



Recommendation Meeting

3020 NE 45th Street
Seattle, WA 98105

04.10.2023 SDCI #3039169-LU



ENCORE
ARCHITECTS

WEISMANDESIGNGROUP

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Project Team & Previous Work

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Featured projects shown designed or developed by members of the project team



The Bower | 11811 NE 128th St, Kirkland | Quarterra + Encore



Axle Apartments | 3230 16th Ave W, Seattle | Quarterra + Encore



Burke & Union | 4516 Union Bay Place NE, Seattle | Encore



Spectra | 17611 NE 70th St, Redmond | Quarterra + Encore + Weisman



Zella Apartments | 429 2nd Ave W, Seattle | Encore + Weisman



Broadstone Strata Apartments | 4906 25th Ave NE, Seattle | Encore

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PROPOSAL

3



Proposal

Project Summary

- A new mixed-use community consisting of three wood-frame residential buildings containing approximately 796 market-rate and affordable residential units over a common podium structure with approximately 25,000 square feet of retail commercial space and structured parking for approximately 679 vehicles.

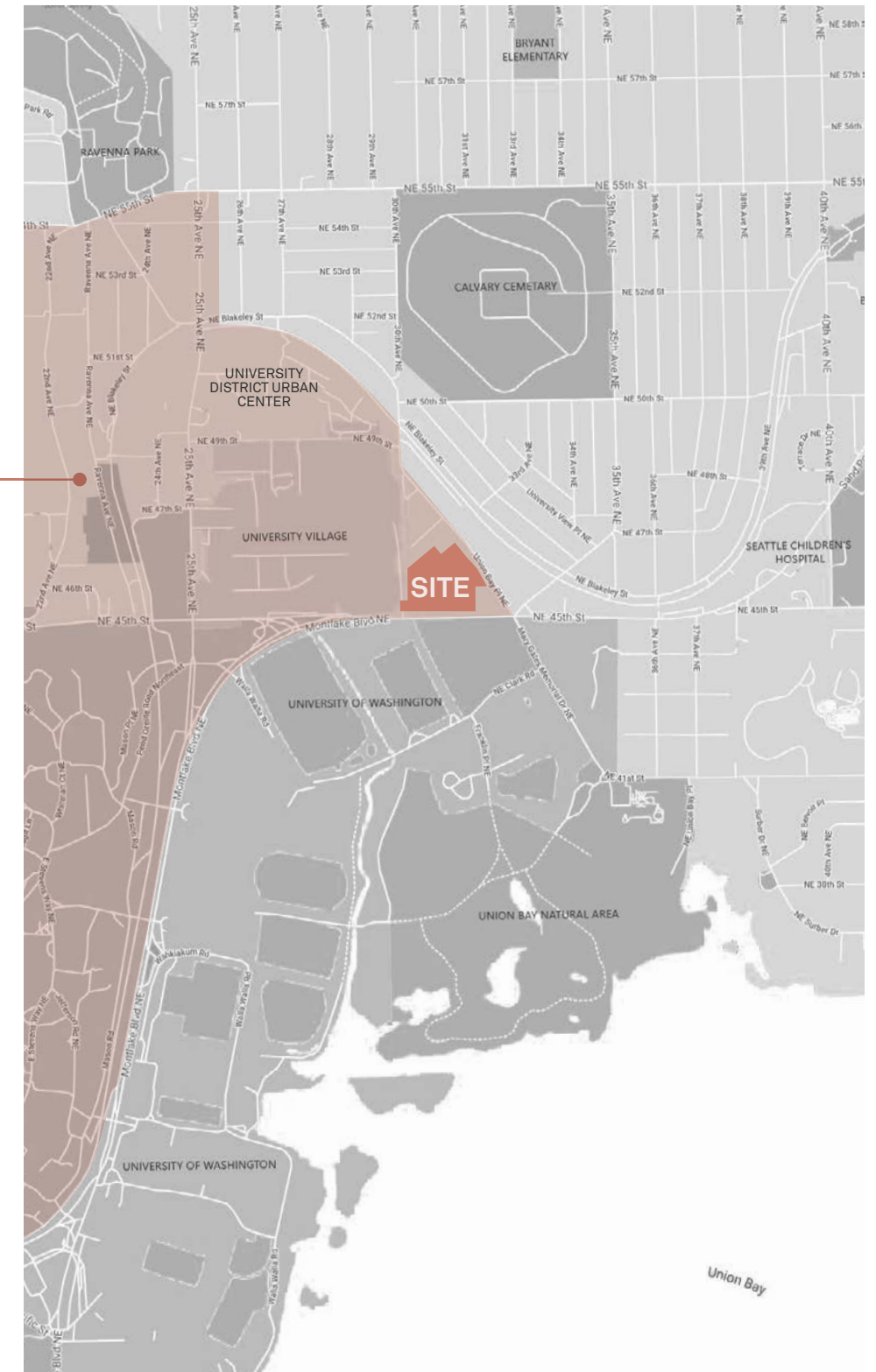
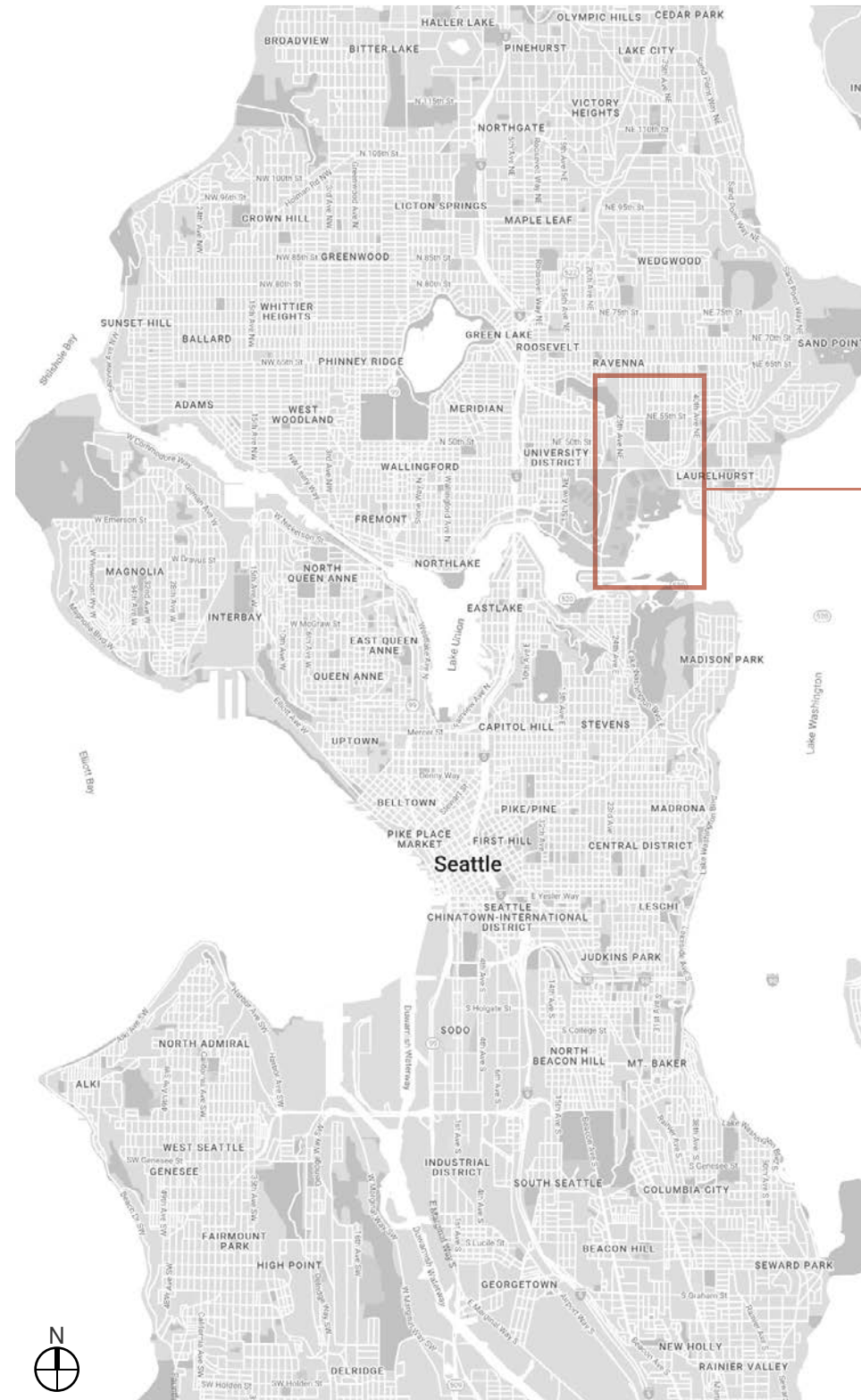
Development Summary

PROJECT INFORMATION

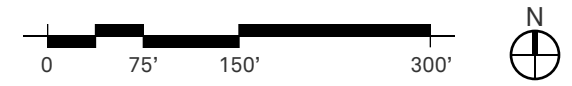
- Residential Units 796 (Approximately)
- Commercial Space 25,700 SF (Approximately)
- Total Gross Floor Area 944,700 SF (Approximately)
- Parking Stalls (levels 1A & 1B) 679 (Approximately)

DESIGN OBJECTIVES

- Enhance the neighborhood by infilling an underutilized site.
- Activate the urban edge along NE 45th Street & Union Bay Place NE.
- Embraces and integrates with the surrounding community.
- Improve the pedestrian experience with carefully detailed, human scale architectural details at the street level and building entrances.
- Replace and expand existing sidewalks with landscaping, plazas and retail spaces.
- Create an enduring architectural design that incorporates high-quality, durable materials.
- Maximize southern exposure.
- Create a residential community hub.
- Connect residential and retail energy.
- Outward-looking, connected to the neighborhood and surroundings.
- Vibrant street-scape.
- Create a focal point and unique destination.



Vicinity Map



Design Concept

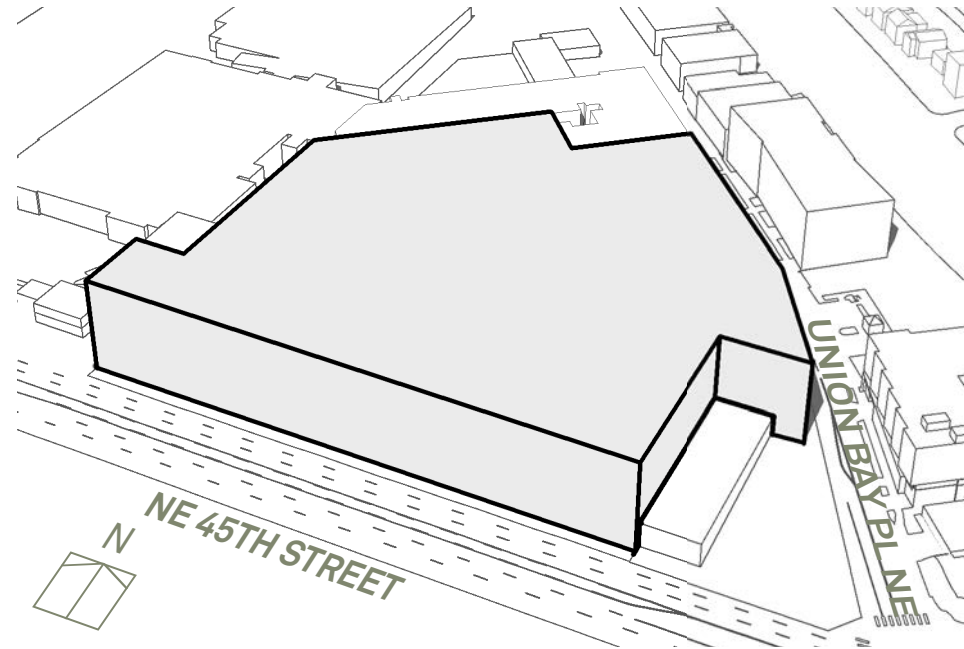
TECTONIC RIFT

To break up the building's mass and engage the street front, this project takes inspiration from a geologic rift.

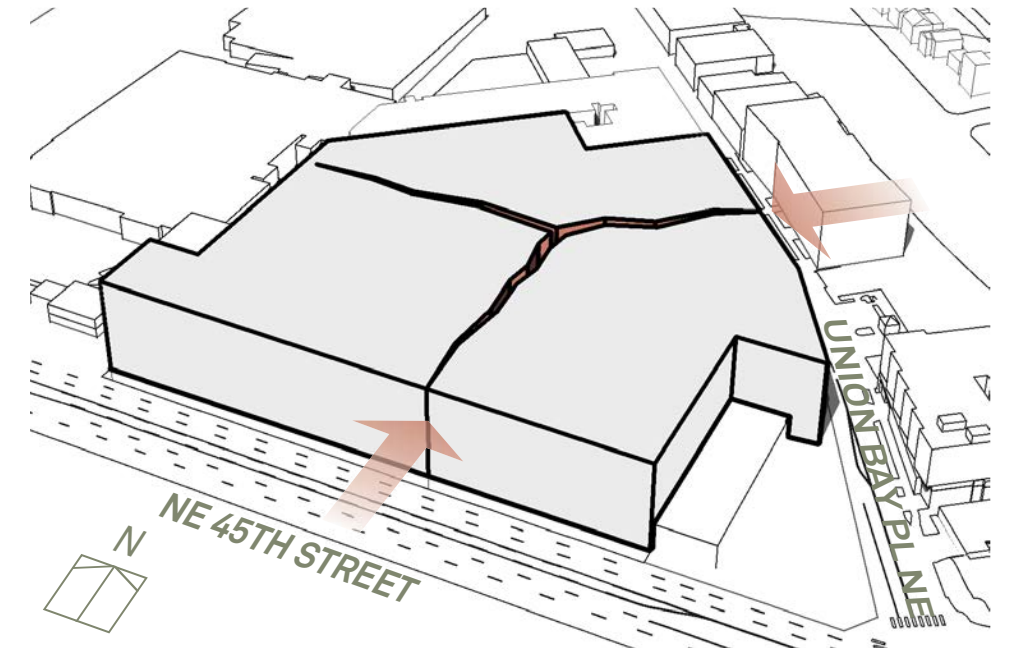
As a large mass with no buffer, street activity creates pressure along the frontages. The mass fractures and begins to separate, creating a rift.

As the rift grows and then calms, erosion dissolves the masses. The sediment is deposited at the base, forming the podium, while new forms and materials are revealed above.

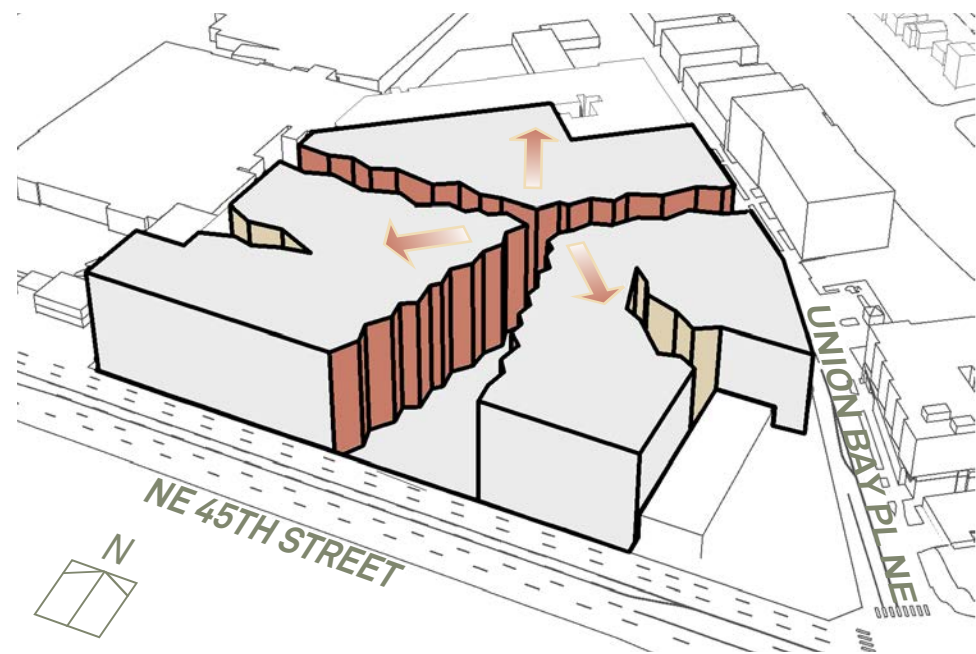
With erosion comes new growth. The landscape adapts to the new geology, resulting in a finer granularity that influences the materiality and tectonic relationships of the design.



1 - WHOLE



2 - FRACTURE



3 - RIFT



4 - EROSION



5 - GROWTH

NE 45th Street

PUBLIC FACADE

This highly visible face of the project responds to the significance of the arterial street by breaking up the facade at different scales as perceived by both pedestrians and drivers. The large massing break in the center of the building helps reduce the perceived mass, while a series of vertical breaks in the upper massing elements provides a rhythm experienced by drivers passing by, that helps further break down the scale of the project. At the lower levels,

the retail storefront is divided by brick pilasters to provide a smaller scale rhythm for the slower pace of pedestrians. The entire frontage is organized around a public plaza celebrating an exceptional tree being retained by the project. Higher quality materials are used at both scales, with brick and metal siding the predominant material along the sidewalk, and pre-finished architectural fiber-cement cladding and metal siding at the upper levels.

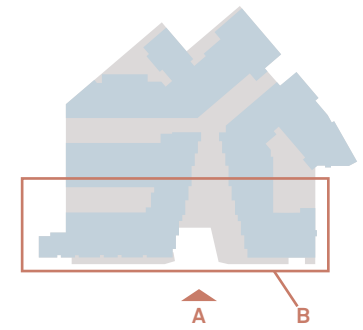


A SOUTHWEST CORNER - RENDERING

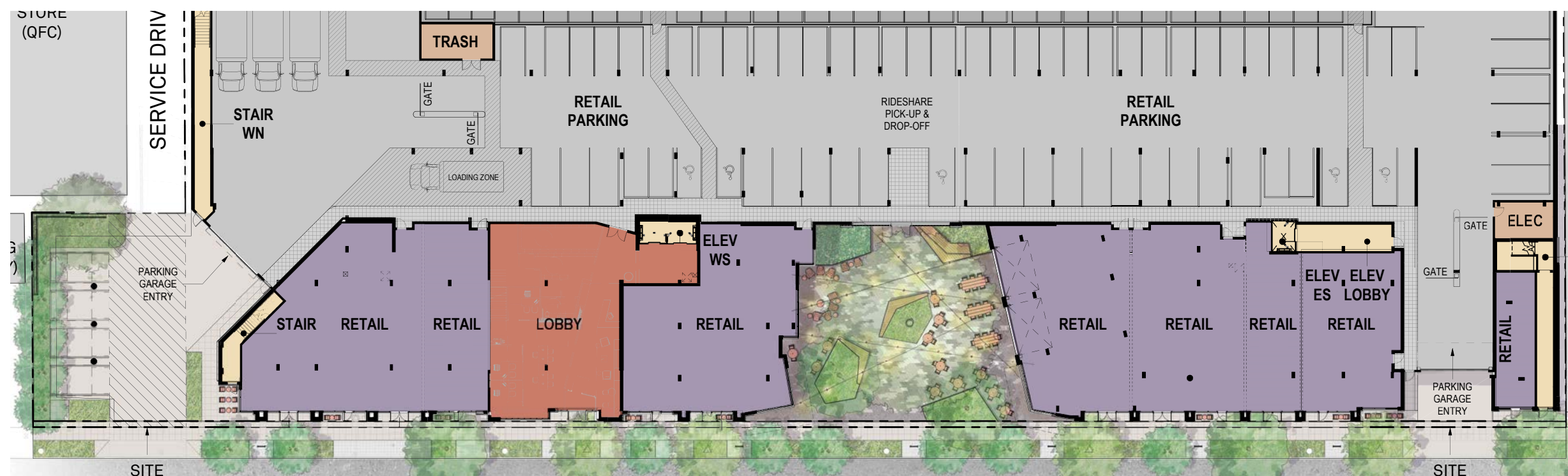
NE 45th Street Front

STREET LEVEL EXPERIENCE

- Prominent southwest corner serves as the primary access to retail parking
- Large, mid-block public plaza with adjacent restaurants and access to parking garage
- Larger-scale retail shops and a residential lobby activate the pedestrian experience



A STREET LEVEL ELEVATION ALONG NE 45TH STREET



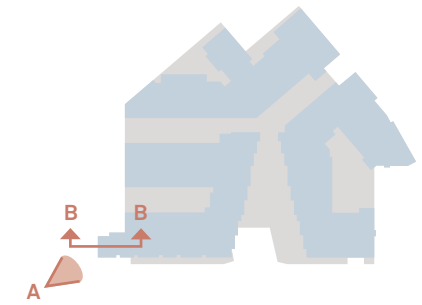
B NEW SIDEWALKS, LANDSCAPING AND PUBLIC PLAZA ALONG NE 45TH STREET

NE 45th Street Front - SW Corner

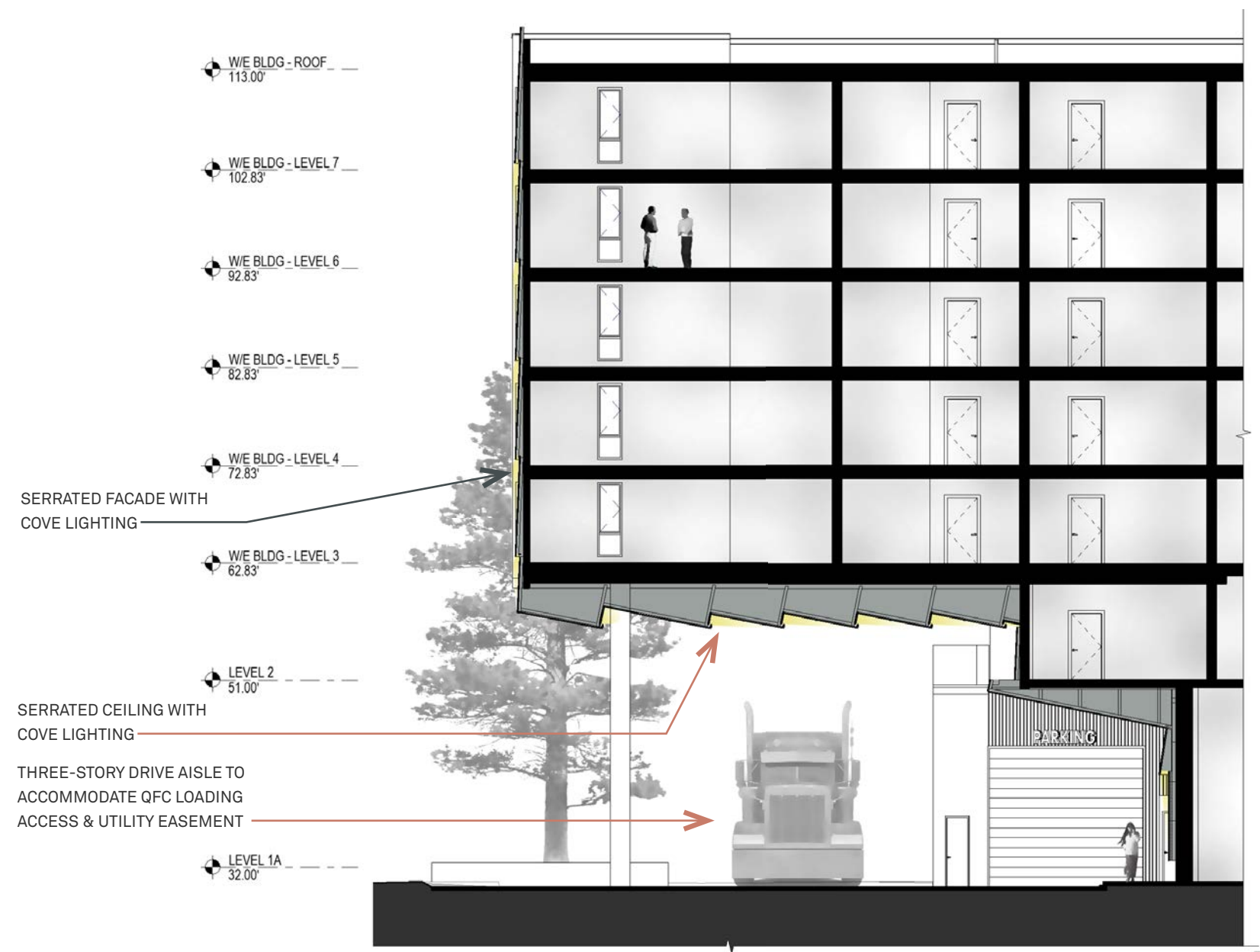
ENGAGING ENTRY

The southwest corner serves as an architectural focal point, utilizing a framed serrated facade with integrated cove lighting to provide a design language reminiscent of geologic layering informed by the tectonic rift design concept.

