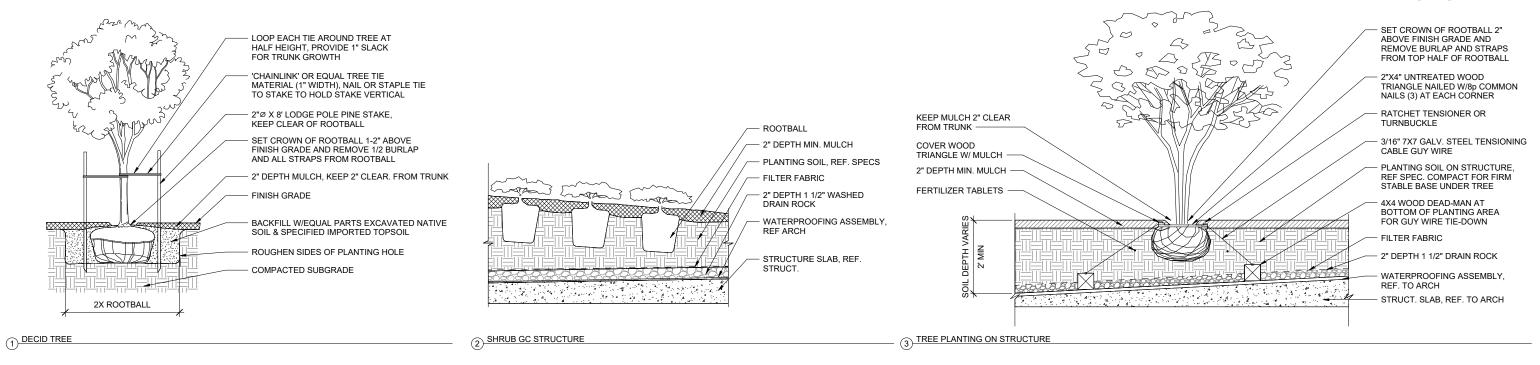
GREEN ROOF PLANTING
PREGROWN SEDUM MAT / MARGON/RED MIX SEDUM MAT
PREGROWN SEDUM MAT / STANDARD MIX SEDUM MAT
PREGROWN SEDUM MAT / SUNRAY/YELLOW-BLUE MIX SEDUM MAT