- Highly visible southwest corner
- Primary vehicle entry for retail and residential parking
- High quality materials



A SOUTHWEST CORNER - RENDERING



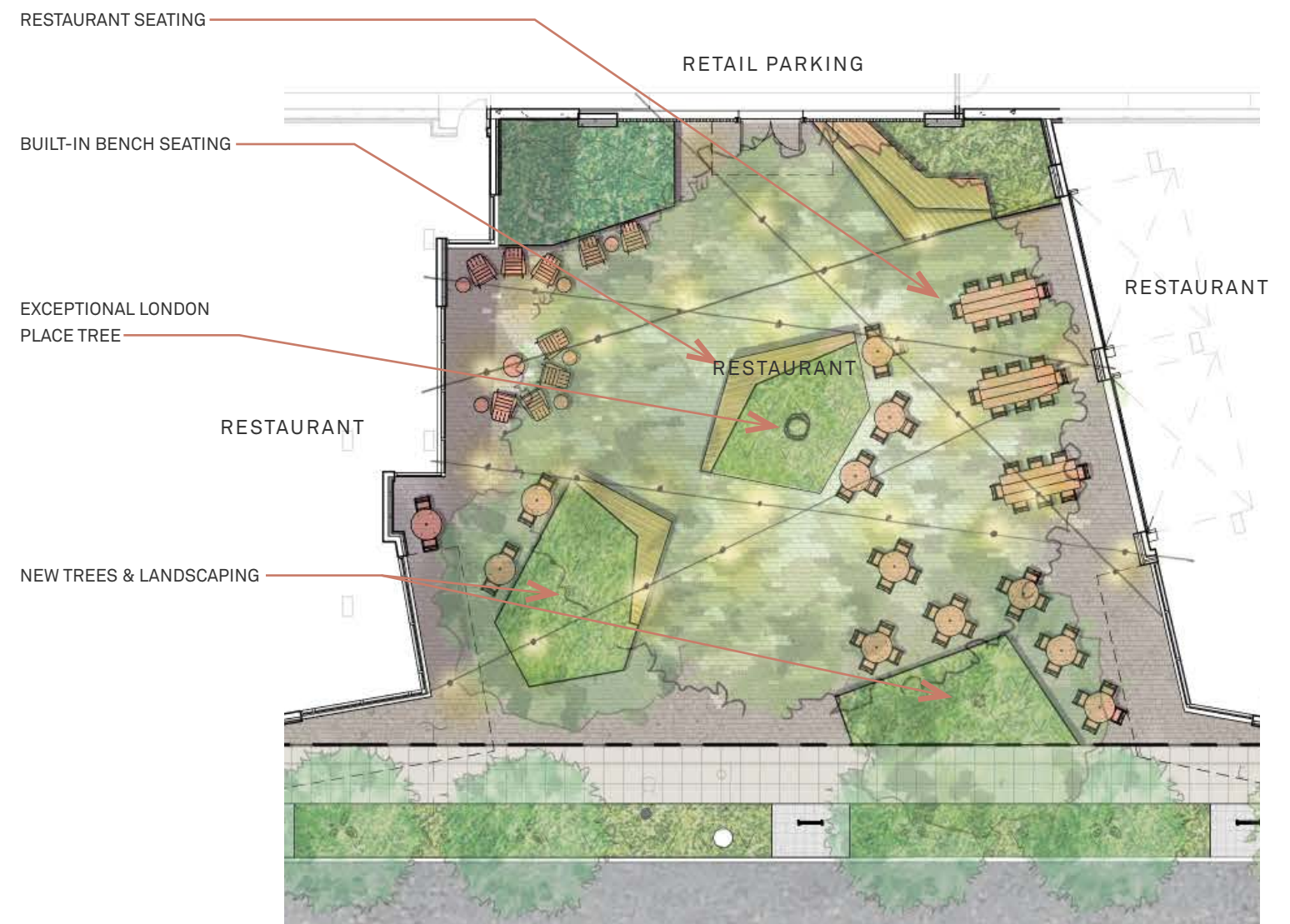
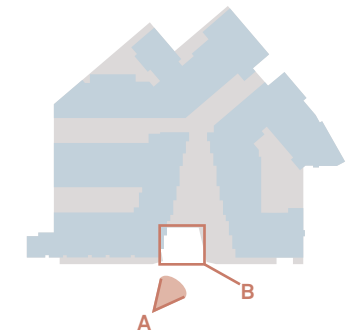
B SOUTHWEST CORNER - SECTION

- Three-story open entry provides primary access to parking garage while accommodating access to adjacent QFC loading area and utility easement
- Serrated facade with integrated lighting wraps under soffit to create visible, welcoming presence

NE 45th Street Front - Public Plaza

STREET LEVEL EXPERIENCE

- Large public plaza on NE 45th Street anchored by exceptional London Plane Tree
- High-end restaurant tenant spaces activate the plaza with opportunities for restaurants and public seating
- Public access to retail parking garage



A STREET VIEW - PLAZA ON NE 45TH STREET

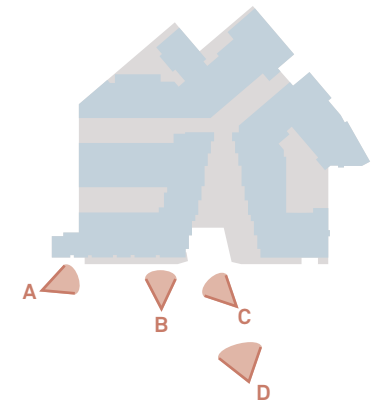
- Public plaza flanked by restaurant space and outdoor seating
- Heavily landscaped to accentuate existing large London Plane tree, and provide significant planting with or without the exceptional tree.

B PLAN VIEW - PLAZA ON NE 45TH ST

NE 45th Street Front - Retail

STREET LEVEL EXPERIENCE

- Vibrant, active street frontage
- Pedestrian friendly shopping experience
- Wide sidewalks with landscaping and public seating
- Public plaza with access to public retail parking garage



A VIEW TO THE EAST ALONG NE 45TH STREET



B RETAIL SHOPS ALONG NE 45TH STREET



C UPPER AND LOWER OUTDOOR SPACE

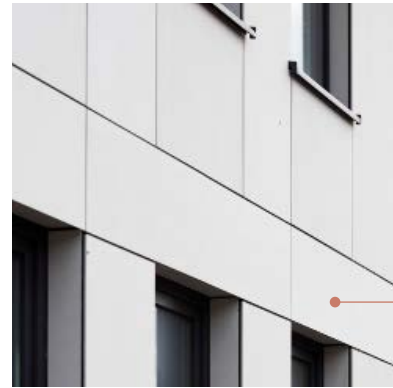


D AERIAL VIEW OF NE 45TH STREET RETAIL

NE 45th Street - Materials & Colors

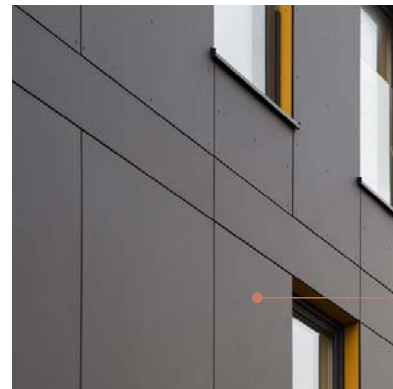
FC-1

Architectural fiber cement panel, through-color white



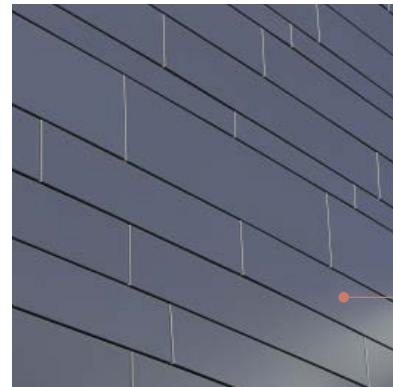
FC-2

Architectural fiber cement panel, through-color charcoal



MP-2

Metal panel, black



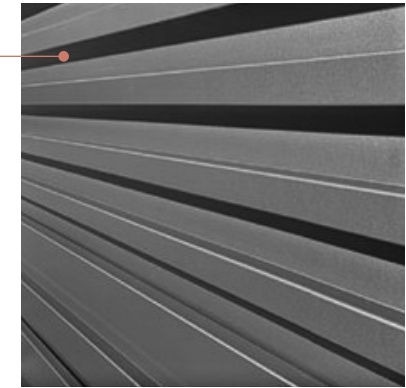
BR-1

Brick, reddish-brown



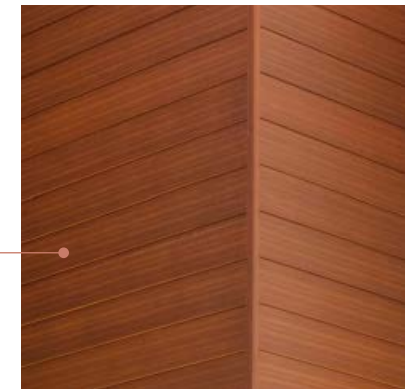
MP-1

Metal profile panel siding, midnight bronze



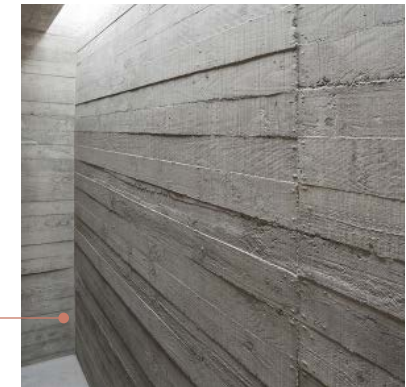
WD-1

Wood-look siding



C-2

Board-formed concrete



BR-2

Brick, black



View from 5 Corners Intersection

PUBLIC ART

The 5 Corners Intersection provides a unique perspective where the continuity of the project from NE 45th Street to Union Bay Place NE can be seen over the top of the existing one story retail building on the corner. The building design responds to these different street experiences appropriately, with a difference in massing and modulation, while maintaining a relationship through color and materials. To reinforce this connection as well as provide visual interest, the installation of public artwork is proposed on the opposing stair towers.

- Public artwork on stair towers.
- Visual connection between massing elements



PUBLIC ART
(CONCEPTUAL ART SHOWN,
FINAL ART TO BE DETERMINED)

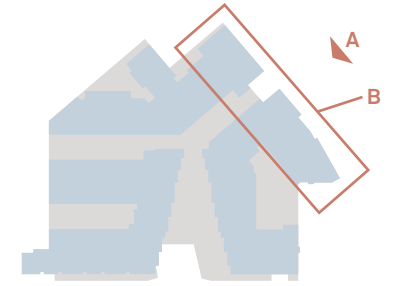


A PERSPECTIVE SKETCH FROM FIVE CORNERS INTERSECTION

Union Bay Place NE Street Front

STREET LEVEL EXPERIENCE

- Potential for smaller-scale retail spaces
- Wide sidewalks with landscaping
- Public plaza with access to retail parking garage



A STREET LEVEL ELEVATION ALONG UNION BAY PLACE NE

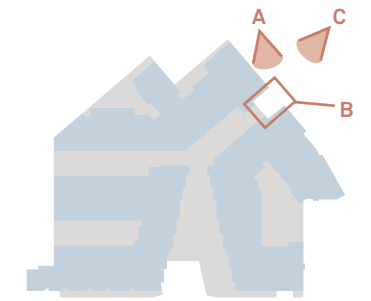


B NEW SIDEWALKS, LANDSCAPING AND PUBLIC PLAZA ALONG UNION BAY PLACE NE

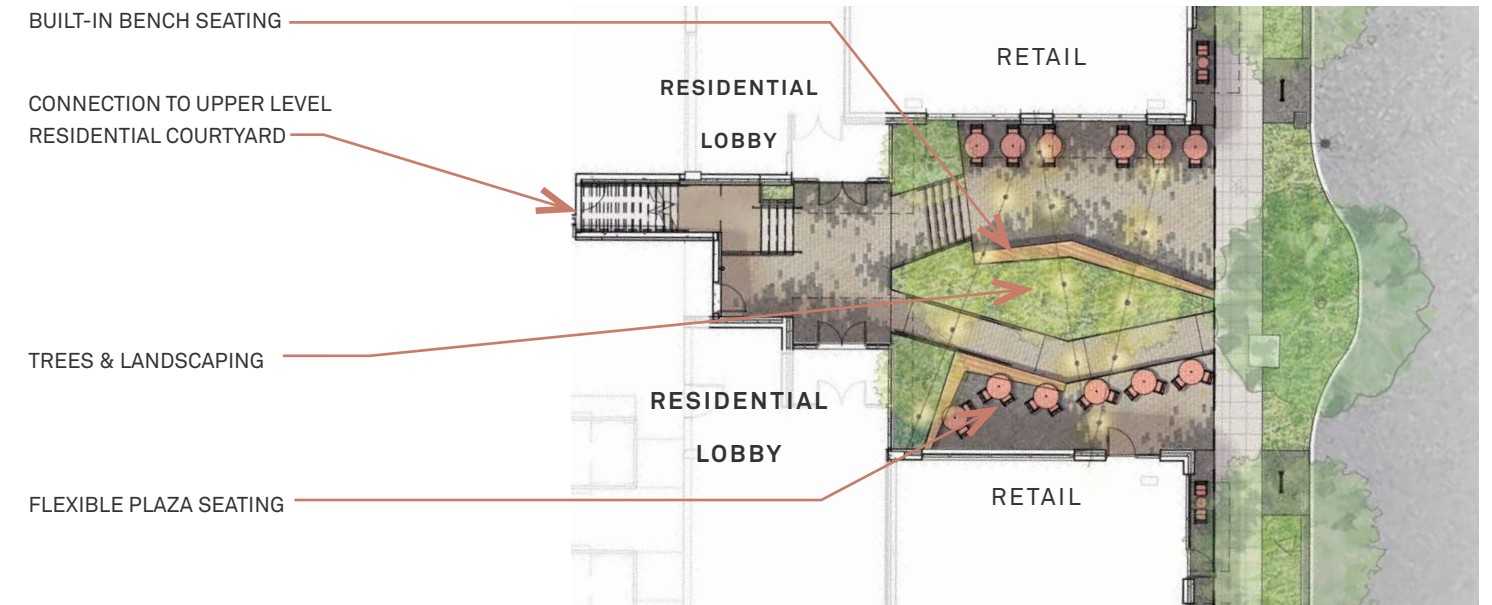
Union Bay Place NE - Public Plaza & Retail

STREET LEVEL EXPERIENCE

- Pedestrian friendly shopping experience
- Public amenities including bicycle parking, landscaping and public seating
- Public plaza with access to retail parking garage, residential lobbies, and upper residential courtyard



A RETAIL SIDEWALK ALONG UNION BAY PLACE NE



B PLAN VIEW - PLAZA AT UNION BAY PLACE NE

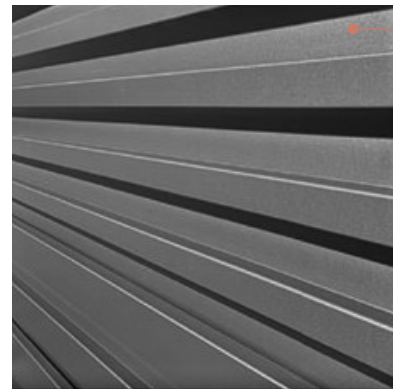


C UNION BAY PLACE PLAZA AND RETAIL SHOPS

Union Bay Place NE - Materials & Colors

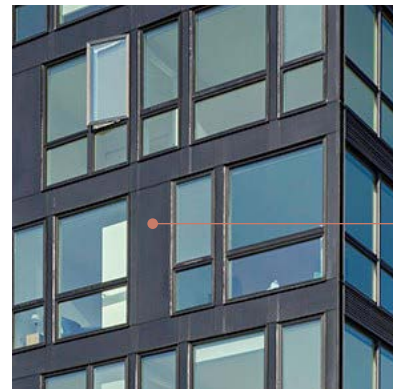
MP-1

Metal profile panel siding, midnight bronze



FC-4

Fiber cement panel, painted charcoal



BR-1

Brick, reddish-brown



BR-2

Brick, black



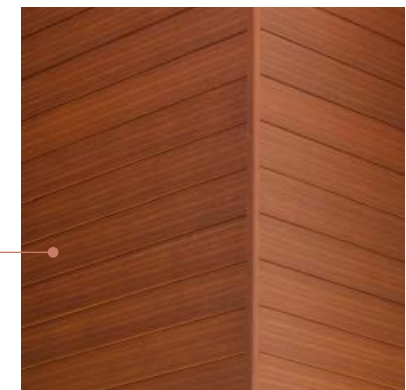
FC-3

Fiber cement panel, painted white



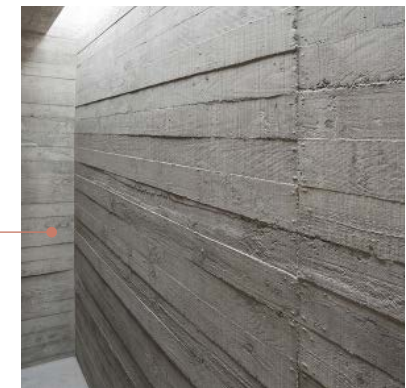
FC-5

Fiber cement lap siding, painted white



WD-1

Wood-look siding



C-2

Board-formed concrete

CONTEXT ANALYSIS

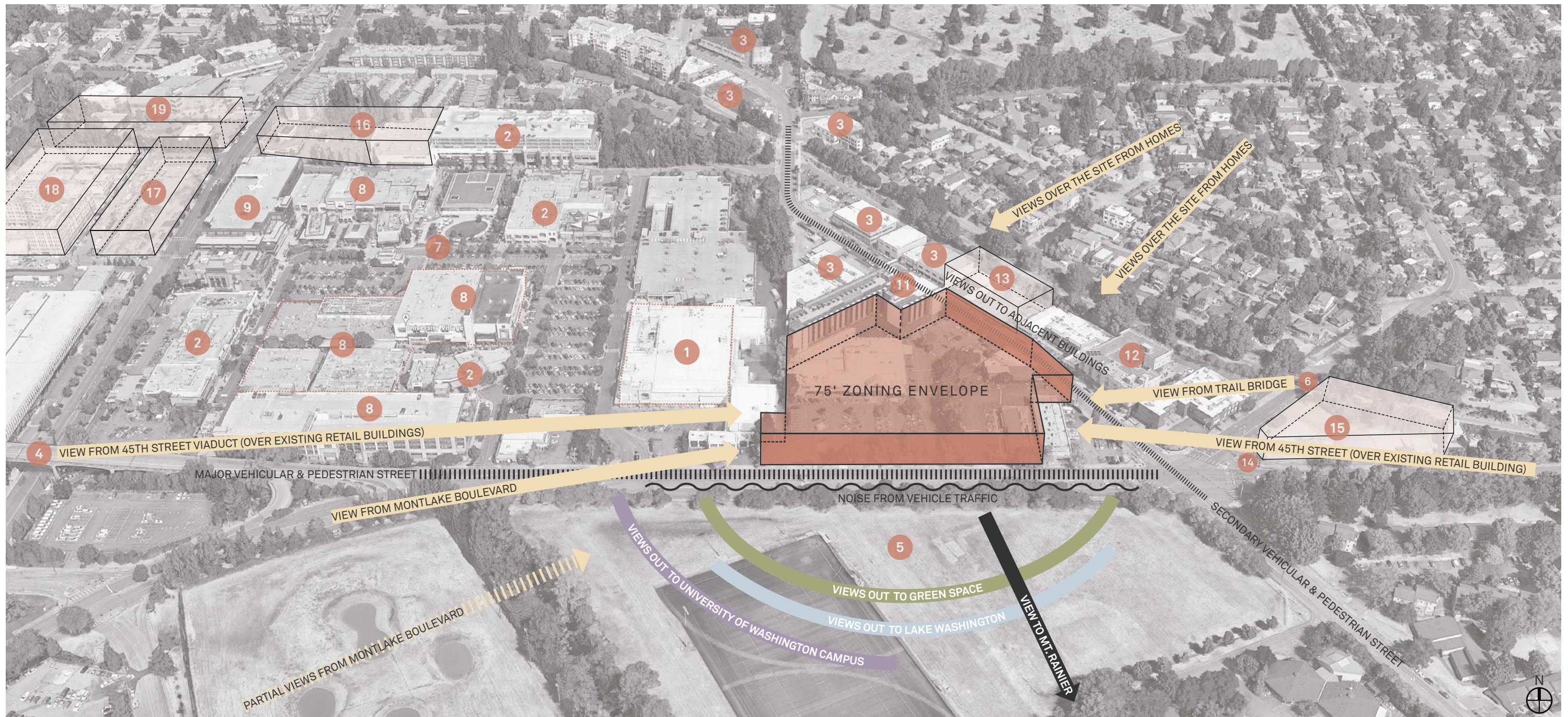
4



Summary Context Analysis

See Appendix for numbered reference photos (from EDG packet)

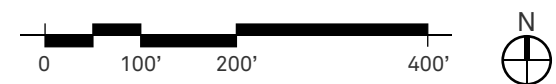
- 1 QFC
- 2 University Village retail
- 3 Mid-century industrial buildings along Union Bay Place
- 4 45th Street Viaduct
- 5 University of Washington recreation fields
- 6 Burke Gilman Trail
- 7 University Village, village green
- 8 University Village retail
- 9 University Village, west garage & retail
- 11 U-Place Apartments (recently completed)
- 12 4516 Union Bay Place | Burke & Union (recently completed)
- 13 4600 Union Bay Place | Spur (recently completed)
- 14 Historic Benton Clock
- 15 3200 NE 45th Street | Aegis Living Laurelhurst (under construction)
- 16 4906 25th Ave NE | Strata (under construction)
- 17 4715 25th Ave NE | Arista (recently completed)
- 18 4821 24th Ave NE | Trailside Phase I (recently completed)
- 19 4907 25th Ave NE | Trailside Phase II (future development)



Existing Land Uses

ADJACENT USES

- Residential (single-family & multi-family)
- Commercial / Residential Mixed-Use
- Retail / Restaurant
- Office / Industrial
- Medical
- Education / Institutional
- Recreational Open Space
- Parking Structure



Zoning



ZONING LEGEND

- NR3 - Neighborhood Residential
- NC2P - Neighborhood Commercial & Pedestrian
- C - Commercial
- MIO - Major Institution Overlay

NOT TO SCALE



EXISTING SITE CONDITIONS

5



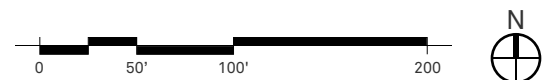
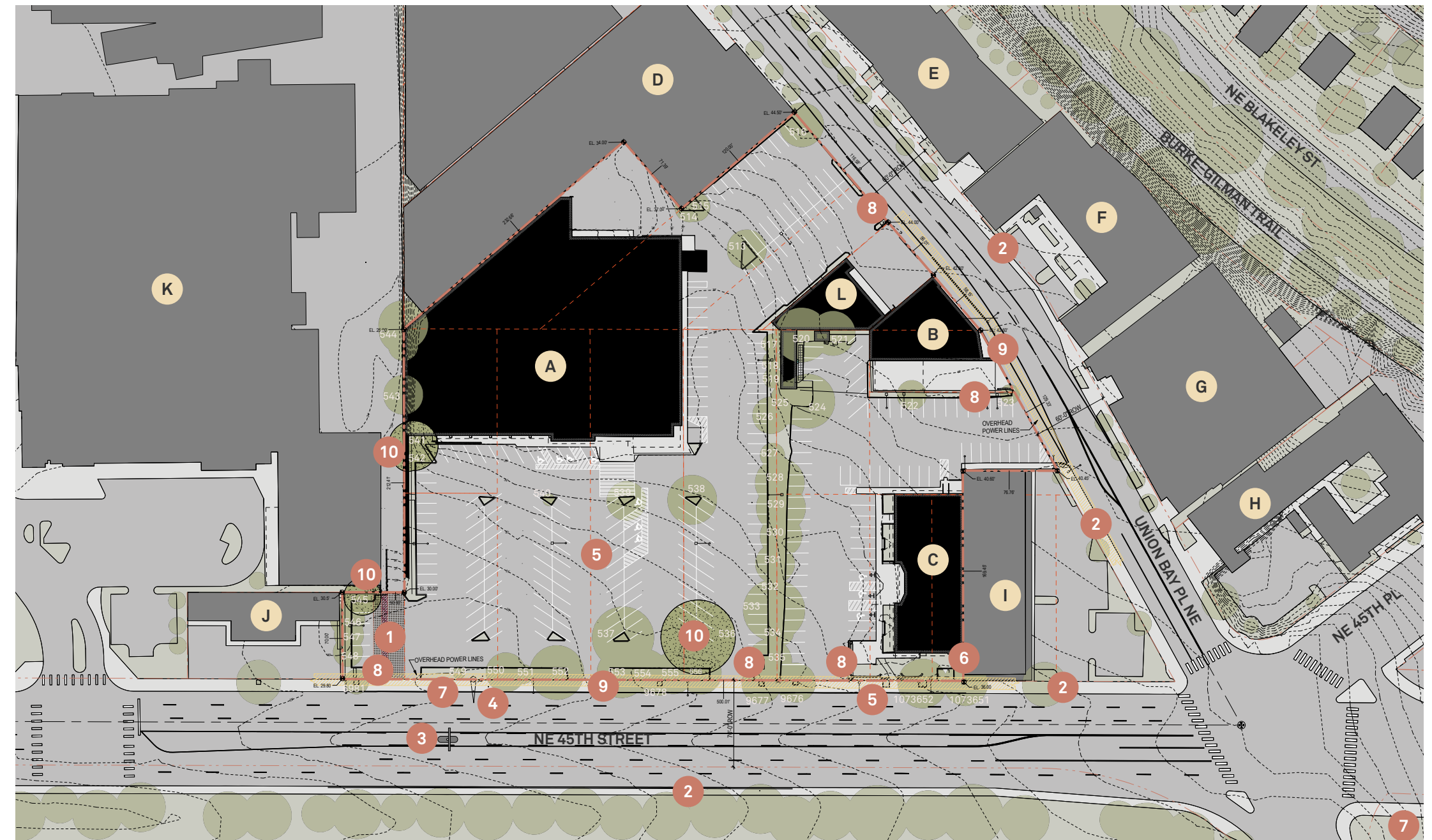
Existing Site Plan

Existing Buildings

- A** RETAIL BUILDING (TO BE DEMOLISHED)
Height: 1 story
Ground Floor Use: Grocery store
- B** RETAIL BUILDING (TO BE DEMOLISHED)
Height: 1 story
Ground Floor Use: Gym
- C** RESTAURANT BUILDING (TO BE DEMOLISHED)
Height: 1 story
Ground Floor Use: Restaurant
- D** MIXED-USE BUILDING
Height: 6 stories
Ground Floor Use: Retail and lobby
- E** MIXED-USE BUILDING
Height: 6 stories
Ground Floor Use: Retail and residential lobby
- F** MEDICAL OFFICE BUILDING
Height: 2 stories
Ground Floor Use: Offices and retail
- G** MIXED-USE BUILDING
Height: 5 stories
Ground Floor Use: Retail and residential
- H** MEDICAL OFFICE BUILDING
Height: 3 stories
Ground Floor Use: Offices
- I** RETAIL BUILDING
Height: 1 story
Ground Floor Use: Retail
- J** RETAIL BUILDING
Height: 2 stories
Ground Floor Use: Retail
- K** RETAIL BUILDING
Height: 2 stories
Ground Floor Use: Grocery store
- L** MEDICAL OFFICE BUILDING (TO BE DEMOLISHED)
Height: 1 story
Ground Floor Use: Veterinary

Key Notes

- 1** Access & utility easement
- 2** Sidewalk
- 3** Digital traffic information sign
- 4** Overhead traffic sign
- 5** Street or site lighting
- 6** Bus shelter
- 7** Bus stop
- 8** Monument Sign
- 9** Overhead power lines
- 10** Exceptional tree(s)



ZONING DATA

6



| SMC Reference | Subject | Code text | Proposed Building |
|---------------------|---|--|--|
| | ZONING | | |
| | Zoning Designation | C2-75(M) University District Urban Center, Historical Landfill and Liquefaction Environmentally Critical Area | |
| 23.41.012 | DEVELOPMENT STANDARDS | | |
| B | Departures | 11. Structure height f. Departures of up to 10 feet of additional height may be granted if the applicant demonstrates that: 1)The departure is needed to protect a tree that is located on the lot that is either an exceptional tree, as defined in Section 25.11.020, or a tree greater than 2 feet in diameter measured 4.5 feet above the ground; and 2)Avoiding development in the tree protection area will reduce the total development capacity of the site; | Departure requested for 10' of additional height in order to preserve existing exceptional tree. See Section 17, Departure Request #2. This departure request was supported by the Board at EDG. |
| 23.47A.008 | STREET LEVEL STANDARDS | | |
| A | Basic street-level requirements | 2. Blank facades a. Blank facade segments do not include windows, entries, stairs, decks, balconies, screening, or landscaping. b. Blank segments between 2 feet and 8 feet above the sidewalk may not exceed 10 feet in width. c. Total of all blank facade segments may not exceed 40 percent of the width of the facade of the structure along the street. | The street-facing, street-level will comply, incorporating retail frontages and residential lobby entrances, with minimal blank facade segments. |
| | | 3. Street-level, street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided. | The building facade will comply. |
| B | Non-residential street-level requirements | 2. Transparency a. Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent. | The project will comply. |
| | | 3. Depth provisions for new structures or new additions to existing structures a. Non-residential uses greater than 600 square feet shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level, street-facing facade. | The project will comply. Street level retail depth ranges from approximately 25' to 60' in depth, with an average depth exceeding the minimum required. |
| | | 4. Height provisions: non-residential uses at street level shall have a floor-to-floor height of at least 13 feet. | The project will comply. |
| D | Residential use along street-level, street-facing facade | 1. At least one of the street-level, street facing facades containing a residential use shall have a visually prominent pedestrian entry. | The project will comply. |
| 23.47A.012 | STRUCTURE HEIGHT | | |
| 23.47A.013, Table A | Height Limit | 75' | Project is pursuing a departure request per 23.41.012.B.11.f for a project height of 85'. |
| A | Peat settlement-prone environmentally critical areas | 3. On a lot containing a peat settlement-prone environmentally critical area, the height of a structure may exceed the height limit by up to 3 feet. The Director may apply the allowances only if the following conditions are met: a. The Director finds that locating a story of parking underground is infeasible due to physical site conditions b. The Director finds that the additional height allowed for the structure is necessary to accommodate parking located partially below grade that extends no more than 6 feet above existing or finished grade, whichever is lower, and no more than 3 feet above the highest existing or finished grade along the structure footprint, whichever is lower, as measured to the finished floor level above; and c. Other than the additional story of parking allowed according to this subsection 23.47A.012.A.3, the additional height shall not allow an additional story beyond that which could be built under the otherwise applicable height limit. | The project is located in peat settlement-prone area. 3' of additional height is requested. |
| 23.47A.013 | FAR | | |
| 23.47A.013, Table A | FAR Limit | 5.5 | Proposed FAR: 5.2 |
| B | The following gross floor area is not counted towards FAR | 1. All stories, or portions of stories, that are underground 2. All portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access | The project will comply. |

| SMC Reference | Subject | Code text | Proposed Building |
|---------------------|---|--|---|
| 23.47A.014 | SETBACKS | | |
| A | Rooftop Features allowed in upper-level setbacks | 1. Open railings may extend up to 4 feet above the height at which the setback begins. 2. Parapets may extend up to 2 feet above the height at which the setback begins. | The project will comply. |
| C | Upper-level setbacks for street-facing facades. | 1. For zones with a height limit of 75 feet, portions of structures above 65 feet must be set back from the front lot line by an average depth of 8 feet. 3. Where a portion of the facade is set back more than 15 feet, the setback depth for that portion of the facade shall be considered 15 feet for purposes of calculating the average setback. No more than 20 percent of the portion of the structure that must be set back may have a setback of less than 5 feet. | The project will comply. |
| D | Facade modulation. | For structures with a width of more than 250 feet, at least one portion of the structure 30 feet or greater in width must be set back a minimum of 15 feet from the front property line. | The plaza on NE 45th Street provides the setback from the front property line, to break the above-grade structure into segments less than 250' long. |
| G | Structures and projections allowed in required setbacks | 1. Decks and balconies with open railings 2. Eaves, cornices, and gutters projecting no more than 18 inches from the structure facade are permitted in required setbacks. | The project will comply. |
| 23.47A.016 | LANDSCAPING | | |
| A | Landscaping requirements | 2. Landscaping that achieves a Green Factor score of 0.3 or greater, pursuant to Section 23.86.019, is required. | The project will comply. |
| B | Street tree requirements | 1. Street trees are required when any development is proposed, except as provided in subsection 23.47A.016.B.2 and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal. | The project will comply. |
| 23.47A.017 | MANDATORY HOUSING AFFORDABILITY IN C ZONES | | |
| | | C and NC zones with a mandatory housing affordability suffix are subject to the provisions of Chapters 23.58B and 23.58C. | The project will comply. |
| 23.47A.024 | AMENITY AREA | | |
| A | Area Required | Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use. | The project will comply. |
| 23.47A.032 | PARKING | | |
| A | Access to parking | 1. NC zones. The following rules apply in NC zones, except as provided under subsections 23.47A.032.A.2 and 23.47A.032.D: c. If access is not provided from an alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines pursuant to subsection 23.47A.032.C, and curb cuts are permitted pursuant to subsection 23.54.030.F.2.a.1. 3. Structures in C zones with residential uses, shall meet the requirements for parking access for NC zones as provided in subsection 23.47A.032.A.1. | Departure is requested. Site access from 3 locations on both street frontages is requested. See Section 17, Departure Request #1. This departure request was supported by the Board at EDG. |
| B | Location of Parking | 1. The following rules apply in NC zones, except as provided in subsection 23.47A.032.D: b. Within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use. This requirement does not apply to access to parking meeting the standards of subsection 23.47A.032.A. | The project will comply. |
| 23.54.015 | PARKING QUANTITIES | | |
| Table A, Line J | Non-Residential Uses | In Urban Centers: No minimum requirement. | |
| Table B, Line L & N | Residential Parking | In Urban Centers: No parking required per footnote 1. | |
| Table D, Line A.6 | Non-Residential Bicycle Parking | Long-term: 1 per 4000 square feet, rounded up to nearest whole number Short-term: 1 per 2000 square feet, rounded up to nearest whole number | The project will comply. |
| Table D, Line D.2 | Residential Bicycle Parking | Long-term: 1 space per dwelling unit for first 50 spaces, 3/4 space per dwelling unit after first 50 spaces. Short-term: 1 space per 20 dwelling units for first 50 spaces, 1 space per 15 dwelling unit after first 50 spaces | The project will comply. |

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COMPOSITE SITE PLAN

7



Composite Site Plan



EDG RESPONSE

8



Itemized Summary of Responses to EDG-1 and EDG-2

BOARD GUIDANCE FROM EDG-1

EDG-1 Guidance Comments

- 1a: The Board supported the preferred massing option.
- 1b: Additional information requested on relationship between Union Bay Place parking and retail space.
- 1c: Asked for further justification for requested height departure.
- 1d: The Board agreed with breaking the massing up into three elements.
- 2a: Sufficient site and context analysis provided.
- 2b: Further studies requested on pedestrian connectivity to retail.
- 3a: Support for proposed garage access locations.
- 4a: Support for proposed retail edge along the street.
- 4b: Recommended application of materials and balconies.
- 4c: Further information requested on connectivity within the project.
- 4d: Requested additional landscape information at tree plaza.
- 5a: Asked for continued discussion on requested additional height.

Previous Design Team Response (EDG-2 Presentation on 10/3/2022)

- 1a: Proposed design utilizes the preferred massing option.
- 1b: Additional information provided at EDG-2. See follow-up Board Guidance EDG-2 items 1c and 3a, showing support for the updated design.
- 1c: Further information and diagrams provided at EDG-2. See follow-up Board Guidance EDG-2 item 4a, showing Board support for this request.
- 1d: Proposed design utilizes the preferred massing option.
- 2a: Confirmed.
- 2b: Additional studies and diagrams provided at EDG-2. See follow-up Board Guidance EDG-2 item 1d.
- 3a: Proposed garage access locations have been maintained.
- 4a: Proposed retail edge has been maintained.
- 4b: See Sections 11, 12 and 13 for updated building design.
- 4c: Additional information provided at EDG-2. See follow-up Board Guidance EDG-2 item 1d.
- 4d: See Section 10 for Landscape and Planting Plans.
- 5a: See diagrams (combined with 1c)

BOARD GUIDANCE FROM EDG-2

EDG-2 Guidance Comments

- 1a: The Board appreciated response to guidance from EDG-1.
- 1b: Provide more information regarding relationship to U-Place and proximity of building to existing units.
- 1c: Discussion of passive use at open courtyards.
- 1d: Board felt design team did a better job depicting pedestrian route within development, and appreciated stair access from Union Bay plaza.
- 2a: Back wall at NE 45th Street plaza should include engaging materials to hide impact of garage.
- 2b: The Board supported the serrated retail storefronts.
- 3a: The Board appreciated the new plaza along Union Bay Place NE.
- 3b: Concern with serrated edge on Union Bay Place and retail space at grade, and requested the geometry at this facade be reviewed.
- 4a: The Board supported the additional height request, but asked for continued discussion per guidance items 4b and 4c.
- 4b: More information on relationship with U-Place was requested.
- 4c: More information requested on how additional height will affect the single-family residences to the northeast, and to U-Place.

Design Team Response (Current Proposal)

- 1a: None required.
- 1b: See Section 8 (page 33) for additional studies, information and updated design responding to the relationship to the U-Place apartments.
- 1c: None required.
- 1d: None required.
- 2a: See Sections 11, 12 and 13 for updated building design.
- 2b: See Sections 11, 12 and 13 for updated building design.
- 3a: New plaza has been maintained, see Sections 7, 9 and 10.
- 3b: See Sections 11, 12 and 13 for updated building design.
- 4a: Additional information provided per responses to items 4b and 4c.
- 4b: See Section 8 (page 33) for additional studies, information and updated design.
- 4c: See Section 8 (page 33) for view studies from U-Place and neighborhood.

EDG Response - Union Bay Place

Related Board Guidance

BOARD GUIDANCE EDG2-3A:

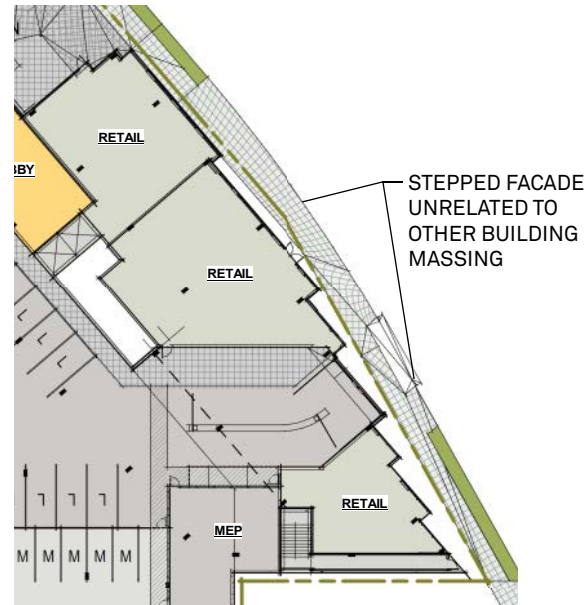
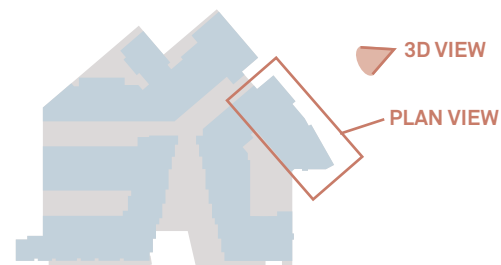
"The Board appreciated the design of the new plaza and street frontage along Union Bay and its relationship to the lobby, the 'book ending' retail and the connecting exterior stair. (CS2-B-2, CS3-1, PL1-A, DC4-B)"

BOARD GUIDANCE EDG2-3B:

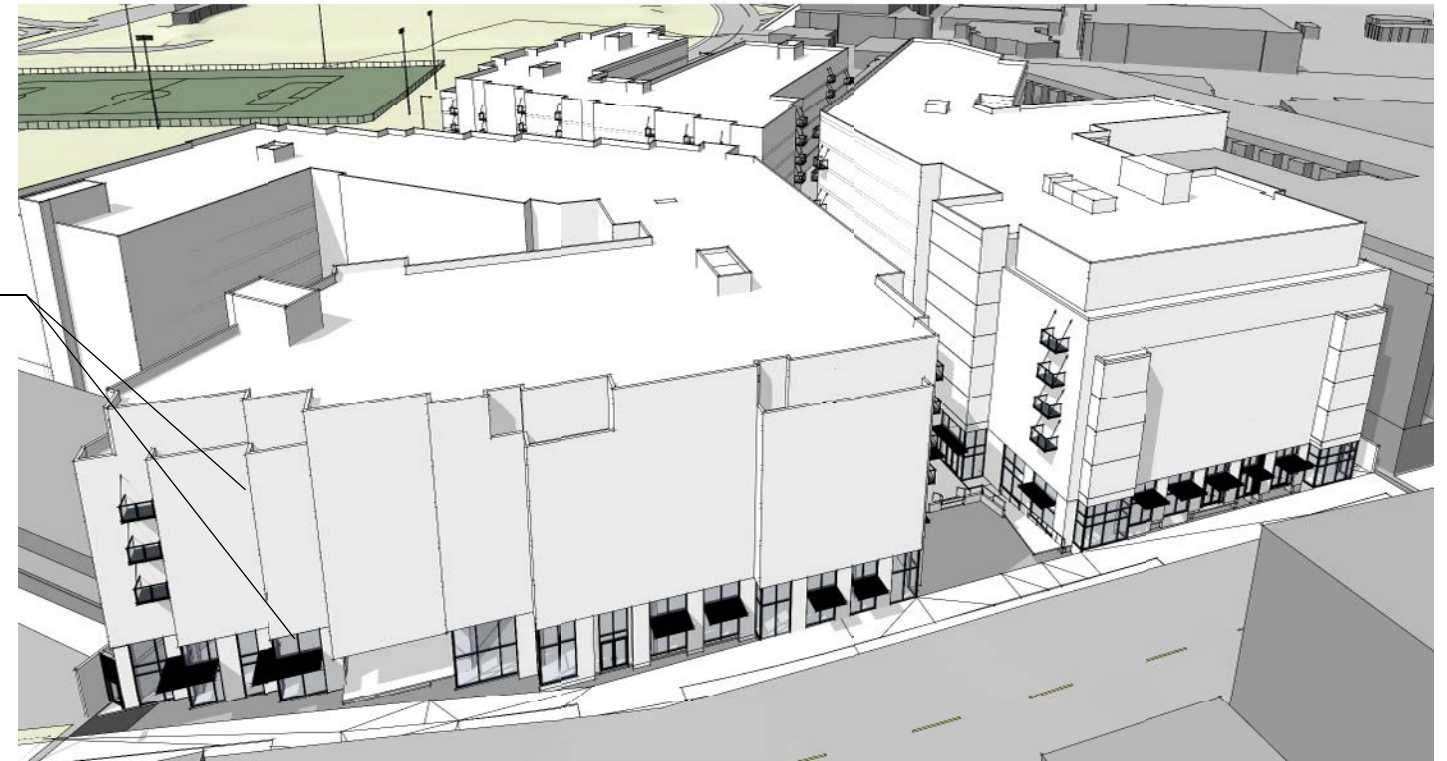
"The Board voiced concern about the serrated building edge as it moves around the corner from Union Bay to 45th St and wondered what will happen with the associated retail spaces at ground level. As such the Board asked the design team to provide additional studies on the geometry for the retail space and design logic for how the frontage at southeast corner of the building has been shaped. (PL1-A, PL1-B.1, PL1-C)."

DESIGN RESPONSE

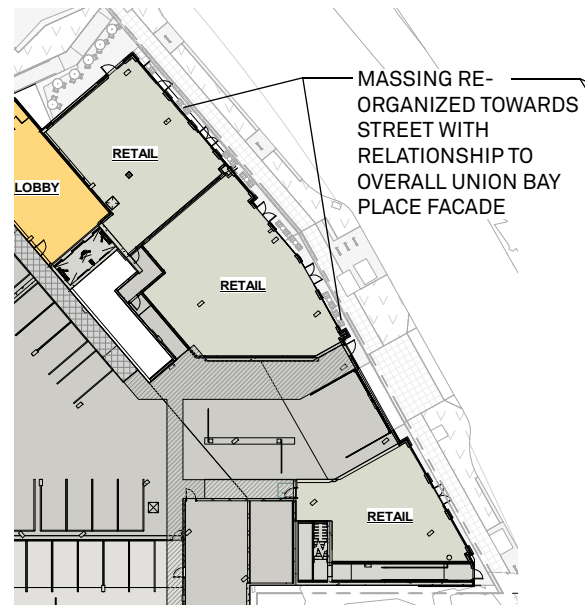
The massing and facade design along Union Bay Place has been re-configured to further develop and reinforce the "book ending" approach that the Board supported during EDG-2. The more simplified massing of the north building has been continued south of the plaza to provide a continuity of the design language along the entire facade, replacing the incongruity of the previous "serrated edge" which the Board had concern with. The building base has also been updated to better reflect the retail use and ground the massing, while the required upper level setback has also been simplified to create a more consistent relationship between the two buildings.



UNION BAY PLACE RETAIL FLOOR PLAN - EDG2



UNION BAY PLACE FACADE - EDG-2



UNION BAY PLACE RETAIL FLOOR PLAN - PROPOSED



UNION BAY PLACE FACADE - PROPOSED

EDG Response - Building Height

Related Board Guidance

BOARD GUIDANCE EDG2-4A:

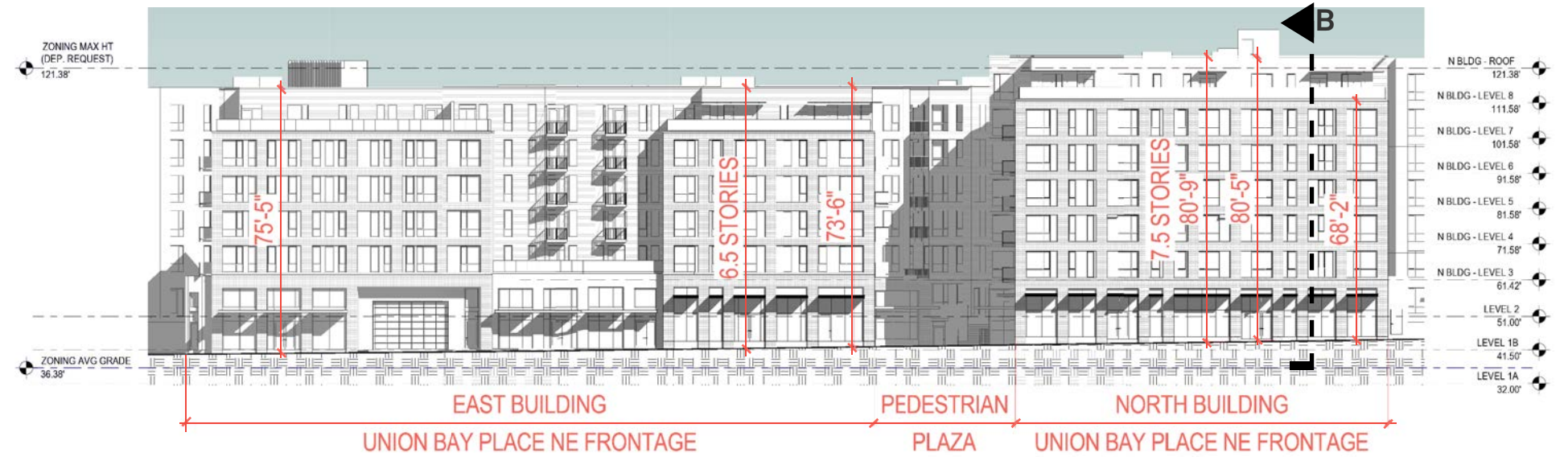
"In their deliberations, the Board supported the additional height requested for the northern building as it relates to the departure request. The Board did, however, request continued discussion during its review of the departure for additional building height below. CS1-B, CS1-1.a, CS2-D)."

DEPARTURE REQUEST #2 - BOARD RESPONSE:

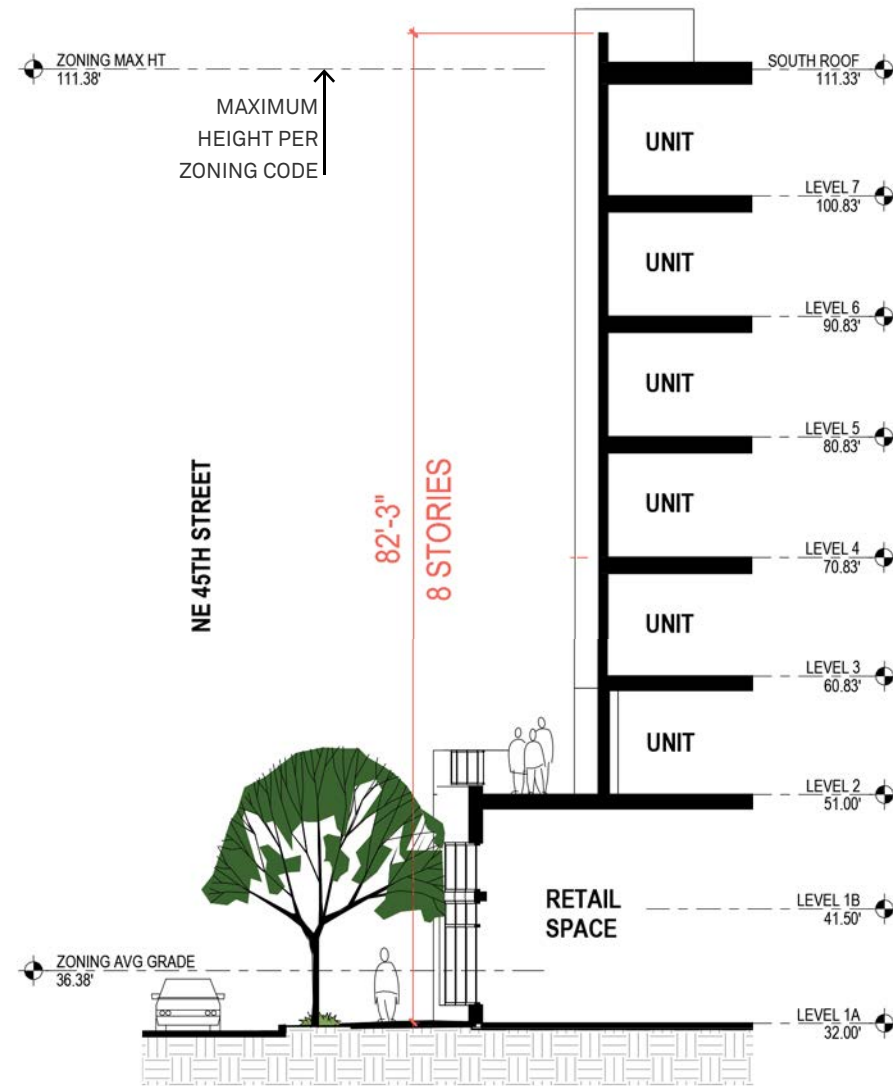
"The Board indicated its preliminary support for the departure request given the applicant's rationale about the addition of a floor to the north building which compensates for the reduced footprint necessary to retain the exceptional tree without losing development capacity and the broader opening for the south facing courtyard space. CS2 - URBAN PATTERN AND FORM, DC2-B ARCHITECTURAL AND FAÇADE COMPOSITION, CS2-D HEIGHT, BULK, AND SCALE, CS2-2-b. PROVIDE ZONE TRANSITIONS."

DESIGN RESPONSE

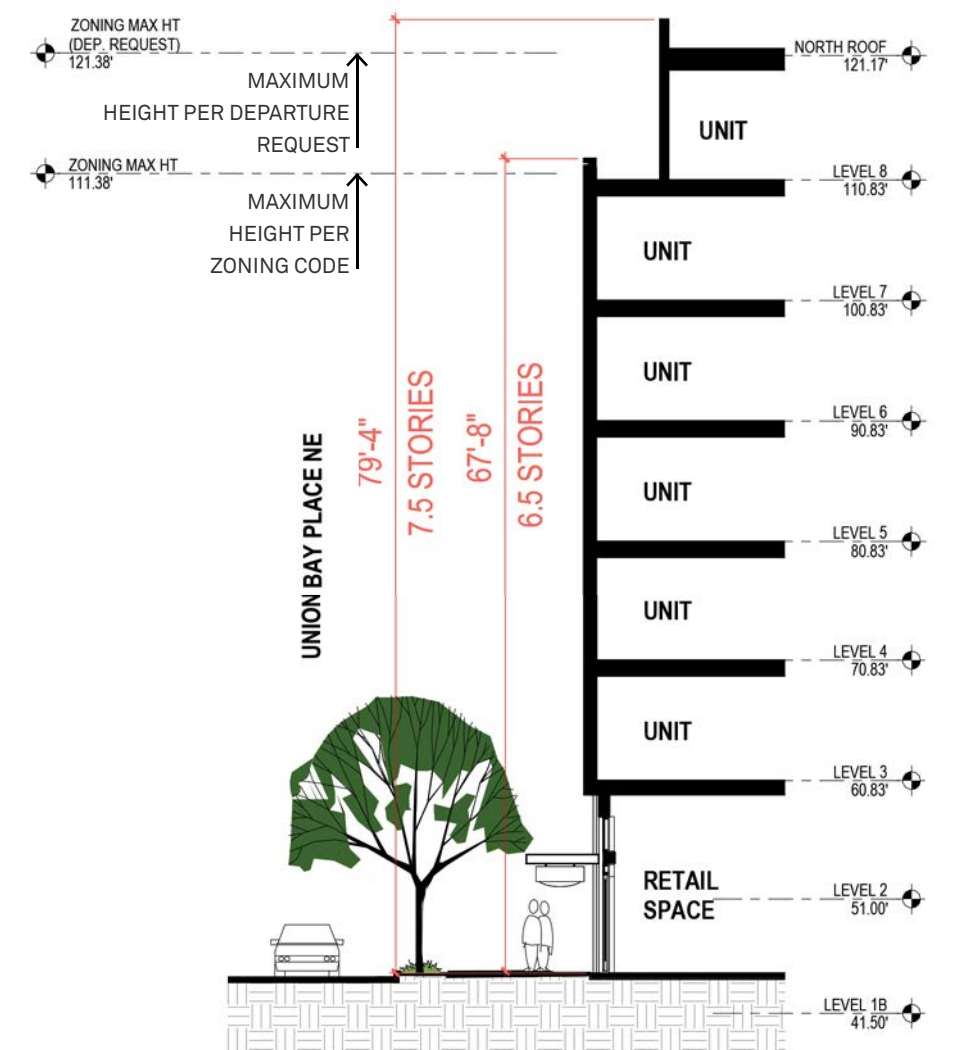
With the Board's support for this departure request, the project has moved forward with the preferred massing option, which uses the additional height requested to add an additional floor to the north building, allowing for redistribution of massing to create the proposed pedestrian plaza along NE 45th Street, retaining the exceptional London Plane tree at this location. See Section 17, Departures, for diagrams and rationale regarding this request.