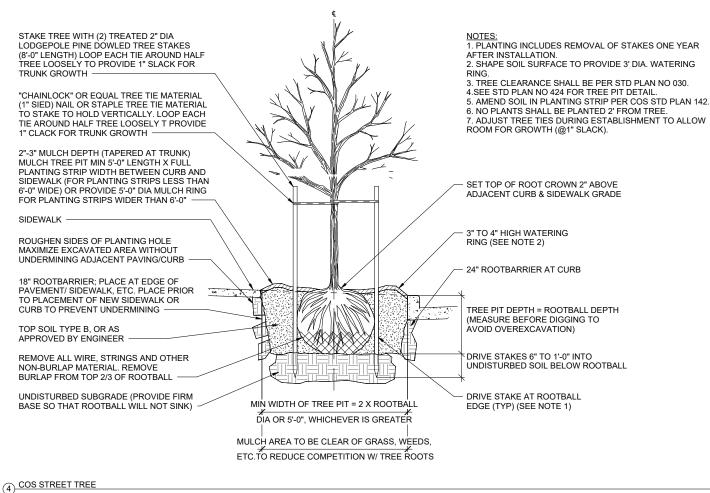


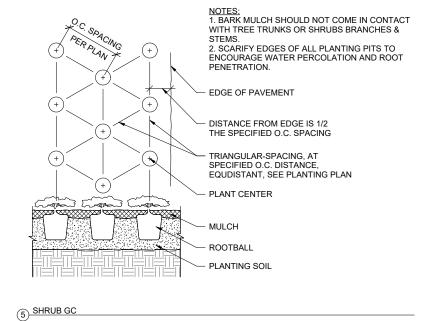
PLANTER PLANTING
ARRIVOUS X\* MISTY LACE (JAMES LACE GOATSBEARD
BLECHNUM, SPROANT) DEER FERN
GOLDEN MEXICAN MOCK ORANGE
COTORISTER GLAUCOPHYLLIS HORT: (JRAN-LEAF COTORIEASTER
DAPHNE CODE A JASECHAMARIONALY, VIMITER DAPHNE
HODBANGEA MACROPHYLLIS HORT: (JRAN-LEAF COTORIEASTER
DAPHNE CODE A JASECHAMARIONALY, VIMITER DAPHNE
HODBANGEA MACROPHYLLIS PIA: (JPA DWARF HYDRANGEA
LEX CRENATA CONTEXT / CONVEXTER LACE MACROPHYLLIS
HODBANGEA MACROPHYLLIS PIA DE MACROPHYLLIS
LONICERA PILEATA; PROVET HONEYSUCKE
MACHONE LONICERA PILEATA; PROVET HONEYSUCKE
OPHIOPOGON PLANISCAPUS MIGRESCENS; (JRAN-CA MONDO GRASS
OPHIOPOGON PLANISCAPUS MIGRESCENS; (JRAN-CA MONDO GRASS
OPHIOPOGON PLANISCAPUS MIGRESCENS; (JRAN-CA MONDO GRASS
SYMPHORICARPOS ORBICULATUS TAFF'S SILVER EDGE' / CORALBERRY 'TAFF'S SILVER EDGE'
SYMPHORICARPOS ORBICULATUS TAFF'S SILVER EDGE' / CORALBERRY 'TAFF'S SILVER EDGE'

**LANDSCAPE PLAN - LEVEL 44** 

### LANDSCAPE







# ARCHITECTURAL REVIEW COMMITTEE OF THE SEATTLE LANDMARKS PRESERVAION BOARD DEC 11, 2020: BRIEFING FOR THE GRIFFIN & SHERIDAN BUILDINGS

Seattle Landmarks Preservation Board members in attendance were Harriet Wasserman, Russell Coney and Kristin Johnson. DON Staff in attendance were Erin Doherty, Sarah Sodt, and Melinda Bloom.

Live Public Comment at the beginning of the meeting included one comment by Jeffrey Murdoch of Historic Seattle. He indicated that a tower addition does not meet the Secretary of the Interior's Standards for Historic Preservation, and that the financial analysis should have used TDR incentives.

Previous written comment included a letter of support from Steve Hall of Historic Belltown.

Our team began with and introduction by Jessie Clawson of McCullough Hill Leary, then had a team presentation by Craig Davenport of MZA and Ellen Mirro of Studio TJP. (Preparation notes and the presentation PDF can be found in separate documents)

### Board comments and questions

Russell: Had a question regarding the entry to the Sheridan. The team clarified that the existing entry stair was not code compliant and would need to be revised in any substantial alteration.

He also commented on the renderings. He felt that the sunlight and clouds obscured the design intent of the proposed building, and made it difficult to understand.

He appreciated the attention to the monorail in the design reference and in the renderings.

He mentioned it was a long process, but said the proposed project reminded him of the Firestone building in South Lake Union.

He said the proposed window rehabilitation was OK. Using the columns is better than facadism. Saving the front half of the Sheridan was a positive move. He said he was generally not supportive of huge towers, but we do have examples of this and in this circumstance he can support the sightlines and streetscape. He appreciated the written comment in support of the project.

He was "overall positive to the presentation."

Harriet: mentioned that there were a lot of materials to review.

She liked the plan to replace the windows.

She mentioned the rounded tower was good and could work. She felt the team was trying to do a good job and the project could work. She had a question on the tower, but she liked the plan and shape of the tower.

## ARC MEETING FEEDBACK

She mentioned that she was not a parking expert, and she would have to go back and look at that part of the proposal, but she could understand that a 19 story garage was not feasible.

DEC 11TH 2020

Kristin: had re-evaluated her previous position on the project as a member of the ARC who had seen the project before. She felt that the buildings could be combined and have a garage underneath them.