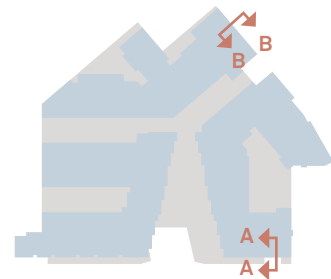
STREET FRONTAGE ELEVATION - UNION BAY PLACE NE



SECTION A: STREET FRONTAGE - NE 45TH STREET



SECTION B: STREET FRONTAGE - UNION BAY PLACE NE



U-Place Relationship Study - Guidance Response

Related Board Guidance

BOARD GUIDANCE EDG2-1B: UNION BAY MASSING

Board members had questions about the relationship of the northern portion of the building and its relationship to the existing development at University Place as seen on page 22 of the EDG 1 packet. Members observed that there are six units multiplied by five stories that will face a wall which they felt would be problematic. Based on this discussion, the Board directed the design team to provide additional information and detail on what the space will look like including privacy studies or resolve the concern by potentially pulling the units back, provide a buffer between any blank wall condition and impacted units or otherwise show how the scale has been mitigated. (CS2-A-1, CS2-A-2, CS2-B-2, CS2-C-1, PL1-A, PL3, PL3-2-c, DC3-1)

DESIGN RESPONSE:

The north wing of the north building has been reconfigured to provide more space between the new and existing buildings where units facing each other occur. Where the proposed north building units occur close to blank walls on the U-Place building, the primary living spaces of these units have been re-oriented towards on-site open space. Bedrooms have been located where the two buildings are in close proximity.

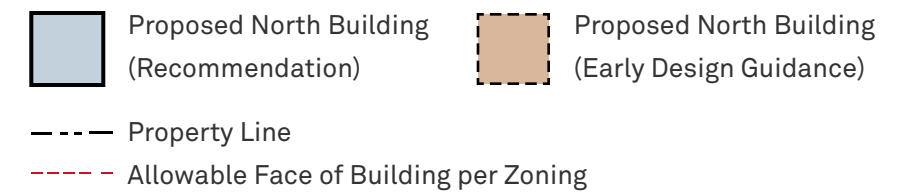
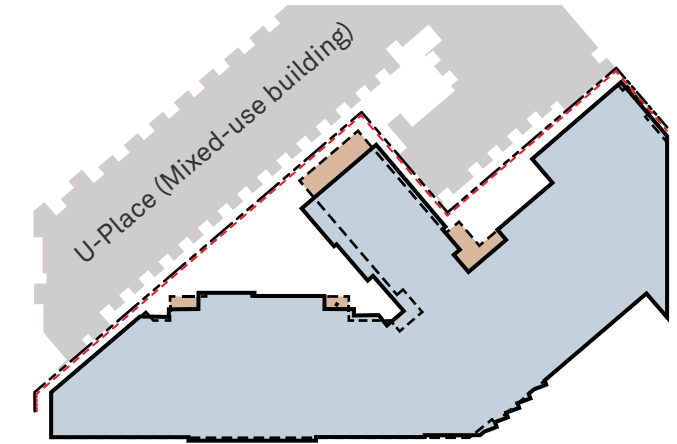
It should be noted that the U-Place project is constructed close to the property line with blank walls and recessed balconies. This proposal locates the building further away from the shared property line than U-Place is located at all conditions. See page 36.

BOARD GUIDANCE EDG2-4B&C: BUILDING HEIGHT

- b. The Board asked the design team to provide more information on the relationship between the northern building receiving the additional height and U-Place, especially in terms of the 'unit to unit' relationships (related to privacy. (CS1-B, CS1-1.a, CS2-B, CS2-D, DC1-A-4)
- c. The Board asked the design team for more information on how the additional height will affect the single-family residences to the northeast as well as University Place in terms of view impacts and privacy studies especially in relationship to. (CS1-B, CS1-1.a, CS2-B, CS2-D, DC1-A-4)

DESIGN RESPONSE:

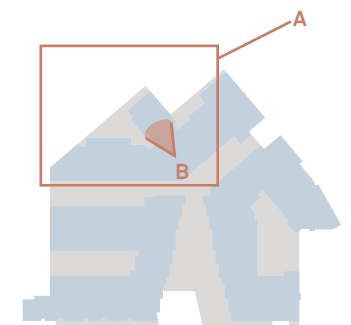
The north wing of the north building has been pulled back away from U-Place to maintain views and daylight access to the U-Place units. This also serves to extend and connect the U-Place courtyard into the proposed north building's courtyard. Additionally, a stair core has been removed from the northeast courtyard increase the size of the open space and to provide better access to view and daylight from the end unit of U-Place.



A MASSING STUDY PLAN



B U-PLACE BUILDING, LOOKING NORTHWEST



U-Place Relationship Study - Guidance Response Diagram

- Proposed North Building (Recommendation)
- Proposed North Building (Early Design Guidance)
- U-Place
- Views/daylight access from primary living space
- Major blank walls @ property lines
- 1 Stair removed to provide better views/access to daylight for U-place end unit.
- 2 North wing reconfigured to provide more open space where units occur on the facade and less space adjacent to blank walls.
- 3 Additional courtyard space provided for corner unit



U-Place Relationship Study - Sections

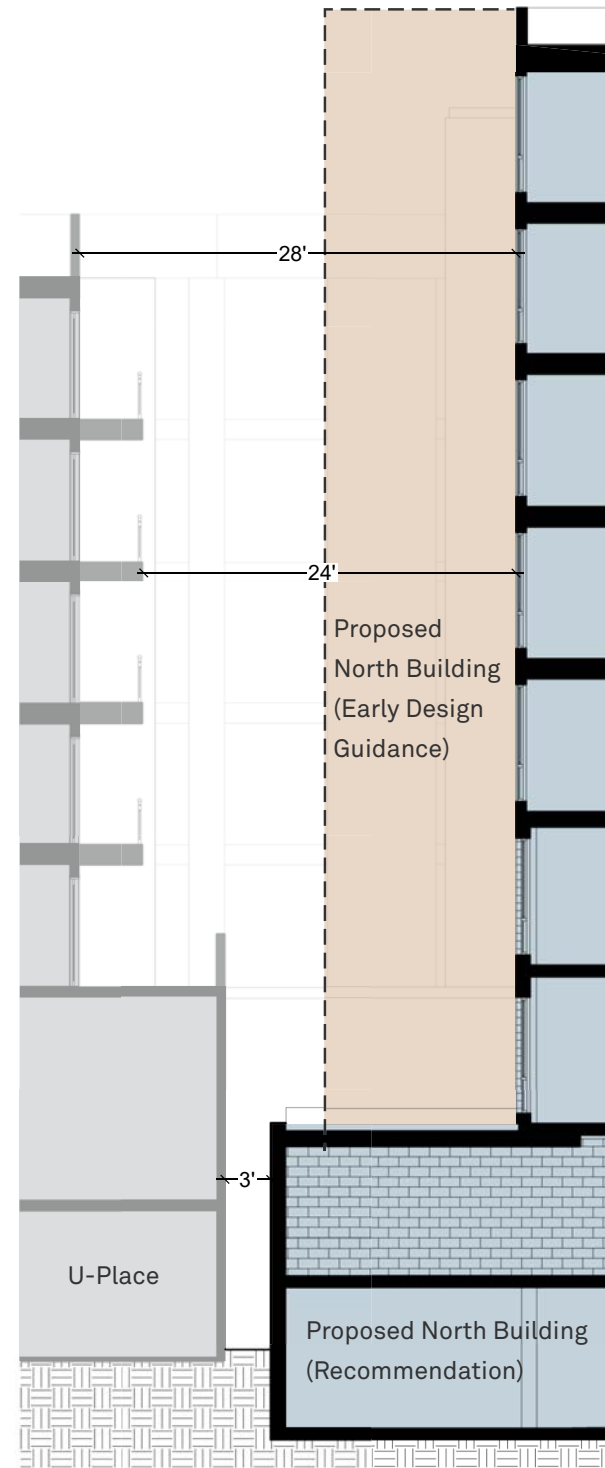


KEY

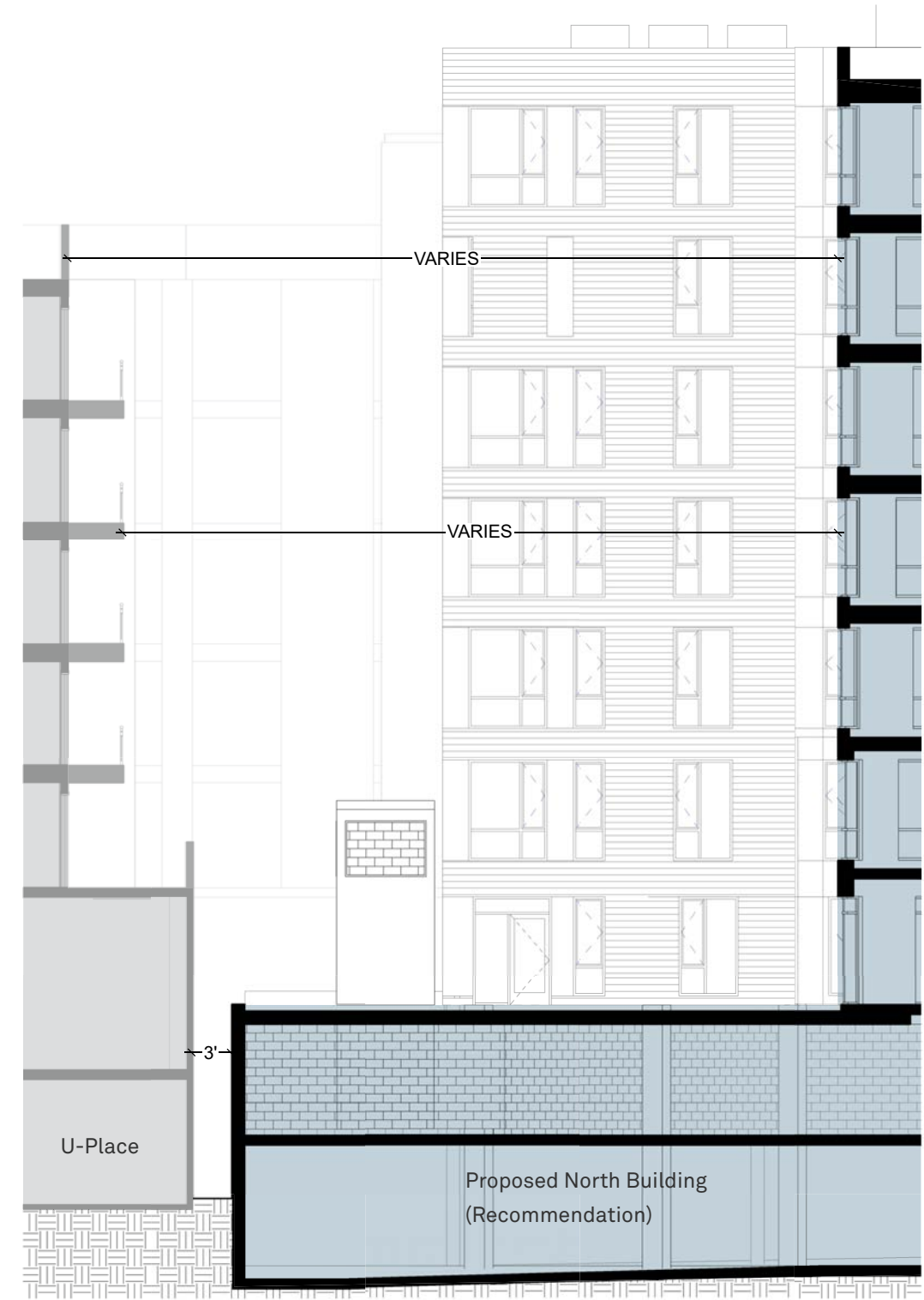
- Current Proposal
- Previous Proposal (@ EDG)



SECTION A-A

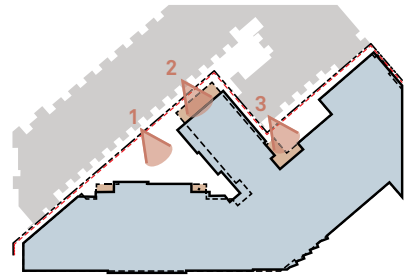


SECTION B-B





SECTION C-C

U-Place Relationship Study - EDG vs Recommendation Views



KEY

-  Current Proposal
-  Previous Proposal (@ EDG)

1 View from U-Place balcony, looking south



EARLY DESIGN GUIDANCE MEETING #2

2 View from U-Place balcony, looking south



EARLY DESIGN GUIDANCE MEETING #2

3 View from U-Place balcony, looking south



EARLY DESIGN GUIDANCE MEETING #2



RECOMMENDATION MEETING

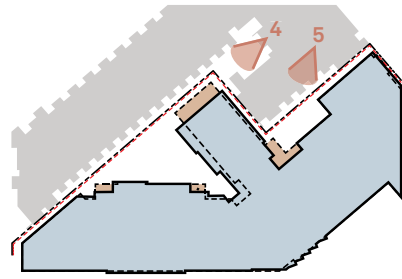


RECOMMENDATION MEETING





RECOMMENDATION MEETING

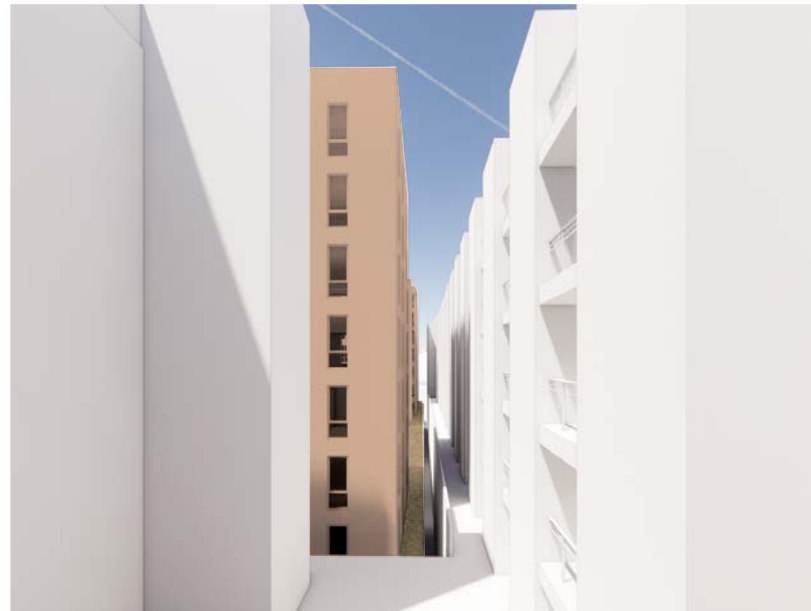
U-Place Relationship Study - EDG vs Recommendation Views



KEY

-  Current Proposal
-  Previous Proposal (@ EDG)

4 View from U-Place balcony, looking west

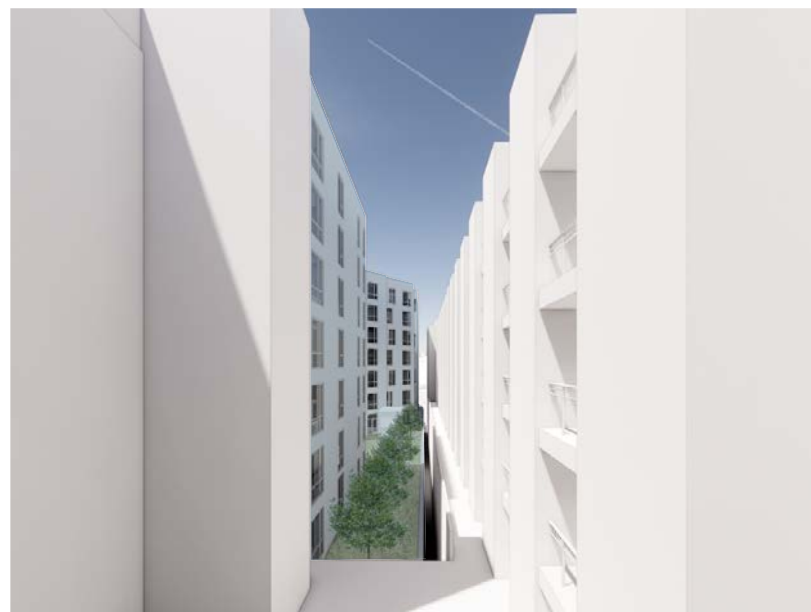


EARLY DESIGN GUIDANCE MEETING #2

5 View from above



EARLY DESIGN GUIDANCE MEETING #2



RECOMMENDATION MEETING



RECOMMENDATION MEETING

EDG Response - NE 45th Streetscape - Back Wall of Courtyard

RELATED BOARD GUIDANCE

BOARD GUIDANCE EDG2-2A:

"In discussing the street edge along NE 45th St. the Board suggested that the 'back of wall' of the main plaza needs to be treated with engaging materials as a way of hiding the visual impact of the garage. This could include the use of public art designed to draw the eye inward. (CS2-A-1, CS2-A-2, CS2-B-2, CS2-C-1, PL1-A, PL3, PL3-2-c, DC3-1)."

DESIGN RESPONSE

The back wall of the public courtyard on NE 45th Street has been reconfigured as a central design element framing this space.

The wall features a brick lattice finish that provides a textured granularity while allowing airflow to the garage beyond. A door connects the garage to the retail spaces around the courtyard. At the top of the wall, the design features a prow-like balcony with glass railing, providing an overlook from the plaza above.

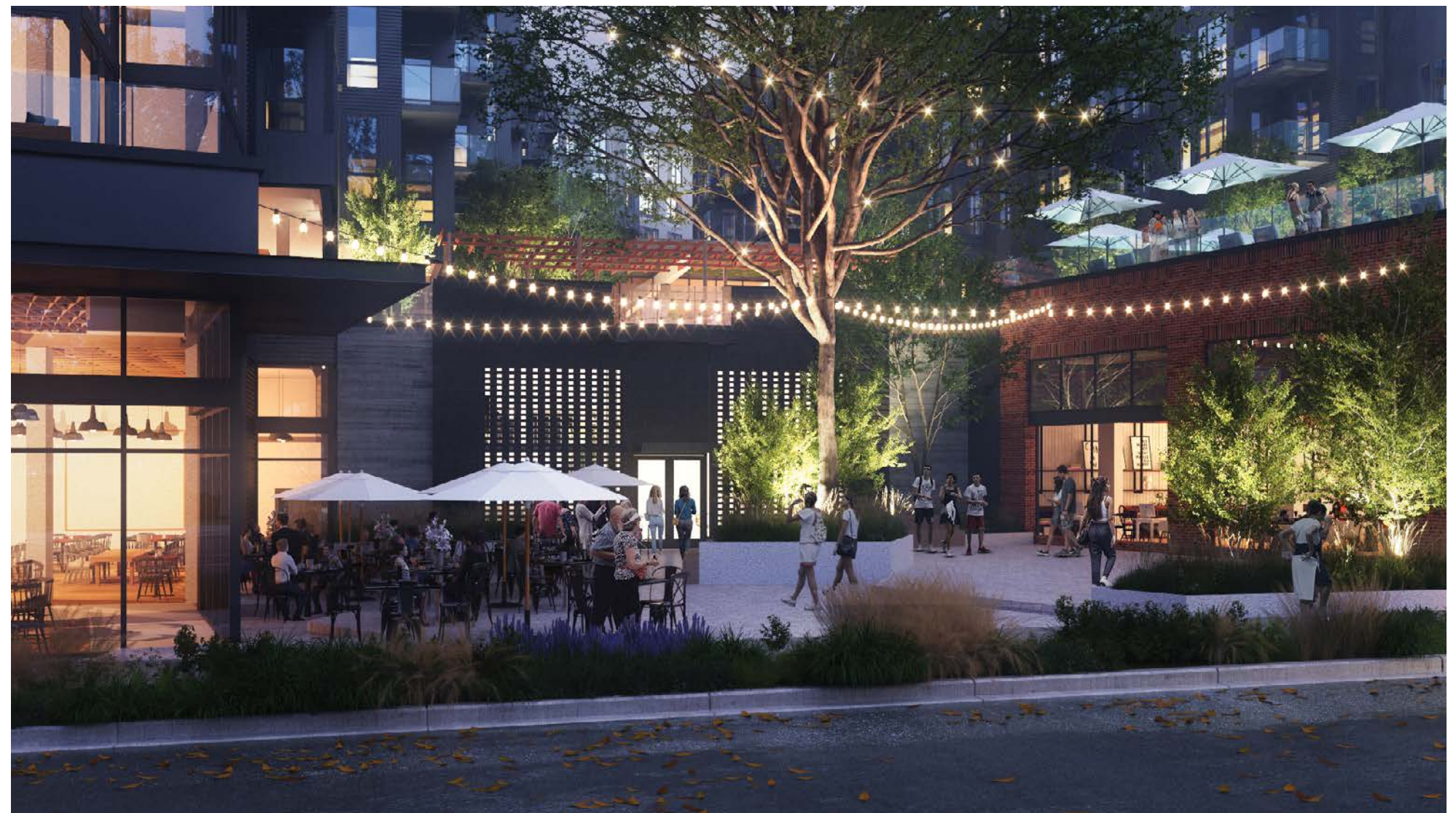
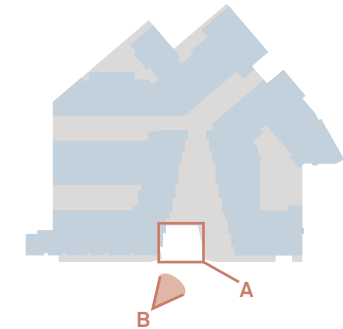


EXAMPLE OF BRICK LATTICE WALL



BACK WALL OF COURTYARD

A PLAN VIEW - PLAZA ON NE 45TH ST



B STREET VIEW - PLAZA ON NE 45TH STREET

EDG Response - View Studies

RELATED BOARD GUIDANCE

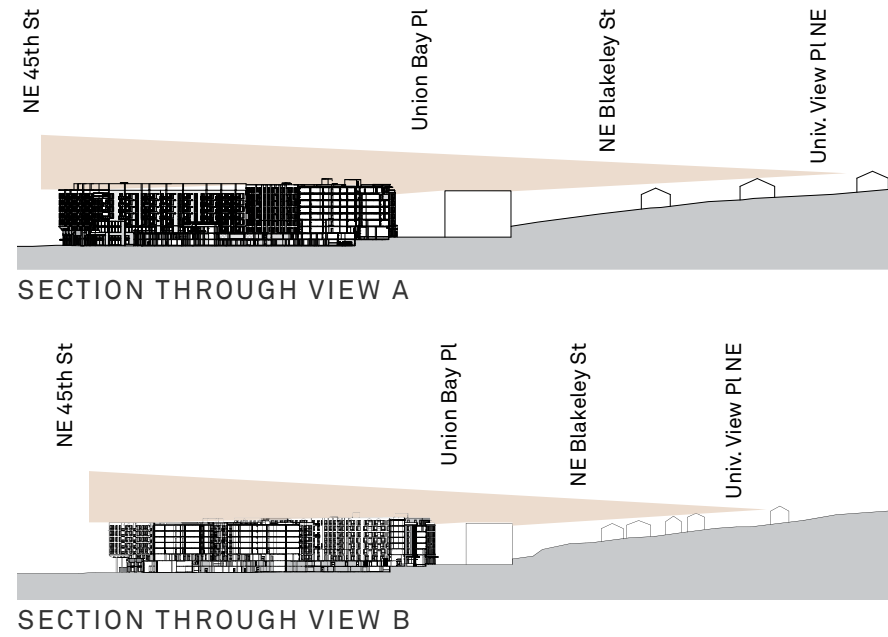
BOARD GUIDANCE EDG2-4C:

"The Board asked the design team for more information on how the additional height will affect the single-family residences to the northeast as well as University Place in terms of view impacts and privacy studies especially in relationship to. (CS1-B, CS1-1.a, CS2-B, CS2-D, DC1-A-4)."

DESIGN RESPONSE

Views from two locations in the neighborhood located to the northeast (uphill from the proposed project) are provided. For each location, there is a view with and without the 10ft height departure.

(Note that view studies from University Place are provided as part of the EDG Response to Board Guidance EDG2-1b).



VIEW LOCATION PLAN



A WITHOUT HEIGHT DEPARTURE



B WITHOUT HEIGHT DEPARTURE



A WITH HEIGHT DEPARTURE



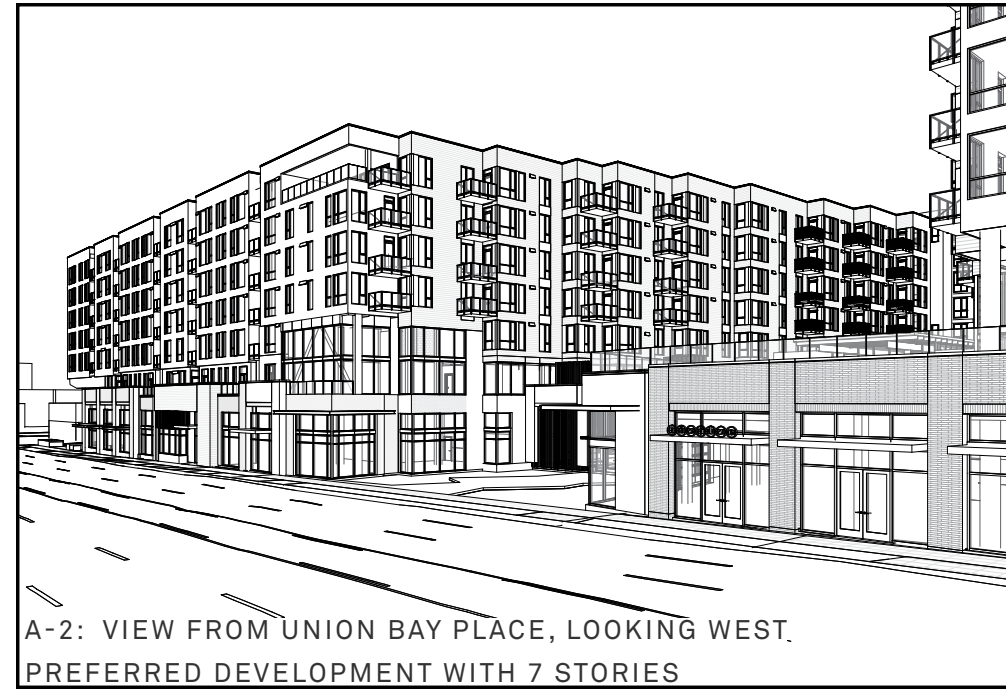
B WITH HEIGHT DEPARTURE

EDG Response - Exceptional Trees

Iteration A - Preferred Massing Option (Keeps 2 of 4 Exceptional Trees):

Development removes two exceptional trees.

Approx. 945,000 SF and 796 units



Related Board Guidance

STAFF NOTES:

"The applicant will also need to demonstrate how a design with exceptional trees removed meets the Design Guidelines better than a design with the exceptional trees retained"

"The Board indicated preliminary support for the tree removal request given the applicant's rationale."

DESIGN RESPONSE

Diagrams show how the proposed design with exceptional trees removed better meets the Design Guidelines.