However, if they were to be combined she didn't understand the necessity for the cantilever which she felt made the tower more imposing. She asked if the cantilever was important to the project.

She liked the tree idea for structural support, and felt the architectural language was nice. She felt the architectural object and rounded corners was distracting, but the language makes sense.

She liked the columns.

She was curious if the whole Board was comfortable with the combined new building. She asked if the new building (tower) can disappear more. She asked Russell his opinion on the cantilever.

Russell: Mentioned that the design may not be set in stone, but he was not concerned about keeping the tower 100% off the Griffin.

He also commented that at the streetscape and pedestrian level he doesn't mind the cantilever.

He would like to see a rendering from the fifth floor across the street

He felt this was the best of both works, with rehabilitated buildings and a new tower. He felt it was good with the monorail, the cantilevers were OK and the setbacks good. He felt that is kept light and air at the roofs and receded into the background.

Kristin: Asked if there was no cantilever would the tower be set back enough?

Offered that the canopies could have a departure if that was desired. Craig responded that it would not be necessary, as the design of the current storefronts supports the addition of the canopies and they are a definite amenity to the project and neighborhood.

Kristin mentioned that the repair of the terra cotta was nice.

Russell: Mentioned that during the COA process for the Firestone building, the team asked to apply coatings to the terra cotta, and Russell did not approve of coatings on terra cotta, preferring instead on seeing the natural terra cotta, even if the glaze is crazed or has other evidence of ageing.

Jessie thanked the members of the ARC, and indicated she would take Kristin up on the offer to attend a full Landmarks Board hearing.

### ARC MEETING FEEDBACK

FEB 17TH 2020

112

# MEETING OF THE SEATTLE LANDMARKS PRESERVAION BOARD FEB 17, 2021: BRIEFING FOR THE GRIFFIN & SHERIDAN BUILDINGS

Seattle Landmarks Preservation Board members in attendance were Jordon Kiel, Harriet Wasserman, Russell Coney, Kristin Johnson, Dean Barnes, Matt Inpanbutr, and Roi Chang. John Rodezno was present for the earlier portion of the meeting by did not comment on the proposal. DON Staff in attendance were Erin Doherty and Melinda Bloom.

Live public comment at the beginning of the meeting included one comment that addressed the issue of the alley width and the trash and loading requirements at the alley. The commentor requested that the alley be widened to allow two way traffic and that wider loading berths be required.

Our team began with and introduction by Jessie Clawson of McCullough Hill Leary, then had a team presentation by Craig Davenport of MZA and Ellen Mirro of Studio TJP. (Preparation notes and the presentation PDF can be found in separate documents)

### Board comments and questions

Initial questions by the Board regarded the demolition of the interior structure of the buildings and the parking requirements.

Craig clearly explained that the building structures would be demolished as they were currently inadequate, they would then be replaced with their existing floor-to-floor heights and reviewed the floor plans.

Roi liked the design and the street level view. She questioned the garage levels and the fact that the structures will be rebuilt as new. She confirmed that the restoration will consist of the terra cotta and the windows. She discussed the 16' vs. 18' alley and the public comment, discussed loading and the Design Review Board.

Craig reviewed the site plan at the alley, and indicated that widening the alley at Virginia was not an option as it would be incompatible with the original design of the Griffin Virginia Street façade.

Kristin explained her rational for requesting an alternative design in the ARC. .

Jordan felt option 10 was more successful.

Harriet also preferred Option 10 where the original Griffin columns are re-created.

Russell agreed with Harriet that he favored Option 10, he like the tree idea.

Matt was also in favor of Option 10. He appreciated the updated visualizations per Russell's ARC comments regarding leaving out clouds and sky reflections.

Roi appreciated scheme 10, she liked the street views, and felt that the tower receded behind the two landmarked buildings.

Dean agreed with the other Board members. He liked the option with the original columns re-created, option 10.

Jordan felt that the land use requirement had precluded the opportunity for the design team to preserve the Griffin as he originally requested, and he was disappointed by this. He felt that the interior layout could better reflect the original volumes of the structures, that this should have more study.