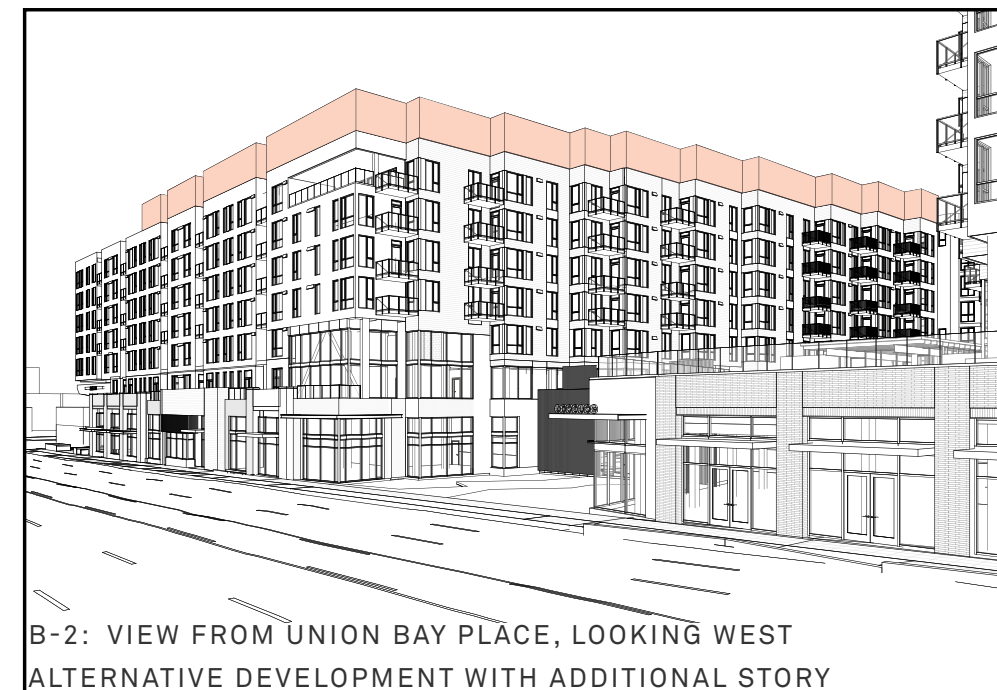
Iteration A shows the design team's preferred scheme with the removal of two exceptional trees at the West end of the site. Both trees are well above grade and supported by a rockery. It would be difficult to retain or fortify the rockery during development and maintain the stability of these trees. Per the arborist's report, one of the trees is already in poor health.

By eliminating these trees, the project gains 18,000 SF of residential area.

Iteration B - Massing Redistribution (Keeps all 4 Exceptional Trees):

Development retains all 4 exceptional trees, adding a story to the West Building to replace area lost.

Approx. 957,000 SF and 811 units



Iteration B retains the exceptional trees at the West end of the site. Given their location, few residents of the site would have access or visibility to them.

The project loses 18,000SF of developable area at this portion of the site. To replace this lost area, an additional story would be added to the West Building.

This added story increases the bulk and mass of the building along NE 45th Street, and creates an imbalance in massing since the height would not match the East Building.

FLOOR PLANS

9

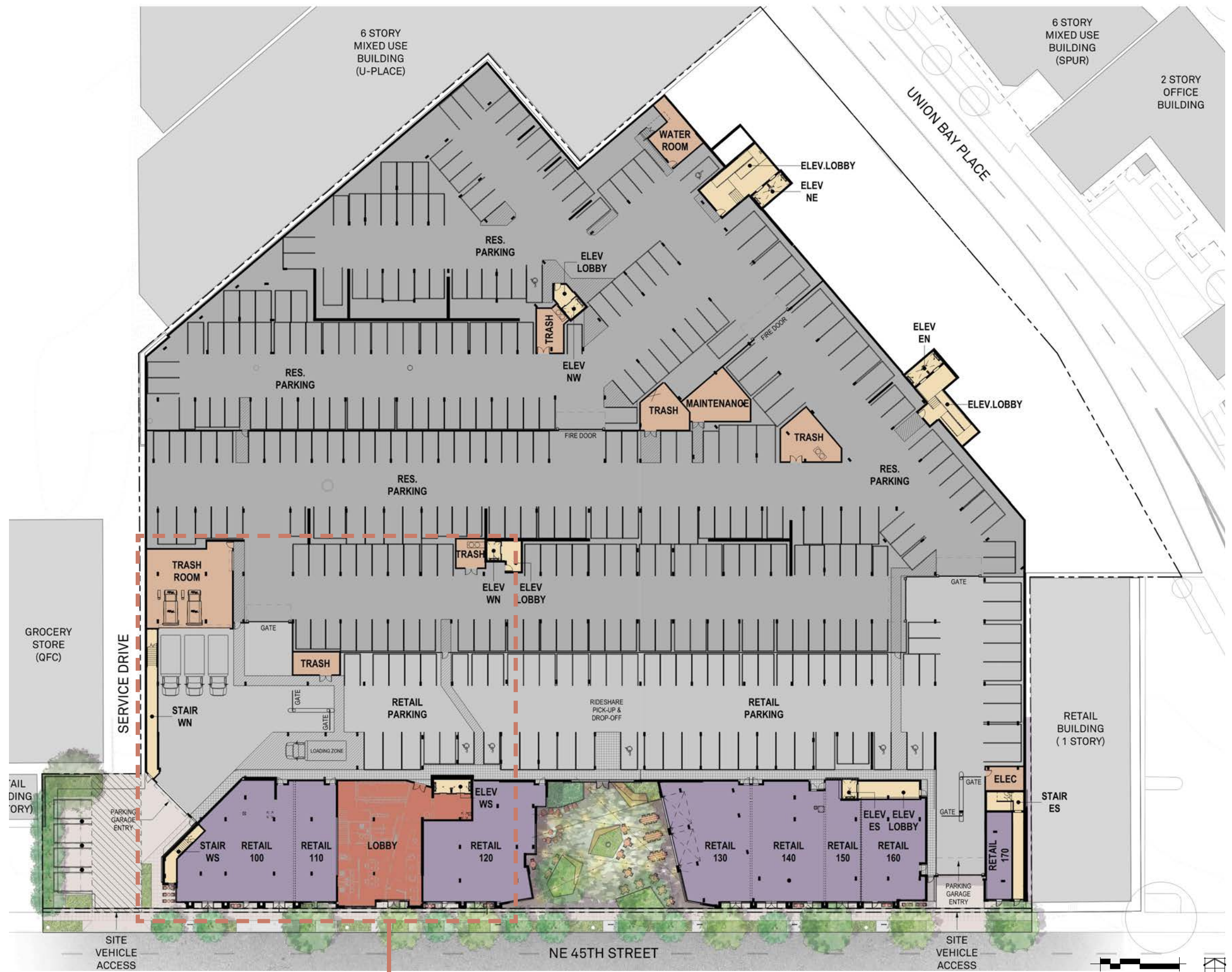


Floor Plans - Level 1A

Level 1A primarily consists of vehicle parking, retail space, and lobby and leasing space. The focal point of the 45th street frontage is a public plaza centered around an existing tree and flanked by retail on either side. The parking areas are accessed through two curb cuts on either end of the 45th street frontage. Pedestrian access from the parking to the street occurs at either parking entrance and at the back of the main plaza. At the west curb cut, an existing easement provides service and delivery access for the neighboring grocery store as well as parking, trash, and loading access for the proposed development. Within the garage, secure gates separate retail parking from resident parking.

Legend

- Residential
- Circulation
- MEP/Trash/Storage/Service
- Amenity & Lobbies
- Retail/Restaurant
- Parking



SEE ENLARGED PLAN PAGE 44

Floor Plans - Level 1B

Level 1B primarily consists of vehicle parking, retail space, and lobby space. The focal point of the Union Bay Place frontage is a public plaza flanked by retail and residential lobbies on either side. This plaza also provides pedestrian access to the retail parking as well as bike access to the bike storage rooms. Vehicular access to the parking areas is provided via a single curb cut.



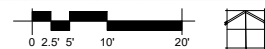
Legend

- Residential
- Circulation
- MEP/Trash/Storage/Service
- Amenity & Lobbies
- Retail/Restaurant
- Parking

Enlarged Partial Street Level Plans



Level 1A - Street Level @ NE 45th Street



Level 1B - Street Level @ Union Bay Place NE



Floor Plans - Level 2

Level 2 primarily consists of residences, resident amenities, and outdoor space. The bulk of the amenity spaces are located in the east and west buildings and are focused around a courtyard and pool area. The east and west buildings are linked by a central amenity hub. The outdoor spaces between the buildings support active uses while the courtyards enclosed by each building are dedicated to private patios and planting areas, including bioretention planters. A stair provides direct resident access from these outdoor spaces to the Union Bay Place courtyard.

Legend

- Residential
- Circulation
- MEP/Trash/Storage/Service
- Amenity & Lobbies
- Retail/Restaurant
- Parking



Floor Plans - Level 3

Level 3 primarily consists of residences and their support spaces. Additionally, a portion of the level 2 amenity spaces are double-height and occupy a portion of level 3

Legend

- Residential
- Circulation
- MEP/Trash/Storage/Service
- Amenity & Lobbies
- Retail/Restaurant
- Parking



NE 45TH STREET



Floor Plans - Level 4-6

Levels 4 through 6 primarily consist of residences and their support spaces.



Legend

- Residential
- Circulation
- MEP/Trash/Storage/Service
- Amenity & Lobbies
- Retail/Restaurant
- Parking



Floor Plans - Level 7

Level 7 primarily consists of residences and their support spaces. An amenity space and outdoor deck is located in the southeast corner of the west building.



Legend

- Residential
- Circulation
- MEP/Trash/Storage/Service
- Amenity & Lobbies
- Retail/Restaurant
- Parking



Floor Plans - Level 8

Levels 8 only occurs in the north building and primarily consist of residences and their support spaces.



Legend

- Residential
- Circulation
- MEP/Trash/Storage/Service
- Amenity & Lobbies
- Retail/Restaurant
- Parking



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LANDSCAPE 10

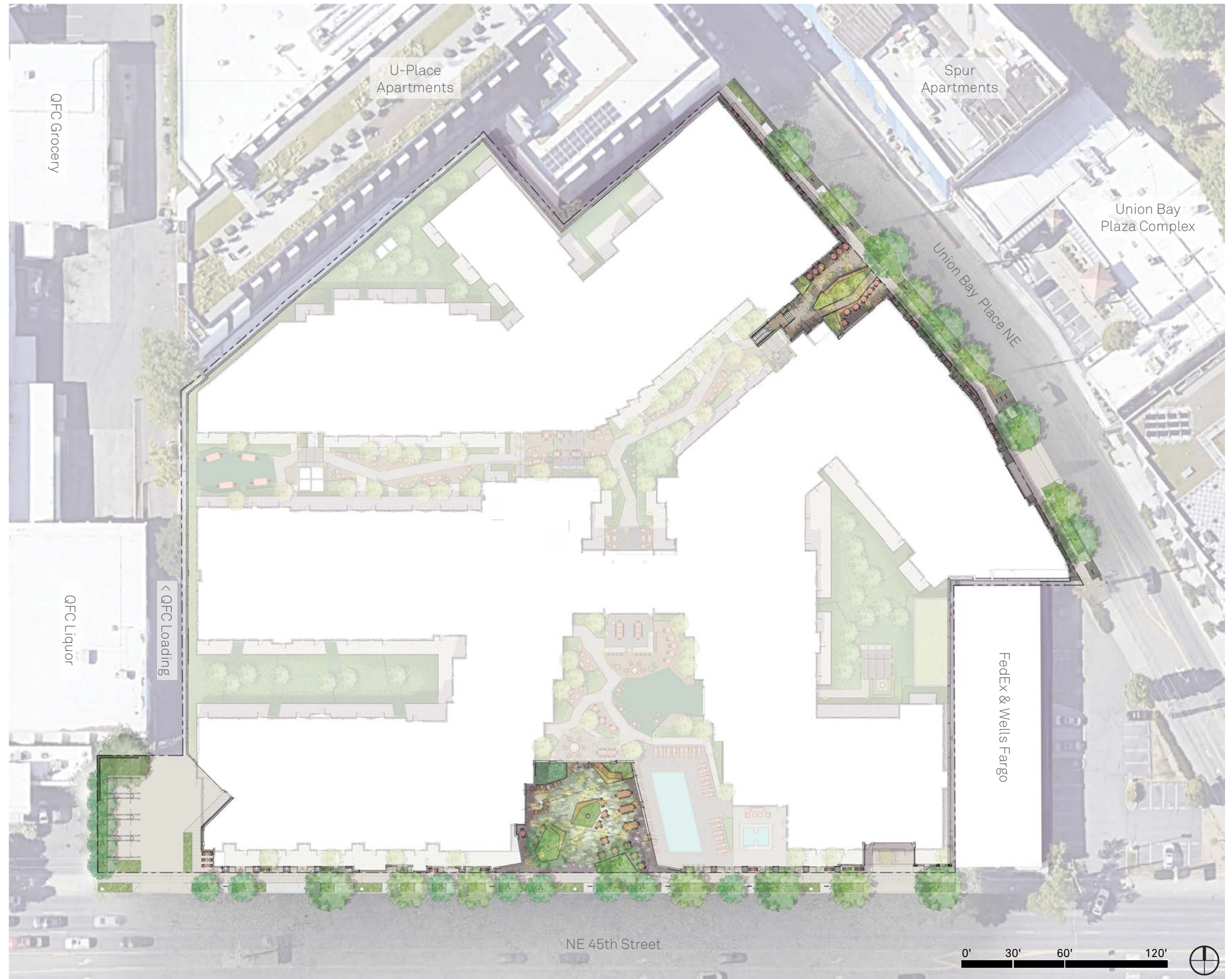


LANDSCAPE DESIGN
OVERALL PLAN

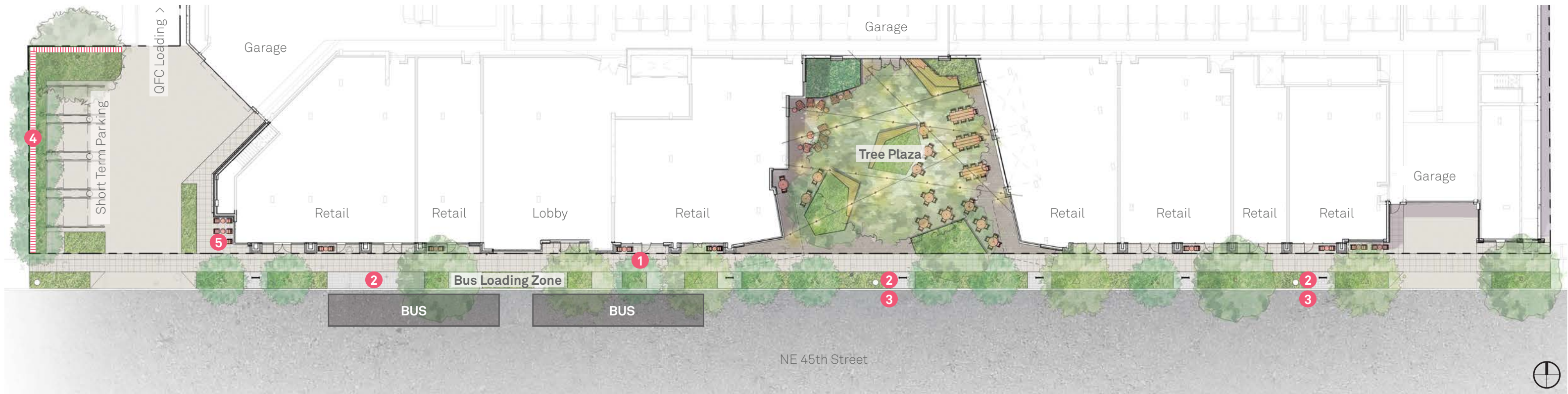
CONNECTION TO UNION BAY



The 3020 NE 45th Street Mixed-Use project is uniquely sited with direct access to the Union Bay Natural Area, which is the second largest natural system left on Lake Washington. The Union Bay Natural Area is considered one of the best bird-watching locations in the city of Seattle, and is an important preserved natural area, habitat, and green space for the growing city. The project team seeks to celebrate and draw inspiration from the Union Bay Natural Area wetland prairie landscape, riparian vegetation, walking trails, boardwalks, wildlife habitat, and core community groups.



LANDSCAPE DESIGN
NE 45TH STREETSCAPE



MATERIAL PALETTE



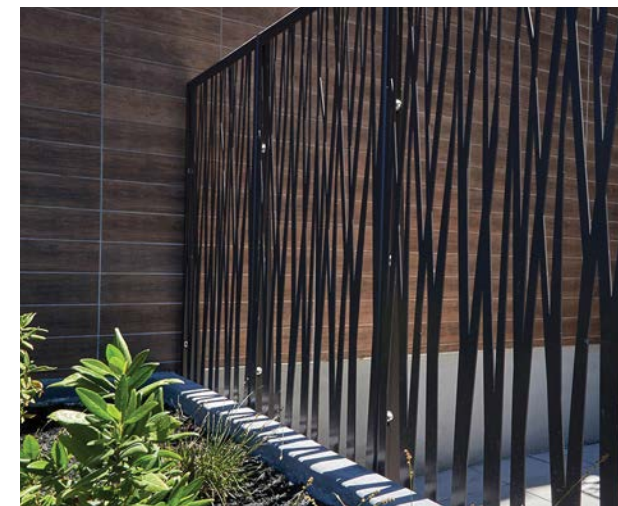
1 Seating Along Retail Edge



2 Accent Concrete Paving



3 Bike Racks



4 Landscape Fence



5 Bus Stop Waiting

LANDSCAPE DESIGN
TREE PLAZA

MATERIAL PALETTE



1 Feathered Pattern Sand-Set Pavers



2 Retail Seating Spill-Out



3 Metal Wall Raised Planters



LANDSCAPE DESIGN
UNION BAY PLACE NE STREETScape



MATERIAL PALETTE



1 Seating Along Retail Edge



2 Sand-Set Pavers



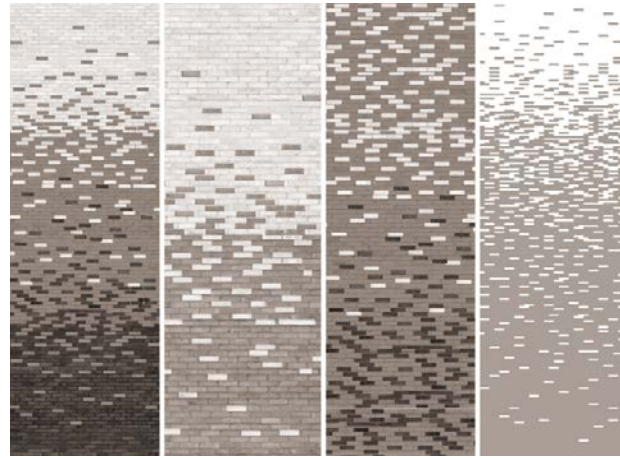
3 Wood Bench



4 Bike Racks

LANDSCAPE DESIGN
UNION BAY PLAZA

PRECEDENT IMAGERY



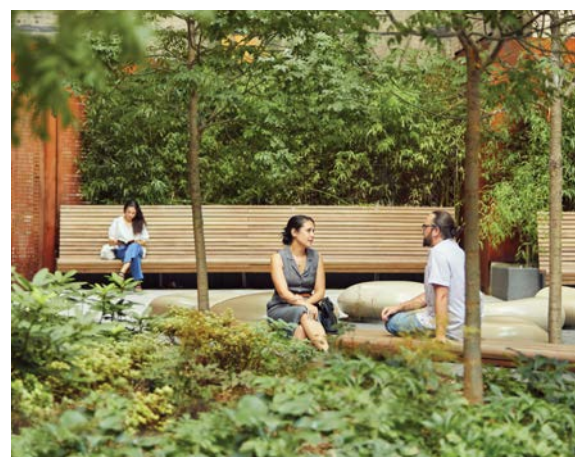
1 Feathered Pattern Sand-Set Pavers



2 Metal Wall Raised Planters



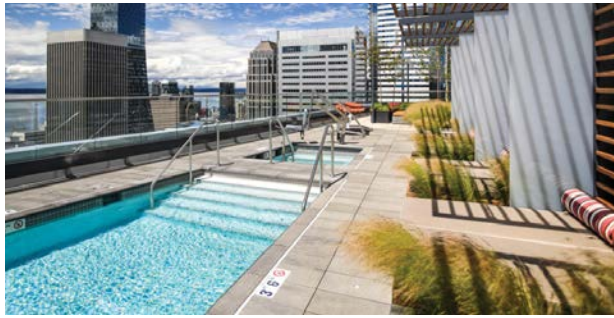
3 Wood Seating at Retail Pockets



LANDSCAPE DESIGN
OVERALL LEVEL 02 PLAN

Level 02 houses a suite of amenities for the project's residents. A pool and spa take advantage of a perch with optimal southern exposure, while spaces for outdoor dining, working, and gathering are located amongst building amenities and the London Plane tree's canopy. Views of Union Bay and Mount Rainier provide a quintessential Pacific Northwest backdrop.

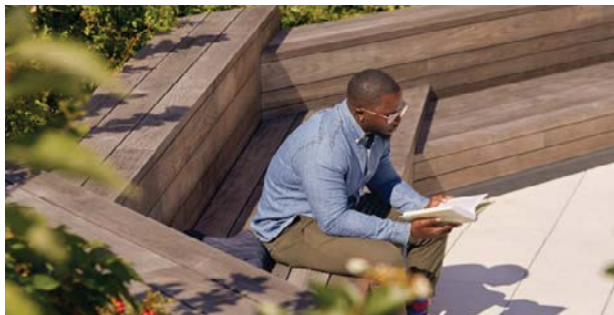
MATERIAL PALETTE



1 Pool Deck



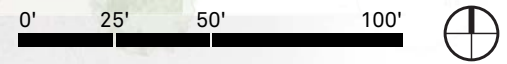
2 Activity Lawn



3 Stepped Seating



4 Bioretention Planters



PLANTING CONCEPT
UBNA HABITAT MATRIX

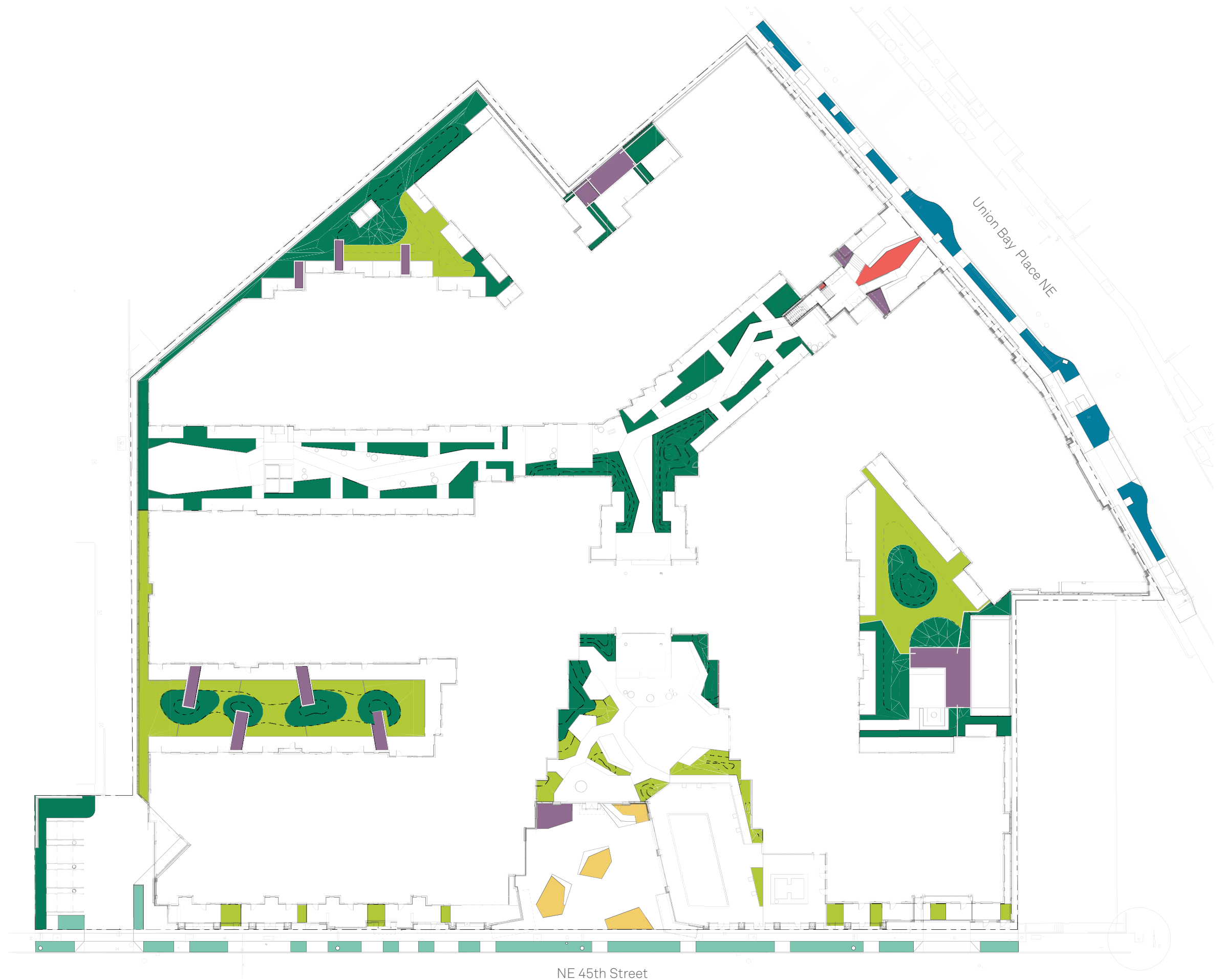
The planting design uses reference habitats from Union Bay Natural Area (UBNA) as a framework for the landscape on site. The Ephemeral Wetland, Lowland Prairie, Woodland Forest, Northwest Display Garden, and Urban Edge were selected as they provide inspiration for how the landscape functions and is structured. For example, the Ephemeral Wetland is composed such that it can be inundated with water in winter and mostly dry in summer - much like how the project's bioretention planters operate.

Each habitat also contains a mix of species that inspire the colors and textures used in the planting design. The following pages detail how the UBNA habitat matrix translates to the project's planting palette.

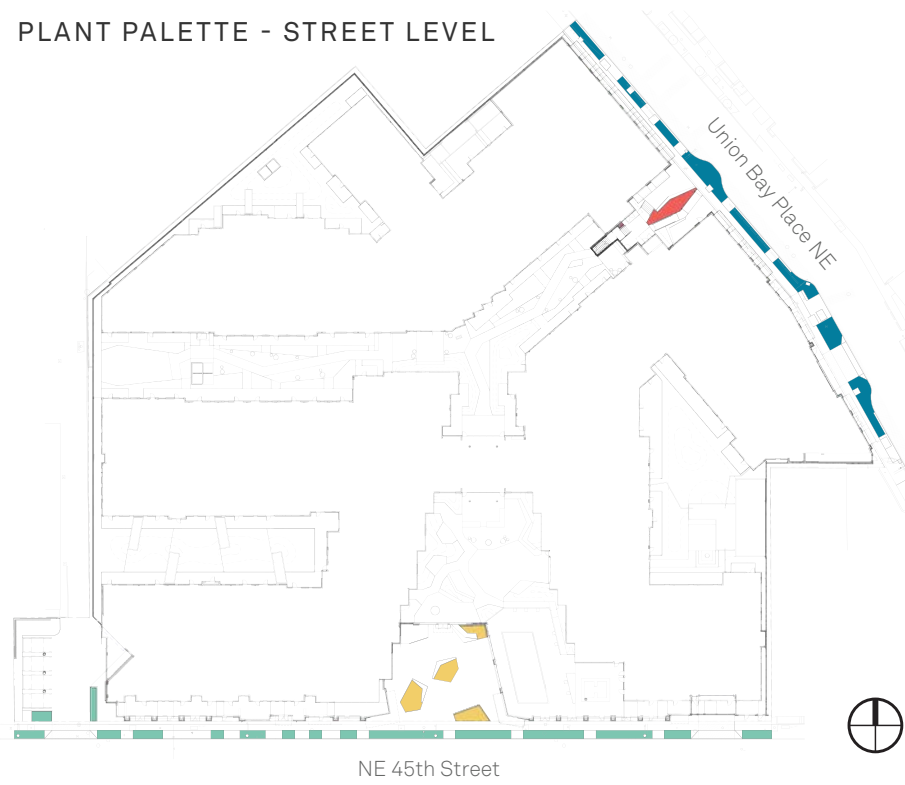


PLANTING CONCEPT
PLANTING TYPOLOGIES

- Urban Edge
- Tree Plaza
- Northwest Display
- Union Bay Plaza
- Woodland Forest
- Lowland Prairie
- Ephemeral Wetland



PLANTING CONCEPT
PLANT PALETTE - STREET LEVEL



Northwest Display



Acorus gramineus
'Ogon' // Golden
Variegated Sweetflag



Polystichum munitum
// Western Sword Fern



Itea virginica 'Sprich'
// Little Henry
Sweetspire



Rosa x 'Flower Carpet'
// Flower Carpet
Groundcover Rose



Mahonia aquifolium
'compacta' // Compact
Oregon Grape



Viburnum davidii //
David Viburnum

Union Bay Plaza



Cornus sericea
'Kelsey' // Kelsey
Dwarf Dogwood



Liriope spicata //
Creeping Lilyturf



Epimedium x rubrum
// Red Barrenwort



Mahonia aquifolium
'compacta' // Compact
Oregon Grape



Hakonechloa macra
'All Gold' // Japanese
Forest Grass



Polystichum munitum
// Western Sword Fern



Itea virginica 'Sprich'
// Little Henry
Sweetspire

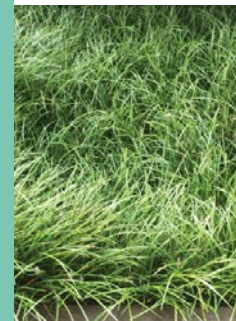


Vaccinium x
'Sunshine Blue' //
Highbush Blueberry

Urban Edge



Carex testacea //
Orange Sedge



Liriope spicata //
Creeping Lilyturf



Choisya x dewitteana
'Aztec Pearl' //
Mexican Orange



Pinus mugo
'Slowmound' // Mugo
Pine



Cornus sericea
'Kelsey' // Kelsey
Dwarf Dogwood



Rudbeckia fulgida
'Goldsturm' //
Coneflower



Diervilla lonicera
'Copper' // Low Bush
Honeysuckle



Sesleria autumnalis //
Autumn Moor Grass



Hydrangea quercifolia
'Pee Wee' // Pee Wee
Oakleaf Hydrangea



Viburnum davidii //
David Viburnum

Tree Plaza



Acorus gramineus
'Ogon' // Golden
Variegated Sweetflag



Liriope spicata //
Creeping Lilyturf



Carex testacea //
Orange Sedge



Pinus mugo
'Slowmound' // Mugo
Pine



Cornus sanguineum
'Midwinter Fire' //
Shrub Dogwood

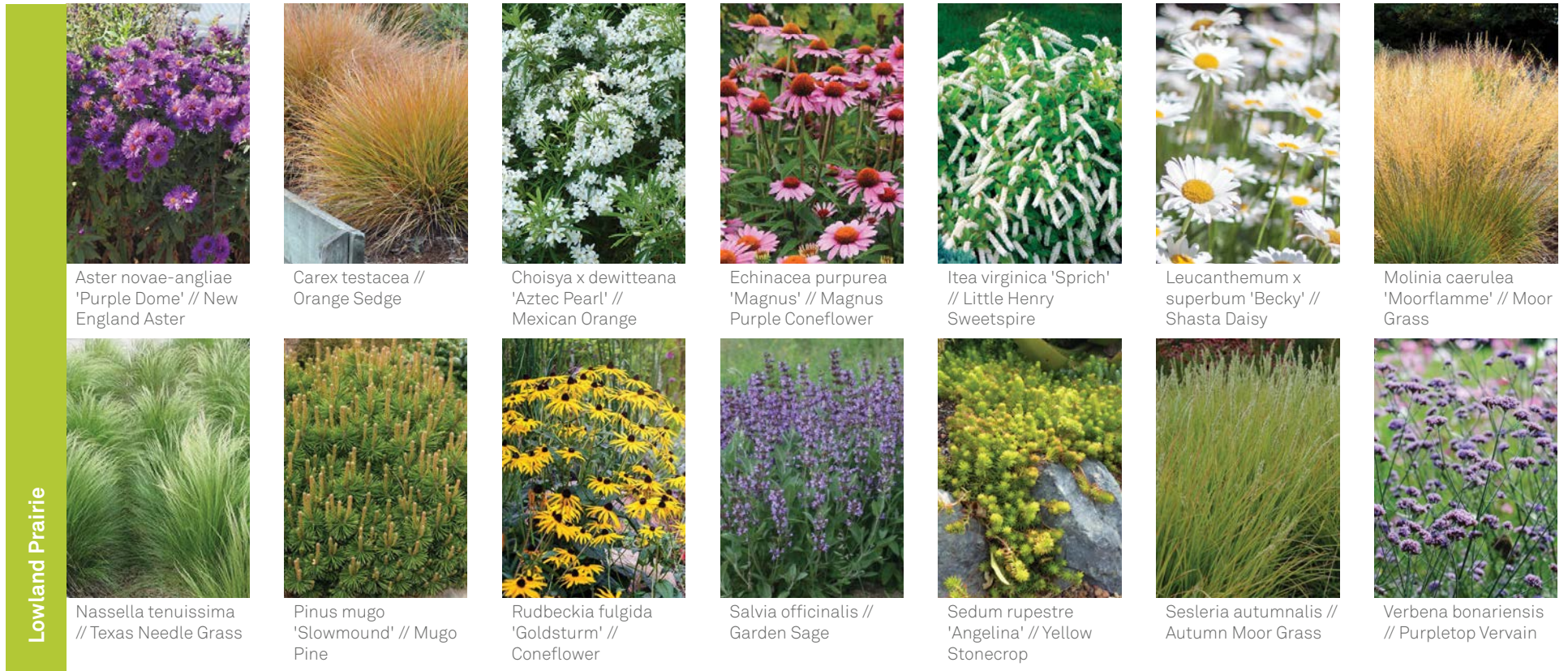
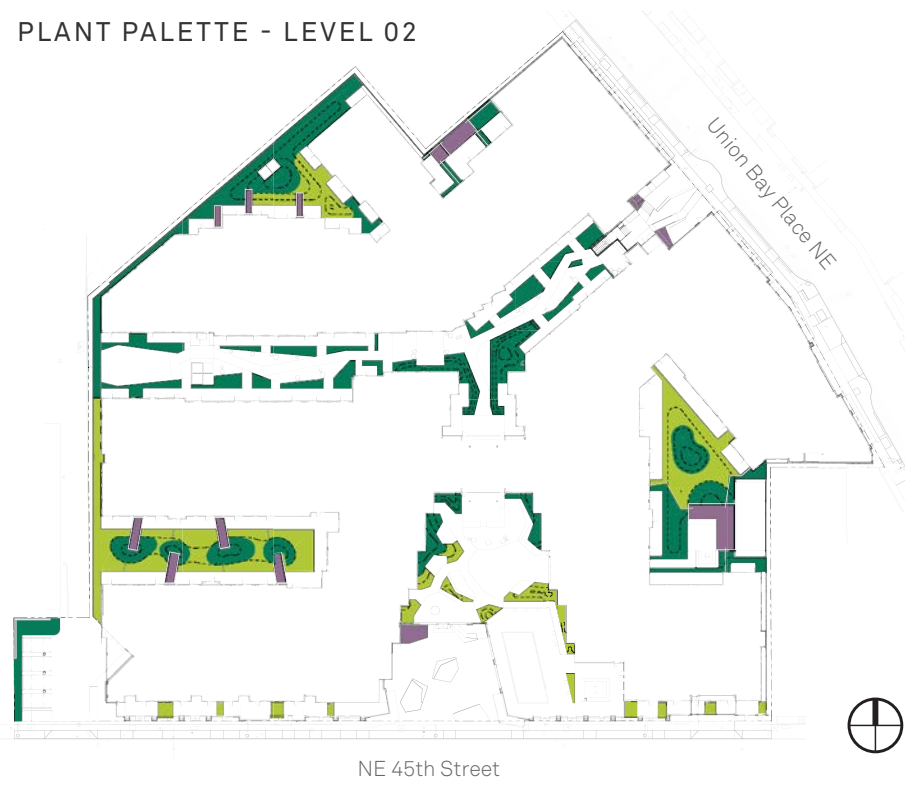


Sesleria autumnalis //
Autumn Moor Grass

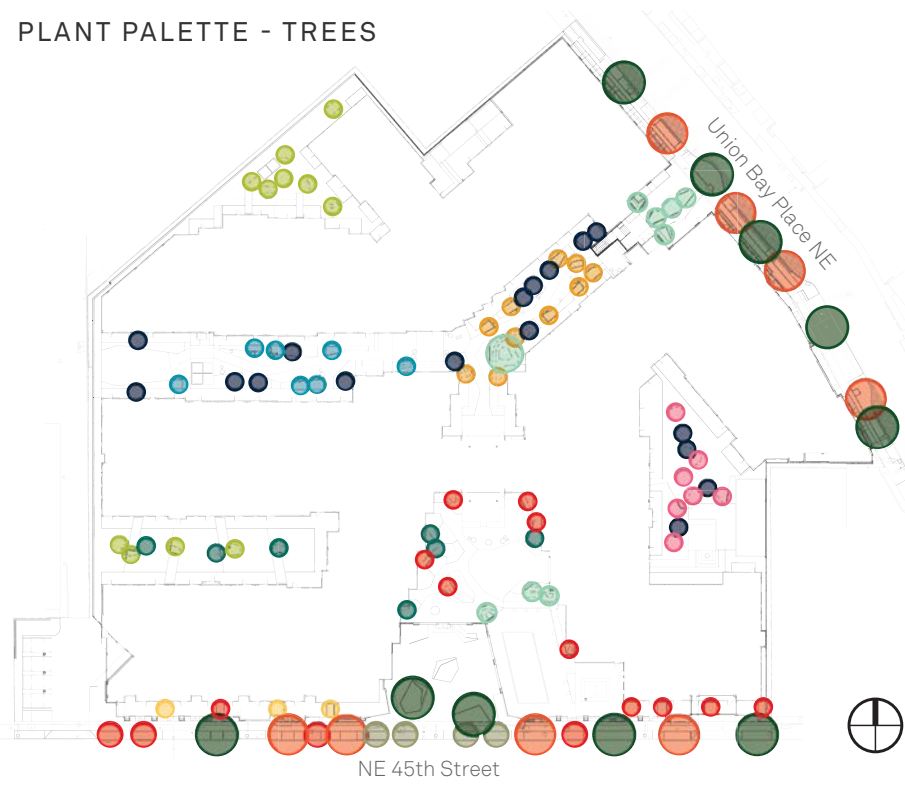


Cornus sericea
'Kelsey' // Kelsey
Dwarf Dogwood

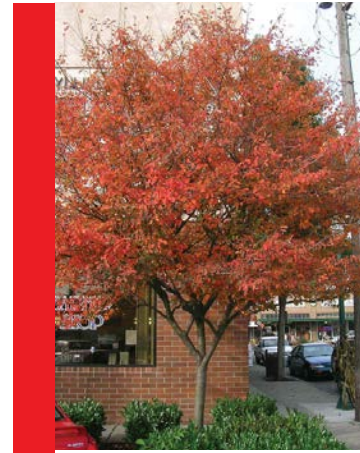
PLANTING CONCEPT
PLANT PALETTE - LEVEL 02



PLANTING CONCEPT
PLANT PALETTE - TREES



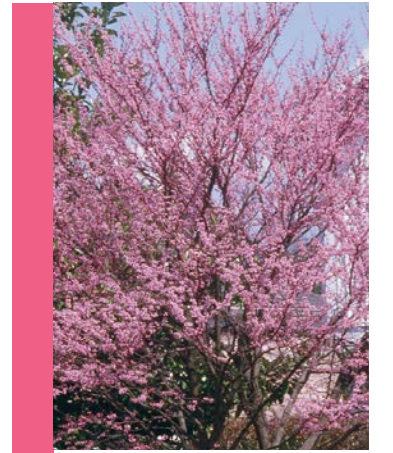
Acer circinatum // Vine Maple (Multi-Stem)



Amelanchier x grandiflora 'Autumn Brilliance' // Serviceberry



Betula nigra 'Cully' // Heritage River Birch



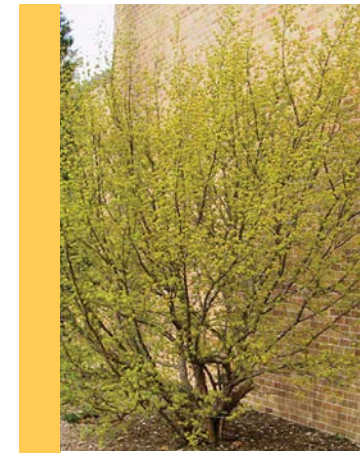
Cercis canadensis // Eastern Redbud



Cercidiphyllum japonicum // Katsura



Cornus florida 'Eddie's White Wonder' // Flowering Dogwood



Cornus mas // Cornelian Cherry Dogwood



Nyssa sylvatica 'Black Tupelo' // Sour Gum



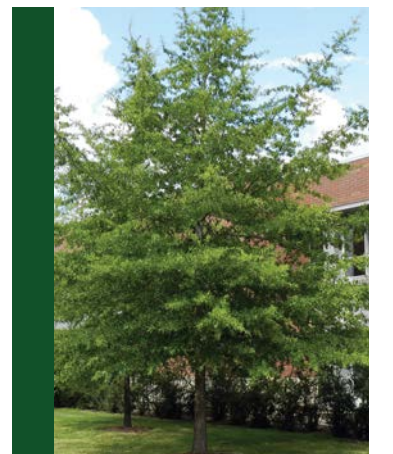
Picea obovata // Serbian Spruce



Pinus flexilis 'Vanderwolf's Pyramid' // Vanderwolf's Pyramid Limber Pine



Populus tremuloides // Quaking Aspen




















Quercus phellos // Willow Oak

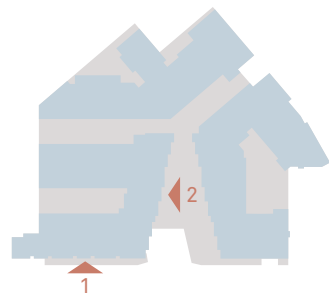
ELEVATIONS 11



Elevations

Legend

-  FC-1 Architectural fiber cement panel, through-color white
-  FC-2 Architectural fiber cement panel, through-color charcoal
-  FC-3 Fiber cement panel, painted white
-  FC-4 Fiber cement panel, painted charcoal
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-  MP-1 Metal profile panel siding, midnight bronze
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-  MP-3 Metal panel, black
-  WD-1 Wood-look siding
-  BR-1 Brick, reddish-brown
-  BR-2 Brick, black
-  C-1 Exposed concrete
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-  AL-1 Aluminum storefront, black
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












1 WEST BUILDING, SOUTH ELEVATION (NE 45TH STREET FRONTAGE)



2 WEST BUILDING, EAST ELEVATION

Elevations

Legend

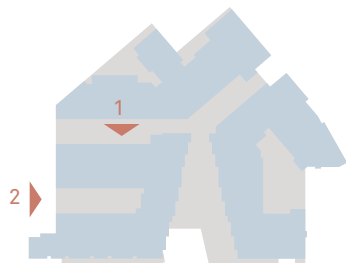
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1 WEST BUILDING, NORTH ELEVATION




















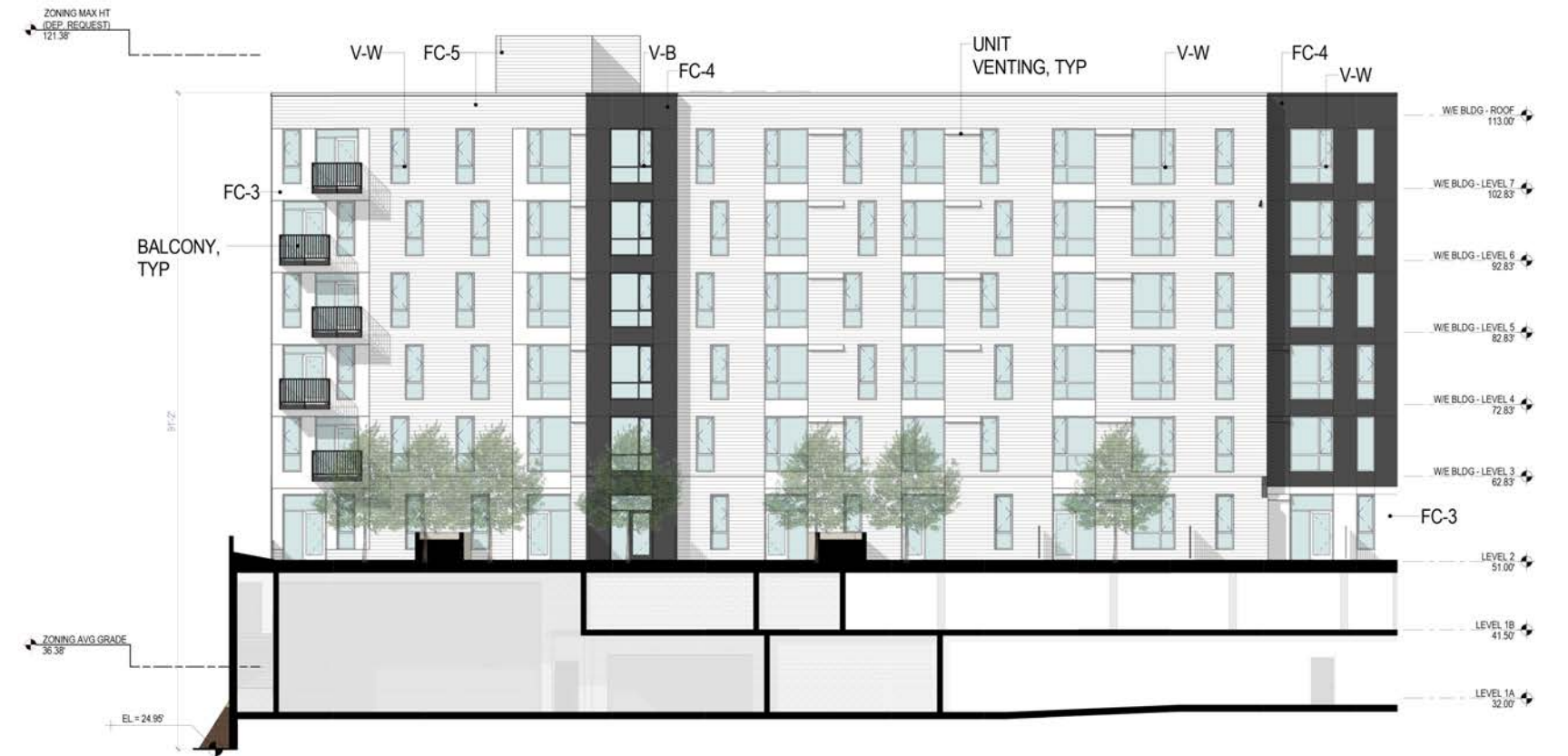
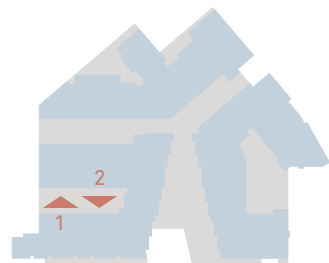
2 WEST BUILDING, WEST ELEVATION



Elevations

Legend

| | | |
|---|------|--|
|  | FC-1 | Architectural fiber cement panel, through-color white |
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












1 WEST BUILDING, NORTH ELEVATION, COURTYARD

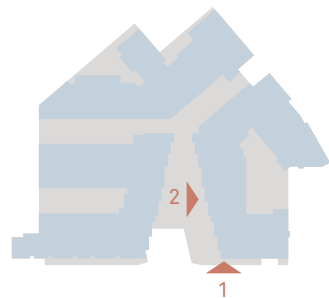


2 WEST BUILDING, SOUTH ELEVATION, COURTYARD

Elevations

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









1 EAST BUILDING, SOUTH ELEVATION (NE 45TH STREET FRONTAGE)

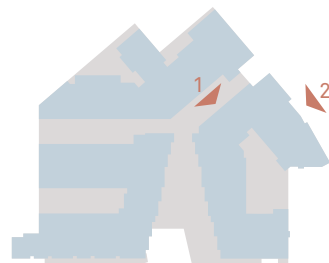


2 EAST BUILDING, WEST ELEVATION

Elevations

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








1 EAST BUILDING, NORTHWEST ELEVATION

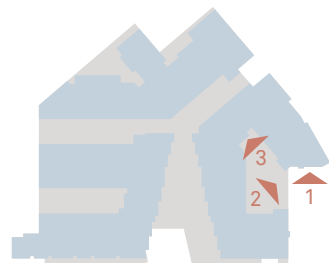


2 EAST BUILDING, NORTHEAST ELEVATION

Elevations

Legend

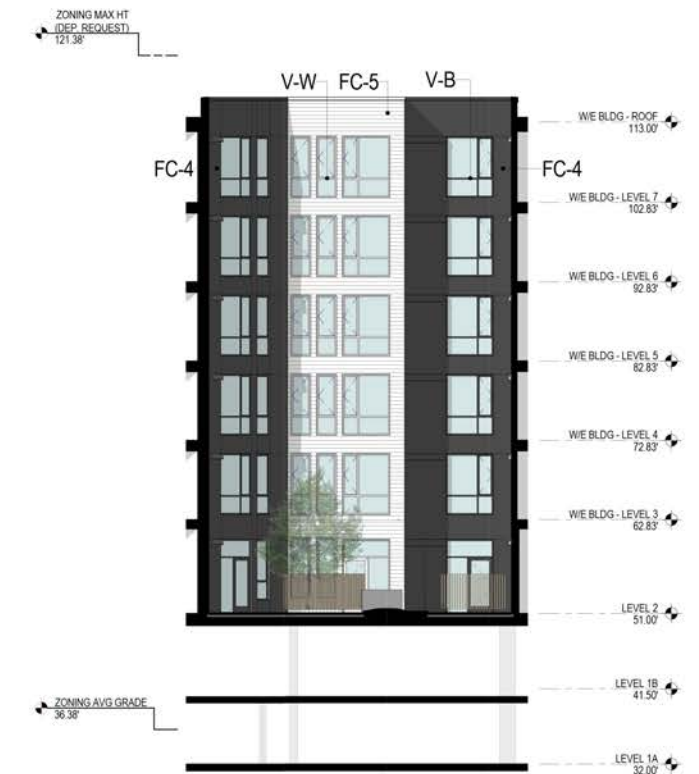
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1 EAST BUILDING, SOUTHWEST ELEVATION, EAST COURTYARD




















2 EAST BUILDING, SOUTH ELEVATION, EAST COURTYARD

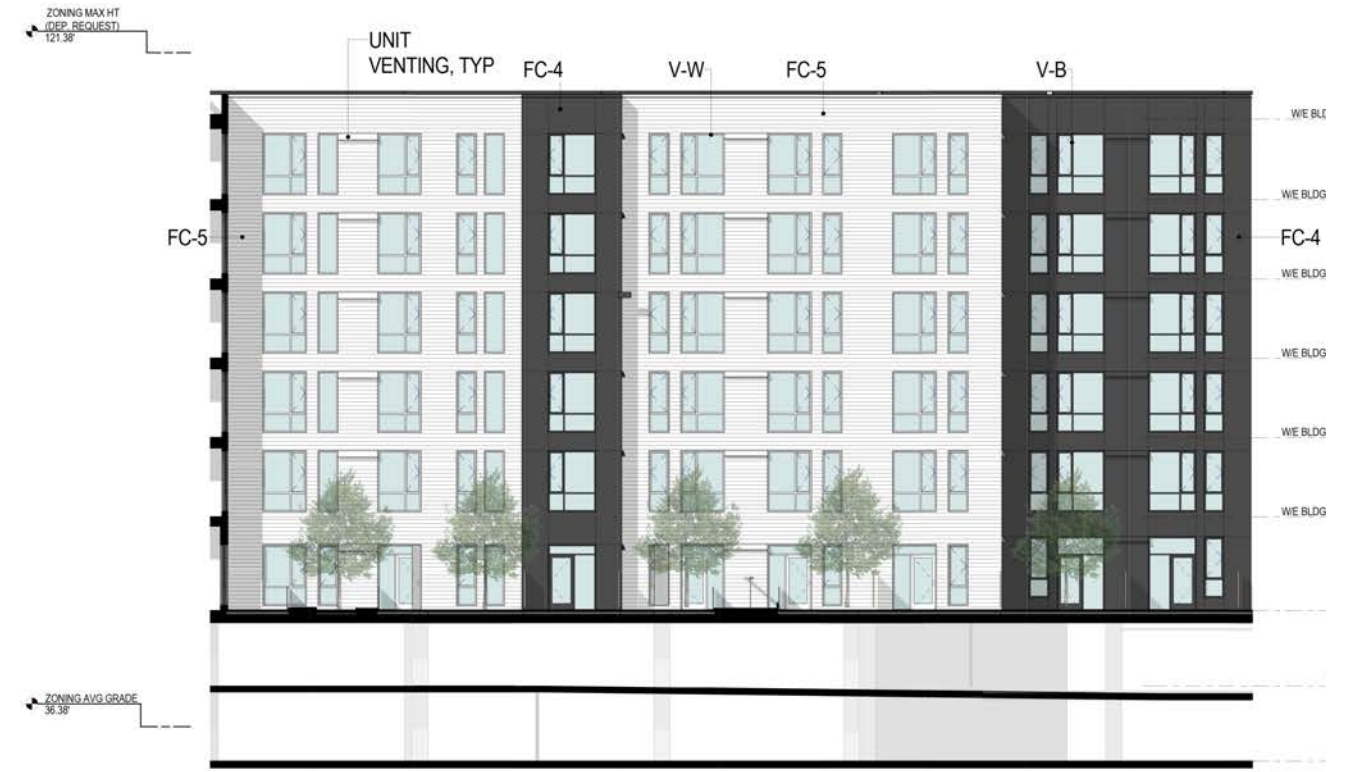
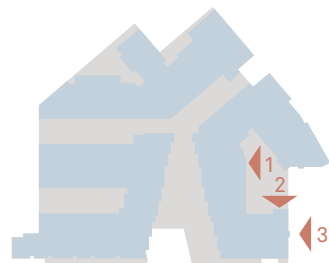