He also felt that the building to the north could use additional development, and the angled façade was uncomfortable.

He did not feel that it was the job of the Landmarks Board to support the development of a tower on top of landmarked Buildings.

Ellen indicated the design team could further discuss the interior layout of the buildings to reinforce the idea of the original plans of the buildings.

Jessie thanked the Board members and said we would further develop the plans with them as we moved to preliminary approval



### Early Design Outreach Plan

2005 5<sup>th</sup> Ave, Seattle, WA

### Overview

2005 5<sup>th</sup> Ave is in early design for a new 42-story mixed-use tower. The site is located in the Belltown neighborhood nestled on the corner of 5<sup>th</sup> Avenue and Virginia Street. The subject site consists of two historical parcels – one commercial (i.e., Griffin Building) and one residential (i.e., Sheridan Apartments) – and totals 19,440 square feet (0.45 acres) in size. The new addition was designed to amplify and celebrate the original architecture and design, while preserving the two landmark buildings to use as the foundation for the tower. The tapered tower will inherit the Griffin Building features, while lightly touching both landmarks. The new tower will include 312 below-ground parking stalls and have dedicated office space for the first 11 levels, maintaining the original ground-level retail found in the Griffin Building. The first 11 stories are expected to include over 90,000 square feet of rentable commercial space, bike storage, and will replace and restore the local exterior architecture (e.g., exterior terracotta).

The remaining levels of the tower will be mixed-use with a priority for residential development. Levels 12-42 will include 427 residential units, bike storage, a rooftop deck, and will contain a new 2-story retail space above the original Sheridan complex. The rooftop deck will be built to be solar-panel-ready and encourages outdoor activities and interactions among residents. The perimeter of the building includes added street trees and sidewalk improvements to improve accessibility and local aesthetics.



CASCADIA CONSULTING GROUP, INC. | SEATTLE, WA | OAKLAND, CA | WWW.CASCADIACONSULTING.COM



### OUTREACH DOCUMENT

The developer for the project is Chainqui Development Investment Group, with outreach activities carried out by Cascadia Consulting Group. Early design outreach is anticipated to begin in mid-February and last approximately 6 weeks. Note that this development is not located within an Equity Area.

### Electronic/Digital Outreach

- 1. Basic Project Webpage (Multi-Prong Method)
- 2. Project Hotline (High-Impact Method)
- 3. Online survey (High-Impact Method)

### Printed Outreach

- 1. Direct Mailing (High-Impact Method)
- 2. Ad or article in local print newsletter (Multi-Prong Method)

### Electronic/Digital Engagement

- Basic Project Webpage (Multi-Prong Method)
   The project webpage will have information about the project and its design considerations, as well as an opportunity for community members to share feedback via an embedded online survey. The webpage will be available for a minimum of 4 weeks.
- 2. Project Hotline (High-Impact Method)

  The project hotline will include recorded, current information about project, how to find the webpage, info on the online survey, and the option to leave a voicemail. Outreach team members will return calls. The hotline will be available for a minimum of 4 weeks.
- 3. Online Survey (High-Impact Method)

  The online survey will include basic background information on the project and ask questions intended to solicit priorities and concerns from community members. The survey will be available for 3 weeks (21 days).

In alignment with the Director's Rule, all electronic/digital outreach materials will:

- 1. Include a brief summary of the proposal;
- 2. Include the address of the project/property and the SDCI project number, if available;
- 3. Identify a contact person for the project;
- 4. Provide an email address, survey link, phone number, or alternate way of providing feedback on the project directly to the applicant;
- 5. Include where any additional information about the project can be found (such as the Seattle Services Portal);
- 6. Be publicized using at least one printed outreach method (except that emails to distribution lists do not need to be publicized);
- 7. Be publicly available for a minimum of 21 days; and
- 8. Include a statement informing the public that any information collected may be made public.