3 EAST BUILDING, SOUTHEAST ELEVATION, EAST COURTYARD

Elevations

Legend

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1 EAST BUILDING, EAST ELEVATION, EAST COURTYARD




















2 EAST BUILDING, NORTH ELEVATION, EAST COURTYARD

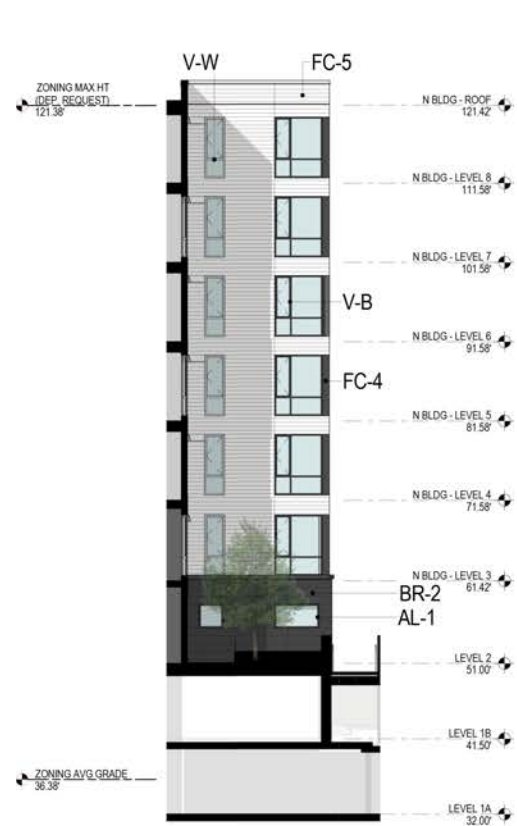
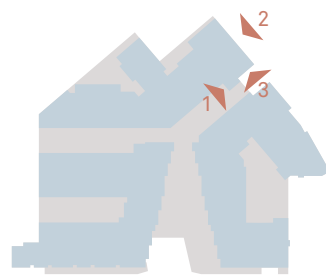


3 EAST BUILDING, EAST ELEVATION

Elevations

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1 NORTH BUILDING, SOUTHWEST ELEVATION, CENTRAL COURTYARD




















2 NORTH BUILDING, NORTHEAST ELEVATION

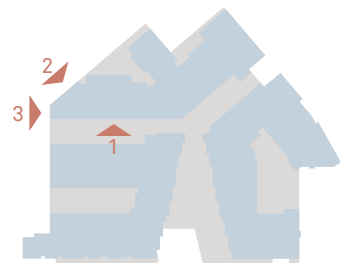


3 NORTH BUILDING, SOUTHEAST ELEVATION

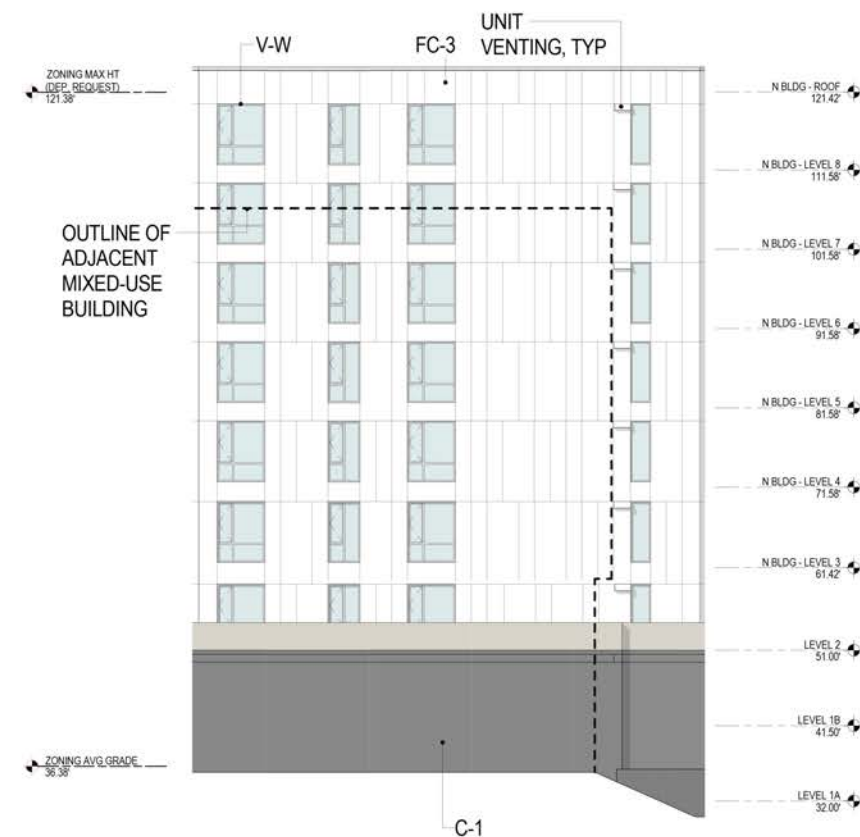
Elevations

Legend

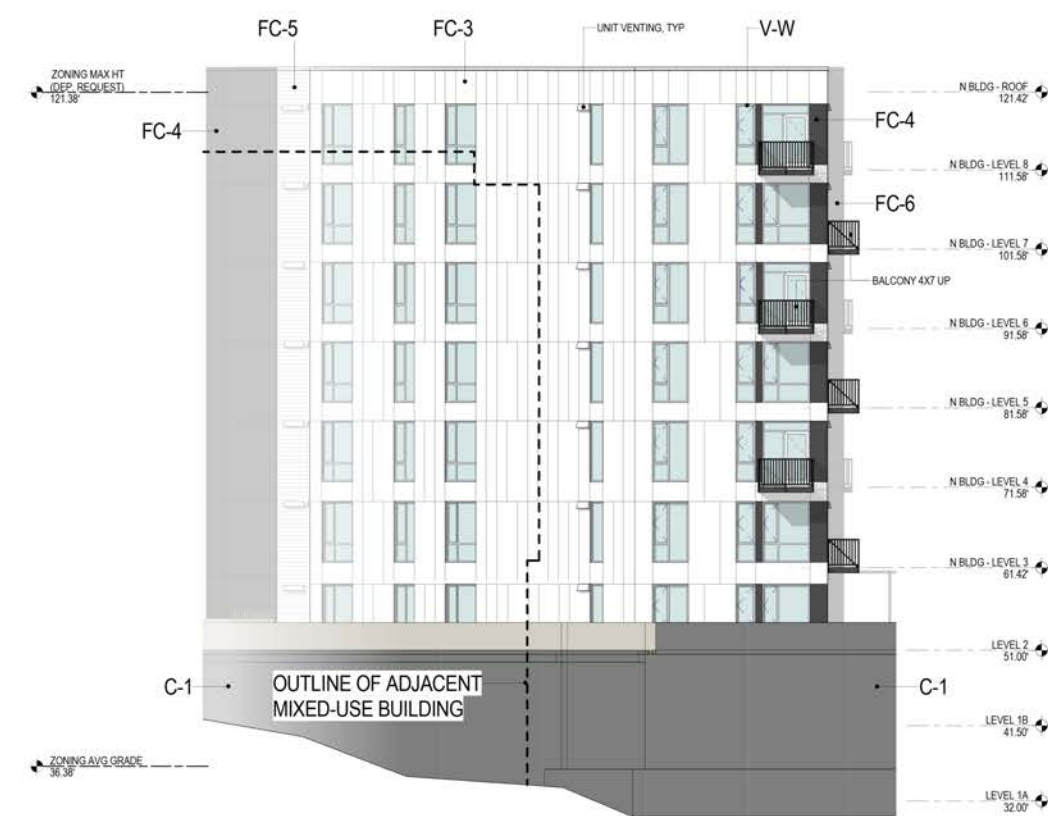
-  FC-1 Architectural fiber cement panel, through-color white
-  FC-2 Architectural fiber cement panel, through-color charcoal
-  FC-3 Fiber cement panel, painted white
-  FC-4 Fiber cement panel, painted charcoal
-  FC-5 Fiber cement lap siding, painted white
-  FC-6 Fiber cement lap siding, painted charcoal
-  MP-1 Metal profile panel siding, midnight bronze
-  MP-2 Metal panel, white
-  MP-3 Metal panel, black
-  WD-1 Wood-look siding
-  BR-1 Brick, reddish-brown
-  BR-2 Brick, black
-  C-1 Exposed concrete
-  C-2 Board-formed concrete
-  AL-1 Aluminum storefront, black
-  V-B Vinyl windows & doors, black
-  V-W Vinyl windows & doors, white



1 NORTH BUILDING, SOUTH ELEVATION




















2 NORTH BUILDING, NORTHWEST ELEVATION, WEST

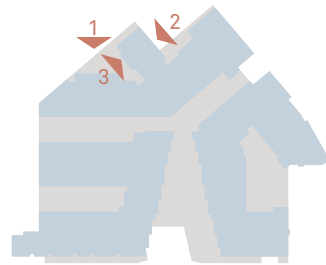


3 NORTH BUILDING, WEST ELEVATION

Elevations

Legend

-  FC-1 Architectural fiber cement panel, through-color white
-  FC-2 Architectural fiber cement panel, through-color charcoal
-  FC-3 Fiber cement panel, painted white
-  FC-4 Fiber cement panel, painted charcoal
-  FC-5 Fiber cement lap siding, painted white
-  FC-6 Fiber cement lap siding, painted charcoal
-  MP-1 Metal profile panel siding, midnight bronze
-  MP-2 Metal panel, white
-  MP-3 Metal panel, black
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-  BR-1 Brick, reddish-brown
-  BR-2 Brick, black
-  C-1 Exposed concrete
-  C-2 Board-formed concrete
-  AL-1 Aluminum storefront, black
-  V-B Vinyl windows & doors, black
-  V-W Vinyl windows & doors, white



1 NORTH BUILDING, NORTH ELEVATION, NORTHWEST COURTYARD



















2 NORTH BUILDING, NORTHEAST ELEVATION, NORTHEAST COURTYARD

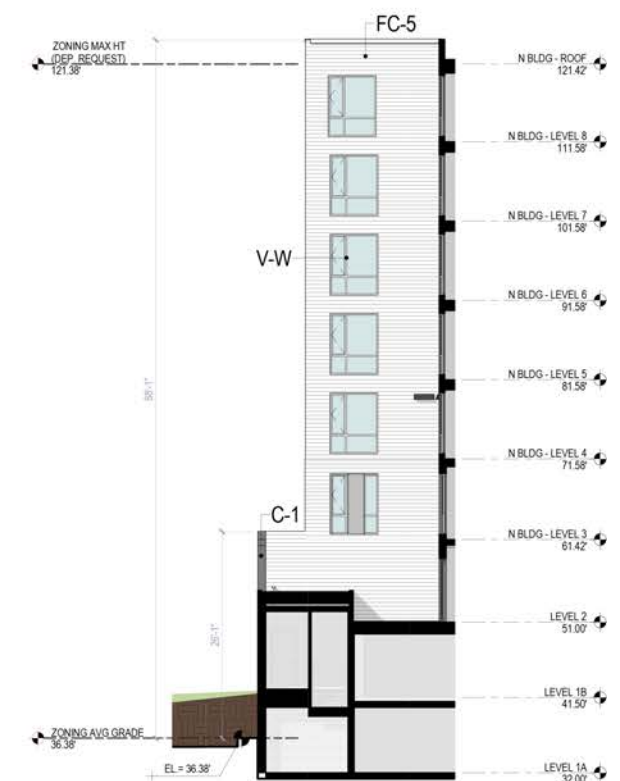
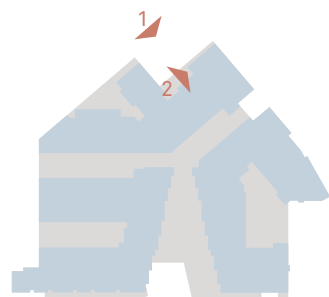


3 NORTH BUILDING, SOUTHWEST ELEVATION, NORTHWEST COURTYARD

Elevations

Legend

-  FC-1 Architectural fiber cement panel, through-color white
-  FC-2 Architectural fiber cement panel, through-color charcoal
-  FC-3 Fiber cement panel, painted white
-  FC-4 Fiber cement panel, painted charcoal
-  FC-5 Fiber cement lap siding, painted white
-  FC-6 Fiber cement lap siding, painted charcoal
-  MP-1 Metal profile panel siding, midnight bronze
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-  C-1 Exposed concrete
-  C-2 Board-formed concrete
-  AL-1 Aluminum storefront, black
-  V-B Vinyl windows & doors, black
-  V-W Vinyl windows & doors, white



MATERIALS & COLORS 12



Materials Board



RENDERINGS 13





VIEW FROM SOUTH



VIEW FROM NE 45TH STREET LOOKING EAST



PUBLIC PLAZA AT NE 45TH STREET



VIEW FROM UNION BAY PLACE LOOKING SOUTH



UNION BAY PLACE PEDESTRIAN PLAZA



UPPER COURTYARD LOOKING SOUTH



NE 45TH STREET PLAZA AND UPPER COURTYARD LOOKING NORTH

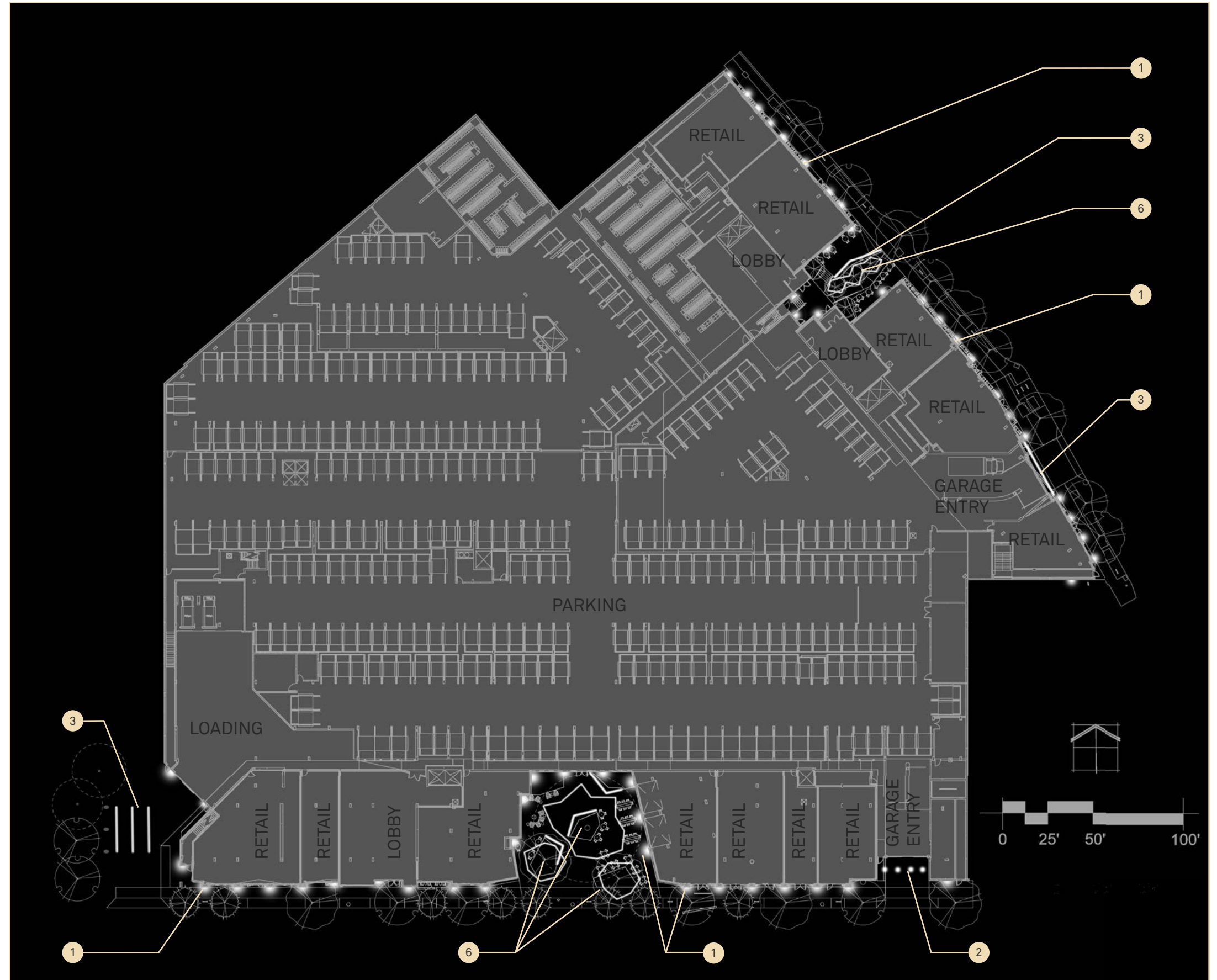
EXTERIOR LIGHTING 14



Levels 1A & 1B

-  1 WALL MOUNTED SCONCE LIGHT
-  4 RECESSED STAIR LIGHT
-  2 DOWNLIGHT
-  5 BOLLARD PATH LIGHTS
-  3 LED STRIP LIGHT
-  6 STRING LIGHTS

All proposed lighting to be downcast and/or shielded with limited light bleed to adjacent properties & neighborhoods.



Level 2



All proposed lighting to be downcast and/or shielded with limited light bleed to adjacent properties & neighborhoods.



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SIGNAGE CONCEPT 15



Signage Concept - NE 45th Street





WEST BUILDING - SOUTH ELEVATION



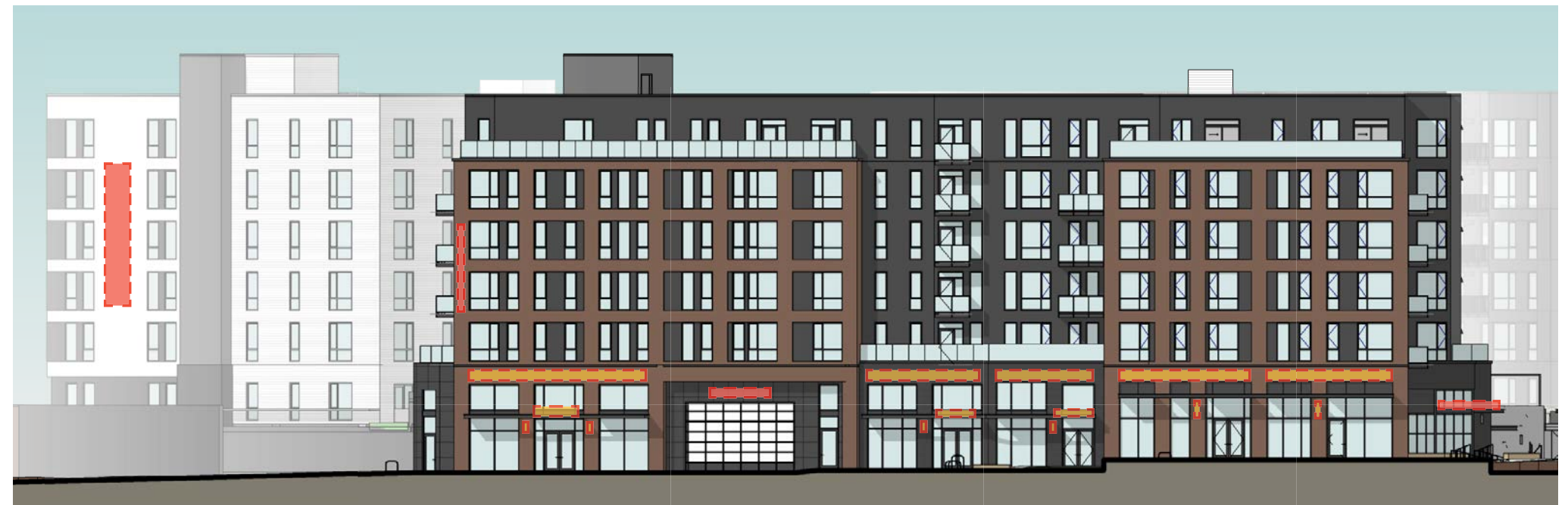
INSPIRATION IMAGES



EAST BUILDING - SOUTH ELEVATION

-  POTENTIAL RETAIL TENANT SIGNAGE LOCATIONS
-  POTENTIAL BUILDING IDENTIFICATION SIGNAGE LOCATIONS



Signage Concept - Union Bay Place NE



EAST & WEST BUILDINGS - EAST ELEVATION



NORTH BUILDING - EAST ELEVATION

-  POTENTIAL RETAIL TENANT SIGNAGE LOCATIONS
-  POTENTIAL BUILDING IDENTIFICATION SIGNAGE LOCATIONS

INSPIRATION IMAGES

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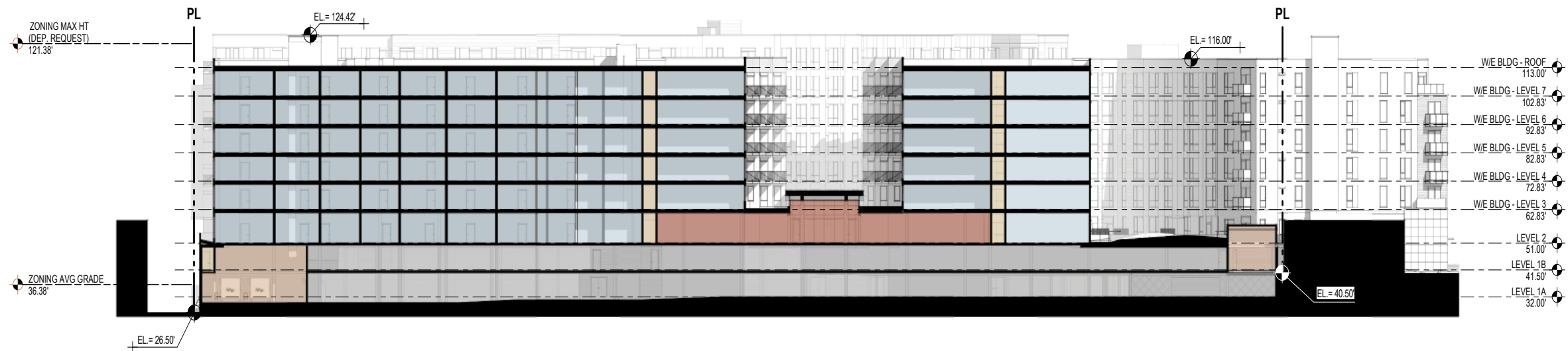
BUILDING SECTIONS 16



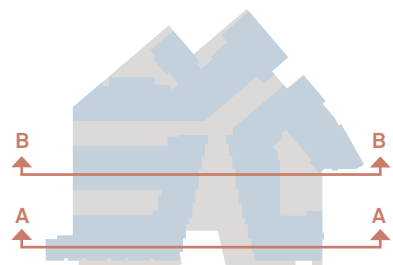
Building Sections



A EAST-WEST SECTION THROUGH COURTYARD & 45TH STREET RETAIL



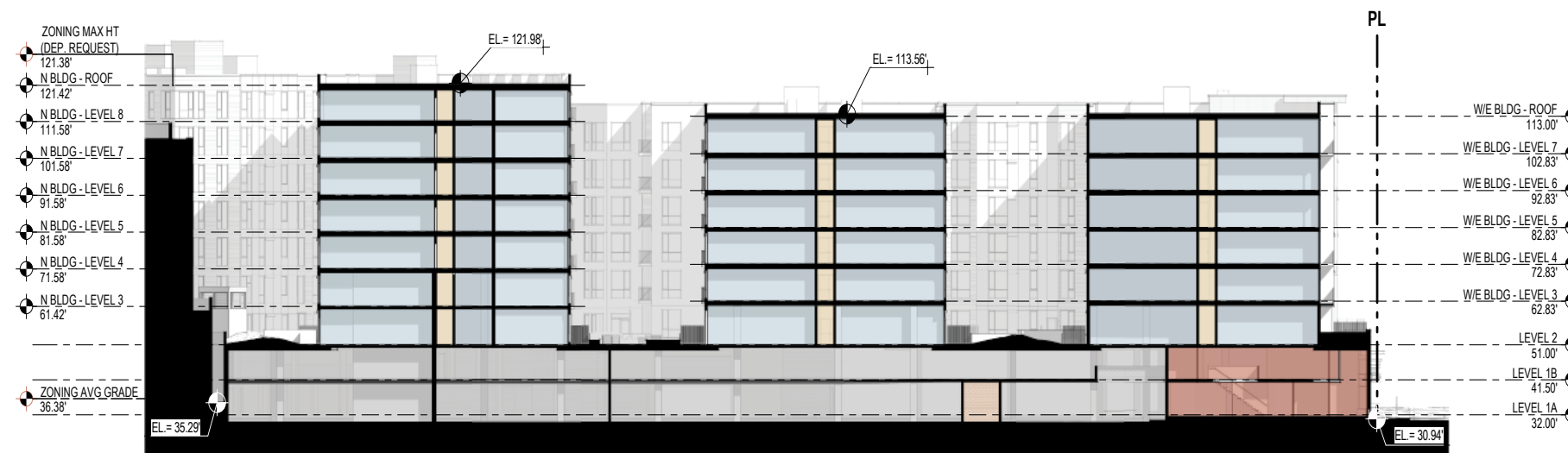
B EAST-WEST SECTION THROUGH CENTRAL AMENITY



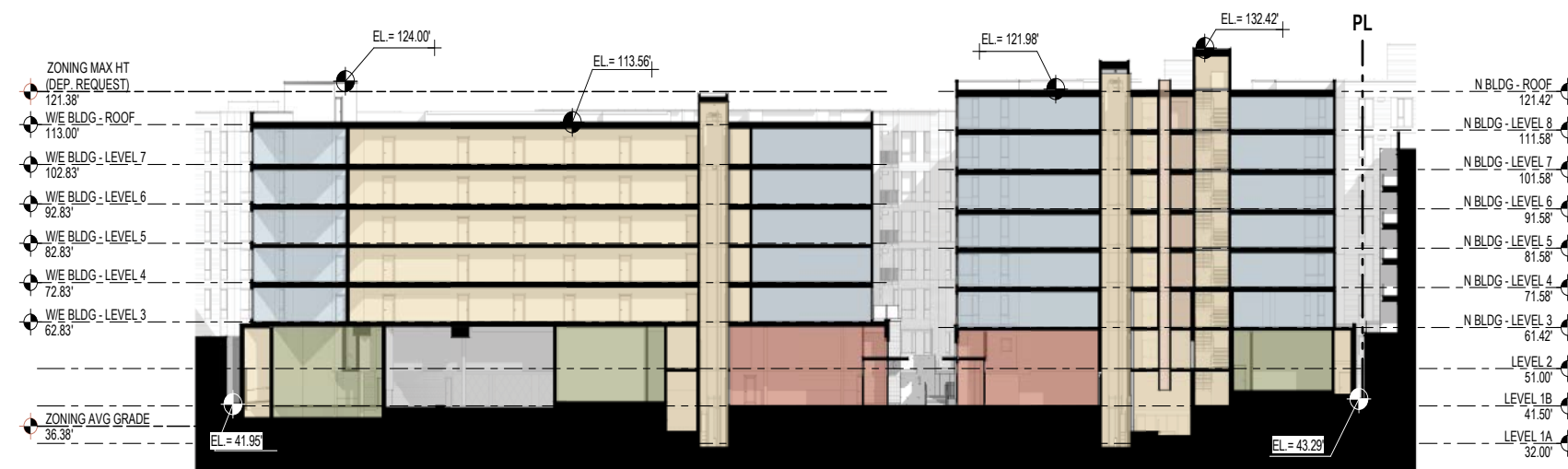
Legend

| | | | | | |
|-------------|--|---------------------------|--|-------------------|--|
| Residential | | MEP/Trash/Storage/Service | | Retail/Restaurant | |
| Circulation | | Amenity & Lobbies | | Parking | |

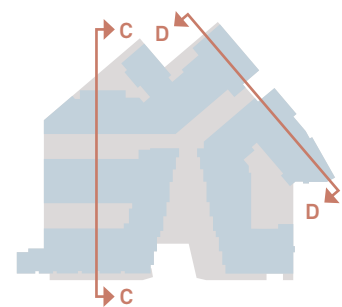
Building Sections



C NORTH-SOUTH SECTION THROUGH WEST & NORTH BUILDINGS



D NORTHWEST-SOUTHEAST SECTION THROUGH UNION BAY PLACE RETAIL & LOBBIES



Legend

| | | | | | |
|-------------|--|---------------------------|--|-------------------|--|
| Residential | | MEP/Trash/Storage/Service | | Retail/Restaurant | |
| Circulation | | Amenity & Lobbies | | Parking | |

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DEPARTURES 17



Requested Code Departure Summary

REQUESTED CODE DEPARTURE #1:

PROVIDE SITE VEHICLE ACCESS FROM THREE SEPARATE LOCATIONS IN LIEU OF ONE LOCATION, INCLUDING TWO LOCATIONS ACROSS THE FRONT STREET LOT LINE (NE 45TH ST) AND ONE LOCATION AT THE SIDE STREET (UNION BAY PLACE NE).