CASCADIA CONSULTING GROUP, INC. | SEATTLE, WA | OAKLAND, CA | WWW.CASCADIACONSULTING.COM



# CASCADIA CONSULTING GROUP

### Printed Outreach

### 1. **Direct Mailing** (High-Impact Method)

A postcard mailer will be sent to residences and businesses within an approximately 500 ft radius of the proposed site, including apartments and other multi-family buildings. A mailing list is included in Appendix A.

The mailer will include information about the project and associated webpage, hotline, and online survey. The mailer will be sent at least 21 days before the survey closes.

### 2. Ad in Local Print Newsletter (Multi-Prong Method)

An ad will be posted to the <u>Seattle Weekly</u> newspaper. The ad will introduce the project, information about the webpage, hotline, and online survey, and will include an image of the project design. The add will be posted for at least 21 days before the survey closes.

In alignment with Director's Rule, all printed outreach materials will:

- 1. Include a brief summary of the proposal;
- 2. Include the address of the project/property and the SDCI project number, if available;
- 3. Identify a contact person for the project;
- 4. Provide an email address, survey link, phone number, or alternate way of providing feedback on the project directly to the applicant;
- 5. Include where any additional information about the project can be found (such as the Seattle Services Portal); and
- 6. Include a statement informing the public that any information collected may be made public.

### **Outreach Timeline**

Date	Outreach Activity
Date	Launch Project Webpage & Hotline
3/30	Launch Online Survey
3/30	Send Project Mailer
4/1	Post Ad in Digital Newsletter (3 week run time)
4/1-4/23	Monitor project email and hotline
Ongoing	Close online survey (dependent on print newsletter timing)
4/23	Close project webpage and hotline
4/23	Provide outreach summary to client and DON

### Appendix A – Mailing List

Address	Zip Code		
1900 5TH AVE	98101		
1904 3RD AVE	98101		
1908 3RD AVE	98101		
1913 5TH AVE	98101		
1916 3RD AVE	98101		
1920 4TH AVE	98101		
1921 5TH AVE	98101		
1923 5TH AVE	98101		
1927 5TH AVE	98101		
1942 WESTLAKE AVE	98101		
1950 6TH AVE	98101		
2000 4TH AVE	98121		
2000 5TH AVE	98121		
2000 6TH AVE	98121		
2001 6TH AVE	98121		
2001 WESTLAKE AVE	98121		
2005 5TH AVE	98121		
2011 5TH AVE	98121		
2011 7TH AVE	98121		
2013 4TH AVE	98121		
2014 4TH AVE	98121		
2015 5TH AVE	98121		
2019 5TH AVE	98121		
2020 5TH AVE	98121		
2021 4TH AVE	98121		
2024 3RD AVE	98121		
2025 5TH AVE	98121		
2030 5TH AVE	98121		
2031 7TH AVE	98121		
2033 6TH AVE	98121		
2035 4TH AVE	98121		
2100 3RD AVE	98121		
2100 4TH AVE	98121		
2100 5TH AVE	98121		
2105 5TH AVE	98121		
2106 5TH AVE	98121		
2115 5TH AVE	98121		
2116 4TH AVE	98121		

98121
98121
98121
98121
98121
98121
98101
98101
98101
98121
98101
98101
98101
98121
98101
98121
98101
98121

 ${\sf CASCADIA~CONSULTING~GROUP,~INC.~|~SEATTLE,~WA~|~OAKLAND,~CA~|~\underline{WWW.CASCADIACONSULTING.COM}}$ 

CASCADIA CONSULTING GROUP, INC. | SEATTLE, WA | OAKLAND, CA | <u>WWW.CASCADIACONSULTING.COM</u>

4/14/2021 Home | 2005 5th Ave - MZA 4/14/2021 Home | 2005 5th Ave - MZA

Home Project Overview Design Approach Share Your Feedback Next Steps

2005 5th Ave Project

Welcome to the 2005 5th Ave webpage!

This webpage and corresponding survey are part of the City of Seattle's required outreach in advance of Design Review. While the project is in its early stages, the information on this site will give you an idea of the project vision, timeline, and how we're approaching design. Review the content on the site and use the survey as an opportunity for you to share your vision for the property.

Let's Get Started!

### Contact Us

Email: 5thave@cascadiaconsulting.com | | Project Hotline: 206-337-7374

To learn more about the early outreach for design review process, please visit the Seattle Department of Neighborhood's webpage

City of Seattle Privacy Policy

**Privacy Statement:** Any information collected during this Early Community Outreach may be submitted to the City of Seattle and shall be made publicly available pursuant to the Washingto State Public Records Act. Please do not divulge any sensitive personal information.

https://www.5thavesearlydesign.com 1/2

ty of Seattle Privacy Policy

© 2023 by ITG. Proudly created with Wix.com

https://www.5thavesearlydesign.com

4/14/2021 Project Overview | 2005 5th Ave - MZA

Home

Project Overview

Design Approach

Share Your Feedback

Next Steps

### **Project Overview**

### Project Team

Developer: Chainqui Development

Architect: MZA Architecture

Early Design Outreach: Cascadia Consulting Group

### **Project Vision**

Chainqui Development and MZA Architecture are partnering on the development of a new tower located on top of the Griffin Building and the Sheridan Apartments. Located at 2005 5th Ave., the proposed 42-story mixed-use tower will include:

- First 11 Stories
  - o 90,000 square feet of rentable commercial space
  - New 2-story retail space at the Sheridan Apartments
  - Bike Storage
  - Lobbies
- Levels 12-42
- Over 400 residential units
- Upper and lower rooftop deck
- Residential amenities
- Below-Ground
- Approximately 300 parking stalls



### Project Timeline

The project team is in the early stages of design. At this time, we want to hear from the community about your vision for the property. The community survey will be available until 04/23/2021, after which we'll start preparing for the <a href="City's Design review process">City's Design review process</a> and other permitting steps.

Construction is anticipated to take place Winter 2022 to Summer 2025.

Design Approach >

#### Contact Us

Email: 5thave@cascadiaconsulting.com | | Project Hotline: 206-337-7374

https://www.5thavesearlydesign.com/project-overview

4/14/2021

#### Project Overview | 2005 5th Ave - MZA

To learn more about the early outreach for design review process, please visit the Seattle Department of Neighborhood's

City of Seattle Privacy Policy

vacy Statement: Any information collected during this Early Community Outreach may be itted to the City of Seattle and shall be made publicly available pursuant to the Washington

City of Seattle Privacy Policy

2022 by ITC Broudly greated with Wiy com

https://www.5thavesearlydesign.com/project-overview 2/2

ach | 2005 5th Ave - MZA

Home

roject Overview

Share Your Feedba

lovt Stone

### Design Approach

### Design Approach

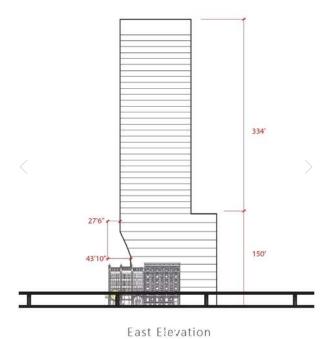
The project team will consider many factors when designing the property, including site analysis, neighborhood character, local architecture, surrounding streetscape, and the feedback we hear from community members like yourself!

### Site Analysis

The site is located in the Belltown neighborhood nestled on the corner of 5th Avenue and Virginia Street.

The subject site consists of two historical parcels – one commercial (i.e., Griffin Building) and one residential (i.e., Sheridan Apartments) – and a surface parking lot, totaling 19,440 square feet (0.45 acres) in size.





### Neighborhood Architectural Character

The project Site is located in the <u>Belltown neighborhood</u>, less than half a mile from the Pike Place Market and less than a mile away from the Space Needle. The new

https://www.5thavesearlydesign.com/design-approach

#### Design Approach | 2005 5th Ave - MZA

addition is located on the corner of 5th Avenue and Virginia Street and will be created to amplify and celebrate the original architecture and design, while preserving the two landmark buildings to use as the foundation for the tower.



The new tower embraces new formalism architecture and at the podium will historically restore the exterior terracotta, replace the windows, and paint the existing trim at the Sheridan and Griffin Buildings.



Share Your Feedback >

### Contact Us

Email: 5thave@cascadiaconsulting.com || Project Hotline: 206-337-7374

To learn more about the early outreach for design review process, please visit the Seattle Department of Neighborhood's **webpage** 

City of Seattle Privacy Policy

Privacy Statement: Any information collected during this Early Community Outreach may be bmitted to the City of Scattle and shall be made publicly available pursuant to the Washington State Public Records Act. Please do not divulge any sensitive personal information. City of Seattle <u>Privacy Policy.</u> © 2023 by ITG. Proudly created with Wix.co

https://www.5thavesearlydesign.com/design-approach 2/2

APPENDIX CHAINQUI DEVELOPMENT | M Z A | 2005 5TH AVE | DRB | 02/21/2023 117

1/2

4/14/2021

4/14/2021 Share Your Feedback | 2005 5th Ave - MZA

Project Overview

Design Approach Share Your Feedback

### Share Your Feedback

### We Want to Hear From You!

We want to hear from the community about what you want to see at this property! Please share your ideas about designs and activities for the new building and any other thoughts that would help us understand your concerns and priorities for this property via the survey below.

**⊘** You have already taken this survey



#### Want to create your own surveys?

Gather opinions from customers, employees, prospects, and more. Use your insights to make better, data-driven decisions.

Email Address	
you@example.com	
Password	
(at least 8 characters)	
Create Free Account	

### Contact Us

Email: 5thave@cascadiaconsulting.com || Project Hotline: 206-337-7374

To learn more about the early outreach for design review process, please visit the Seattle Department of Neighborhood's webpage

City of Seattle Privacy Policy

Next Steps >

Privacy Statement: Any information collected during this Early Community Outreach may be submitted to the City of Seattle and shall be made publicly available pursuant to the Washington State Public Records Act. Please do not divulge any sensitive personal information.

City of Seattle Privacy Policy.

2023 by ITG. Proudly created with Wix.com

4/14/2021 Next Steps | 2005 5th Ave - MZA

ne Project Overvie

Design Approach S

Share Your Feedback

ext Stens

### **Next Steps**

The Early Design Outreach Survey closes on 04/23/2021. After reviewing your feedback we'll start preparing for the City's <u>Design review process</u> and other permitting steps.

To find out more about this project and track our progress through the permitting process, search the project address (2005 5th Ave) in the <u>Design Review Calendar</u> and the <u>Seattle Services Portal</u>. To find out more about early outreach for design review, visit the <u>Department of Neighborhood's webpage</u>.

Return to Home >

#### Contact Us

Email: 5thave@cascadiaconsulting.com || Project Hotline: 206-337-7374

To learn more about the early outreach for design review process, please visit the Seattle Department of Neighborhood's **webpage** 

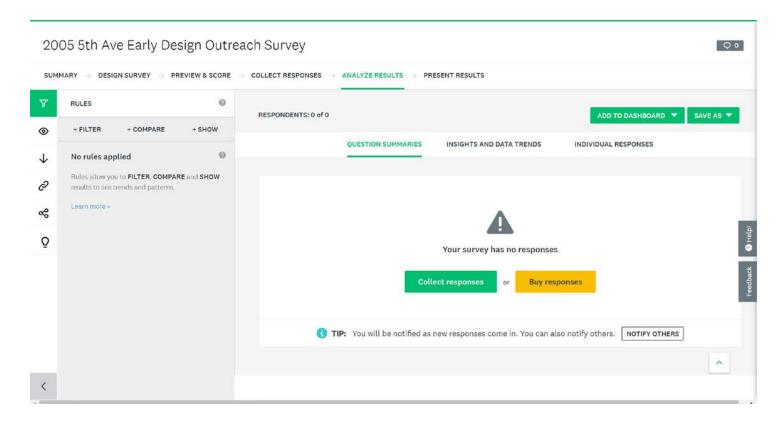
City of Seattle Privacy Policy

rivacy Statement: Any information collected during this Early Community Outreach may be mitted to the City of Seattle and shall be made publicly available pursuant to the Washington

of Seattle Privacy Policy

2023 by ITG. Proudly created with Wix.co

https://www.5thavesearlydesign.com/share-your-feedback-1 1/1 https://www.5thavesearlydesign.com/next-steps 1/1











Chainqui Development and MZA Architecture are partnering on the development of a new tower located on top of the Griffin Building and the Sheridan Apartments. Located at 2005 5th Avenue, the proposed 42-story mixed-use tower will include 11 levels of commercial space, 31 levels of residential development, over 400 units, an upper and lower rooftop deck, and residential amenities.



1179 Andover Park W Seattle, WA 98188-3910 Tel: 206.343.5719 Fax: 206.238.9249 www.lacypar.com



Invoice

No.: 78790 Date: 04/05/21

Attn: Accounts Payable Project Quote:

Invoice Date: 04/05/21
Date of Service: 04/02/21
Terms: Cash

PO#:

CASCADIA CONSULTING GROUP 1109 1st Ave #400 Seattle WA 98101

Job Description MZA Print/Mail 4.50x6.25 Color postcards - Lynn Knapp					
Description	Qty	Unit Price	Ext Price		
Data Processing					
Import/Upload Data File - 1 to 3 Files		39.00000	\$39.00		
		SubTotal:	\$39.00		
Mailing Services					
Metering - Letter		0.02100	\$1.18		
Deliver to Post Office -	1	36.00000	\$36.00		
		SubTotal:	\$37.18		
Printing Services					
Merge Printing 4/4, non-bleed, 4.40x6.25 on 100#C Satin Cover, trim, qty. 56 -	1	110.00000	\$110.00		
		SubTotal:	\$110.00		
Postage					
L & P #1726 1		28.56	\$28.56		
		Postage Paid:	\$0.00		
		Postage Used:	\$28.56		
Comments:		Postage Subtotal:	\$28.56		
		• • • • • • • • • • • • • • • • • • •	<b>\$100.10</b>		
		Sub Total Services: Tax:	\$186.18 \$15.17		
		Credit:	\$0.00		
		Services Total:	\$201.35		
Thank you for your order.		Total Balance Due:	\$229.91		

**Seattle Weekly Ad #1 (300x250)** 



Page 1 of 1

Seattle Weekly Ad #2 (300x600)



Chainqui Development and MZA Architecture are partnering on the development of a new tower located on top of the Griffin Building and the Sheridan Apartments.

The proposed 42-story mixed-use tower will include:

- 90,000 square feet of rentable commercial space
- New 2-story retail space at Sheridan Apartments
- Over 400 residential units
- Upper and lower rooftop deck
- Residential amenities
- Approximately 300 parking stalls

### Visit 5thavesearlydesign.com

to learn more and take the early design survey to provide your input. The survey closes on April 23.

Any information collected may be made public.

For project questions or comments, please contact:
Tristan Smit, Outreach Coordinator
5thAve@cascadiaconsulting.com
206.337.7374





Seattle Weekly Ad #3 (320x50)



Seattle Weekly Ad #4 (728x90)



Seattle Weekly Ad #5 (970x90)



From: William Shaw
To: Tristan Smit

Subject:Seattle Weekly Ad - 2005 5th Ave PropertyDate:Monday, April 26, 2021 10:00:31 AM

Attachments: Sound P O&O Dashboard - DASHBOARD (17).pdf

Good morning Tristan.

Your campaign detail is:

Impressions Delivered: 26,001

Clicks back to the website: 19

Click-Through Rate (CTR): 0.07%

Not bad!

The national average CTGR is 0.04%.

Let me know if you have any questions or if I can be of any additional service. regards,

Bill

#### William Shaw

General Manager Direct: 425-453-2710 Internal: 15029 Fax: 425-453-4193

8124 Falls Ave. SE, Snoqualmie, WA 98065



Map Print Rates Online Rates Media Kit Sound Info