CODE SECTION:

23.47A.032.A - Access to Parking

BOARD FEEDBACK FROM EDG-2:

The Board indicated their preliminary support for the departure request given the applicant's rationale. DC2-B ARCHITECTURAL AND FAÇADE COMPOSITION, CS2-D-5. RESPECT FOR ADJACENT SITES, DC2-B.1 FAÇADE COMPOSITION, DC1-C PARKING AND SERVICE USES.

REQUESTED CODE DEPARTURE #2:

ALLOW FOR A ZONING HEIGHT INCREASE OF 10 FEET (FROM 75' TO 85'), TO ALLOW FOR TWO EXCEPTIONAL TREES TO BE RETAINED ON SITE.

CODE SECTION:

23.47A.012 - Structure height

BOARD FEEDBACK FROM EDG-2:

The Board indicated its preliminary support for the departure request given the applicant's rationale about the addition of a floor to the north building which compensates for the reduced footprint necessary to retain the exceptional tree without losing development capacity and the broader opening for the south facing courtyard space. CS2 - URBAN PATTERN AND FORM, DC2-B ARCHITECTURAL AND FAÇADE COMPOSITION, CS2-D HEIGHT, BULK, AND SCALE, CS2-2-b. PROVIDE ZONE TRANSITIONS.

DESIGN RESPONSE:

Diagrams have been included on the following pages to demonstrate the zoning height departure request has minimal impact from the pedestrian street level experience and the perceived massing of the building. By allowing the additional height, an additional story would be added to the North Building only, and the project massing would be able to retain two of the four exceptional trees and provide courtyards and a public plaza to promote connectivity with the surrounding neighborhood.

Requested Code Departure #1

Departure Summary

CODE SECTION:

SMC 23.47A.032.A.1.c

A. Access to parking

1. NC zones (applies to C2 zone per subsection 3 below). The following rules apply in NC zones, except as provided under subsections 23.47A.032.A.2 and 23.47A.032.D:

c. If access is not provided from an alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines pursuant to subsection 23.47A.032.C, and curb cuts are permitted pursuant to subsection 23.54.030.F.2.a.1.

3. In C1 and C2 zones, access to off-street parking may be from a street, alley, or both when the lot abuts an alley. However, structures in C zones with residential uses, structures in C zones with pedestrian designations, and structures in C zones across the street from residential zones shall meet the requirements for parking access for NC zones as provided in subsection 23.47A.032.A.1. If two or more structures are located on a single site, then a single curb cut shall be provided according to the standards in Sections 23.47A.032.A.1, 23.47A.032.A.2, and 23.54.030.F.2.

REQUESTED DEPARTURE:

PROVIDE SITE ACCESS FROM THREE SEPARATE LOCATIONS IN LIEU OF ONE LOCATION.

REASONING:

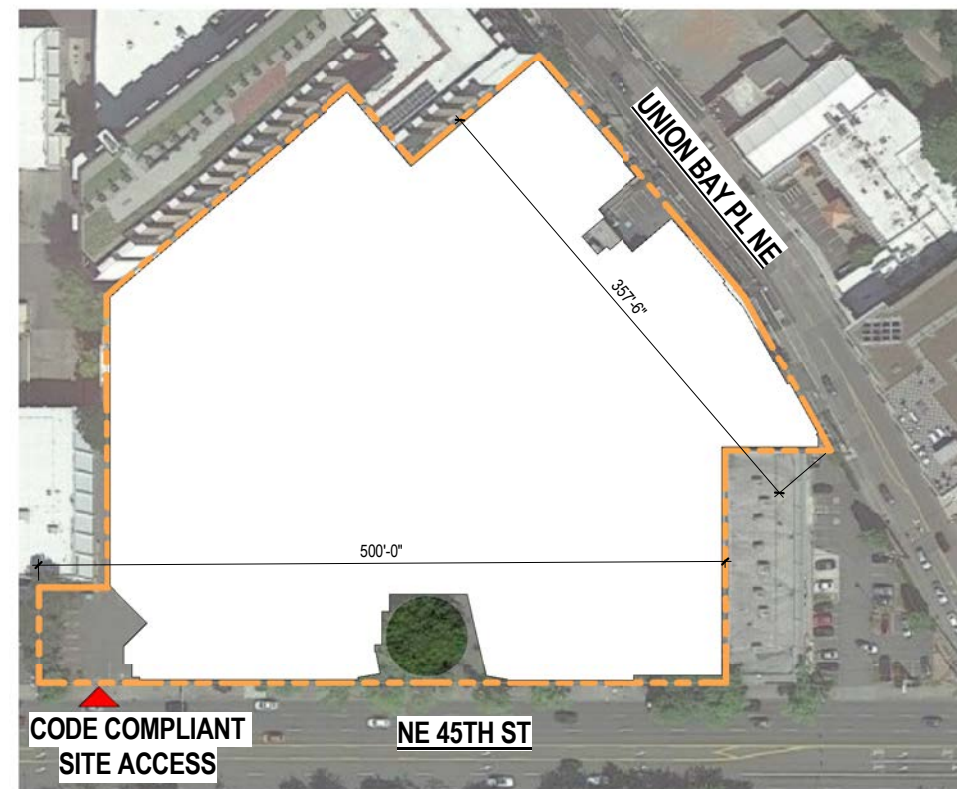
- a. The proposed parking structure will contain over 600 parking spaces. A single point of site access will create a bottleneck for vehicles entering and exiting the garage during peak travel times.
- b. Providing access points on both street frontages will disperse the quantity of vehicles, reducing the impact to the traffic on any one street.
- c. The proposed development has 500 lineal feet of street frontage along NE 45th Street, and 357 lineal feet of street frontage along Union Bay Place NE. Multiple access points are allowed for non-residential uses in this zone. Per SMC Table A for 23.54.030 this site could have 5 curb cuts on Union Bay Place NE, and per SMC Table B for 23.54.030 there could be 4 curb cuts for NE 45th Street, for a total of 9 access points - far greater than the requested 3 access points.
- d. The current use contains 4 curb cuts on NE 45th Street and 4 curb cuts on Union Bay Place NE, for a total of 8 site access points. The proposed total of 3 access points provide a significant reduction in site access.

BOARD FEEDBACK FROM EDG-2:

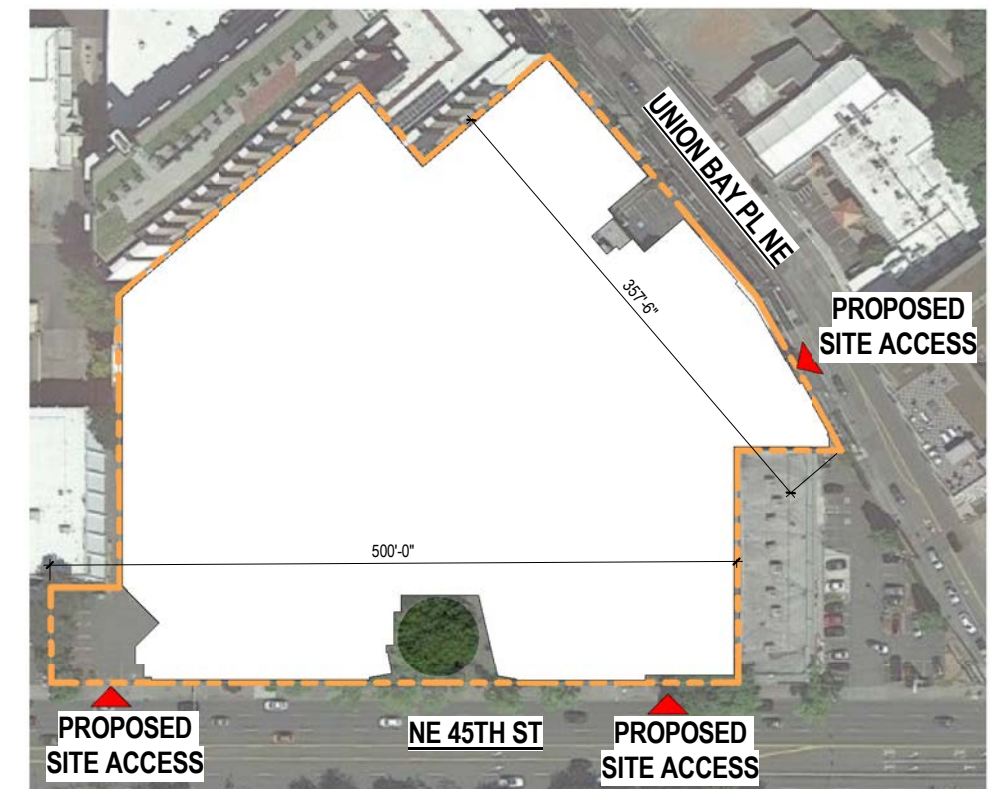
The Board indicated their preliminary support for the departure request given the applicant's rationale. DC2-B ARCHITECTURAL AND FAÇADE COMPOSITION, CS2-D-5. RESPECT FOR ADJACENT SITES, DC2-B.1 FAÇADE COMPOSITION, DC1-C PARKING AND SERVICE USES.



EXISTING SITE ACCESS DIAGRAM



CODE COMPLIANT SITE ACCESS DIAGRAM



PROPOSED SITE ACCESS DIAGRAM

Requested Code Departure #2

Departure Summary

CODE SECTION:

23.47A.012 - Structure height

A. The height limit for structures in NC zones or C zones is as designated on the Official Land Use Map, Chapter 23.32. Structures may not exceed the applicable height limit, except as otherwise provided in this Section 23.47A.012.

Per SMC 23.41.012.B.11.f: Departures of up to 10 feet of additional height may be granted if the applicant demonstrates that:

1. The departure is needed to protect a tree that is located on the lot that is either an exceptional tree, as defined in Section 25.11.020, or a tree greater than 2 feet in diameter measured 4.5 feet above the ground; and
2. Avoiding development in the tree protection area will reduce the total development capacity of the site;

REQUESTED DEPARTURE:

ALLOW FOR A ZONING HEIGHT INCREASE OF 10 FEET (FROM 75' TO 85'), TO ALLOW FOR TWO EXCEPTIONAL TREES TO BE RETAINED ON SITE.

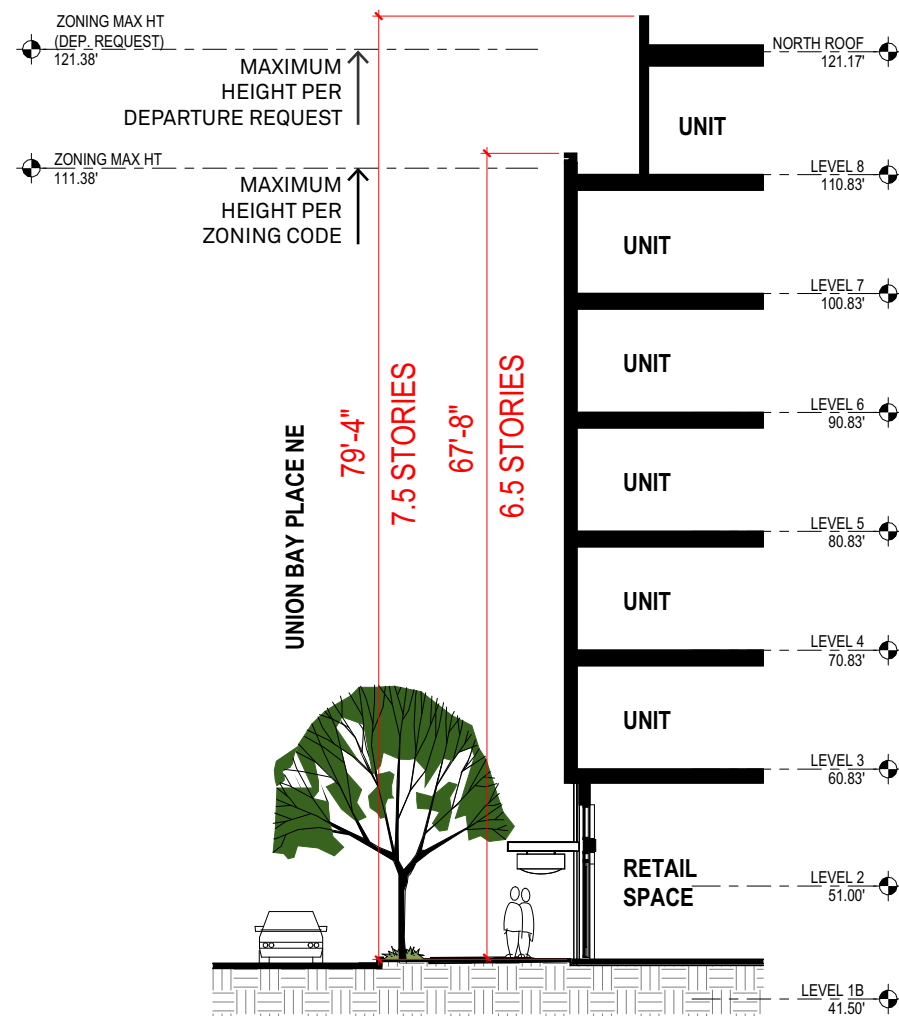
REASONING:

- c. The additional height will allow for an additional floor to be added to one of the three proposed residential buildings on site, which compensates for the reduced footprint necessary to retain the exceptional tree without losing development capacity.
- d. The additional height will be used to add an additional floor to the north residential building ONLY, which is a full story and a half below street level at Union Bay Place NE. This means the perceived height of this building from the street will be only 7.5 stories, less than the 8 story street frontage along NE 45th street, and also similar to what would be achievable if the north building was developed as a stand-alone project without a height variance due to the higher grade along Union Bay Place NE.
- e. The additional height makes the design stronger by allowing for a large public plaza, which not only provides a public amenity but also reduces the scale and perceived mass of the building by redistributing the mass towards the interior of the site. Without the additional height, the redistribution of the square footage on Levels 3 - 8 results in a building massing that is greater along the NE 45th Street facade, reducing size of the public plaza and reducing the amount of daylight and views.
- f. The added floor and zoning height departure is not a significant massing impact. Without this departure, the proposed massing will require modifications that eliminates the exceptional tree and reduces the public plaza.
- g. Per SMC 23.41.012.B.11.f (full text noted in Code Section above), the additional height is an incentive to compensate for lost developable area in order to retain an exceptional tree. As demonstrated in our Departure Request, both criteria have been satisfied. The tree is identified as exceptional in accordance with the code criteria, as noted in the Arborist Report included in the Appendix; and the diagrams and calculations show that the maximum developable area without the exceptional tree would be approximately 949,000 s.f., while our preferred massing scheme retaining 2 exceptional trees yields approximately 945,000 s.f. including the additional floor.

BOARD FEEDBACK FROM EDG-2:

The Board indicated its preliminary support for the departure request given the applicant's rationale about the addition of a floor to the north building which compensates for the reduced footprint necessary to retain the exceptional tree without losing development capacity and the broader opening for the south facing courtyard space. CS2 - URBAN PATTERN AND FORM, DC2-B ARCHITECTURAL AND FAÇADE COMPOSITION, CS2-D HEIGHT, BULK, AND SCALE, CS2-2-b. PROVIDE ZONE TRANSITIONS.

Section Diagram



Plan Diagrams

ITERATION A - PREFERRED

Retain Two Exceptional Trees & Provide Height Departure



A: SITE PLAN

ITERATION B

Remove All Exceptional Trees & No Height Departure



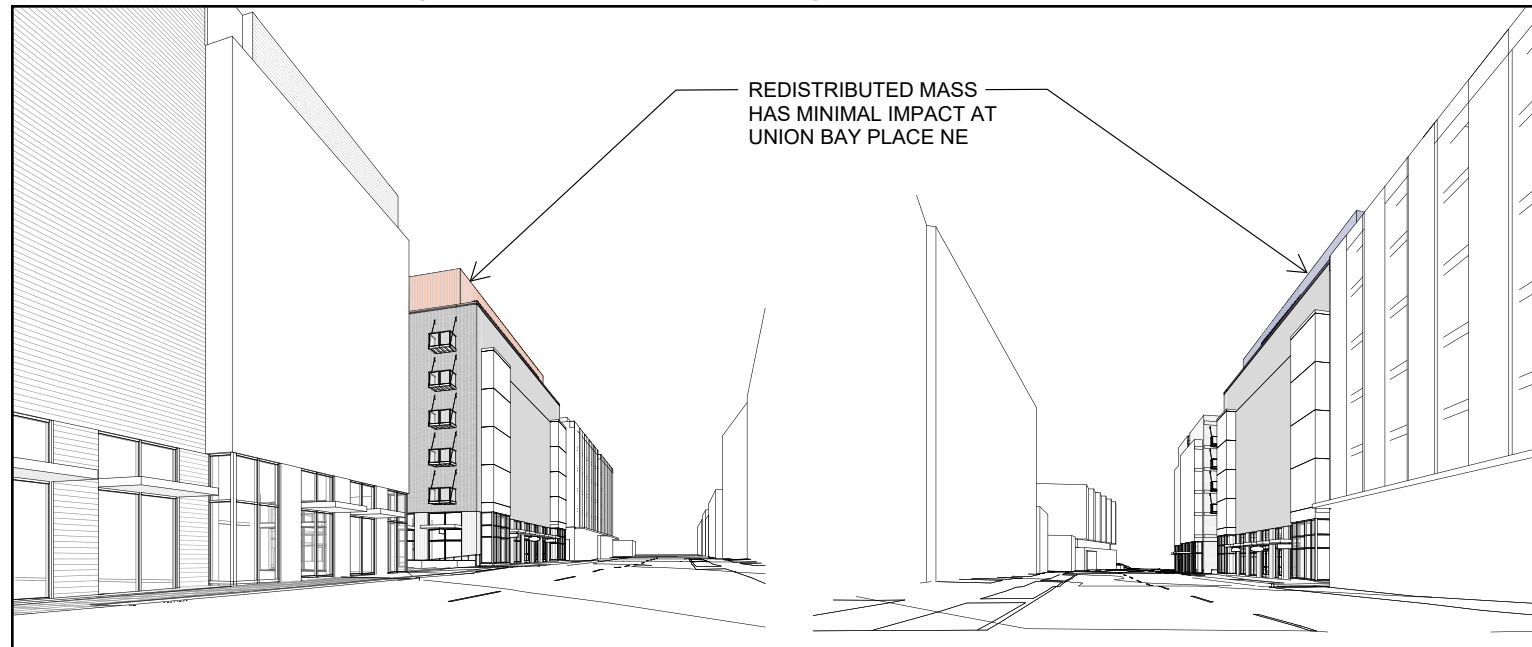
B: SITE PLAN

Requested Code Departure #2 (cont.)

Perspective Views

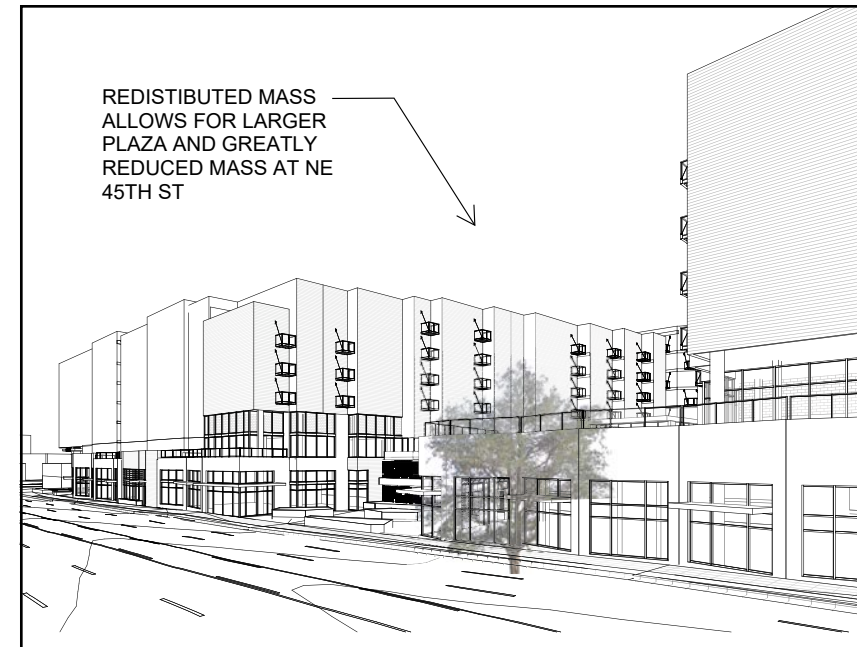
ITERATION A - PREFERRED MASSING OPTION WITH DEPARTURE REQUEST: Approx. 945,000 SF and 796 units

Development With Additional Height and Retention of Two Existing Exceptional Trees



A-1: VIEW FROM UNION BAY PLACE, LOOKING NORTH

A-2: VIEW FROM UNION BAY PLACE, LOOKING SOUTH



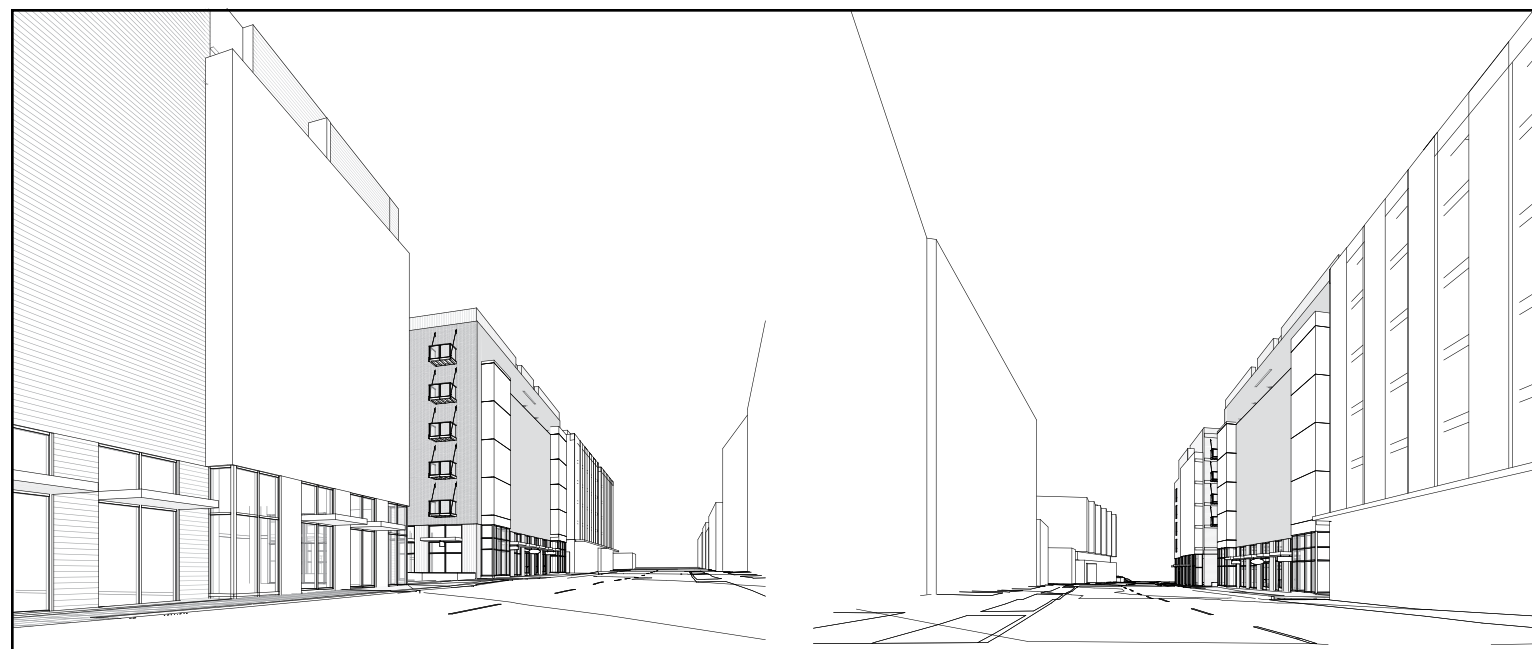
A-3: VIEW FROM NE 45TH STREET, LOOKING WEST

Iteration A shows the design team's preferred scheme, which allows for two exceptional trees to be retained, as supported by the Board. This creates a large public plaza located off NE 45th Street, which strengthens the project's connections to the surrounding neighborhood by providing an extensive active public amenity space.

The design intent for locating the additional height at the North Building mitigates the visibility of the additional height from the pedestrian street-level experience. The north end of the site is where existing grade is highest and the first level of the building is below-grade, so that the perceived height of the building from the street-level is similar to that at NE 45th Street.

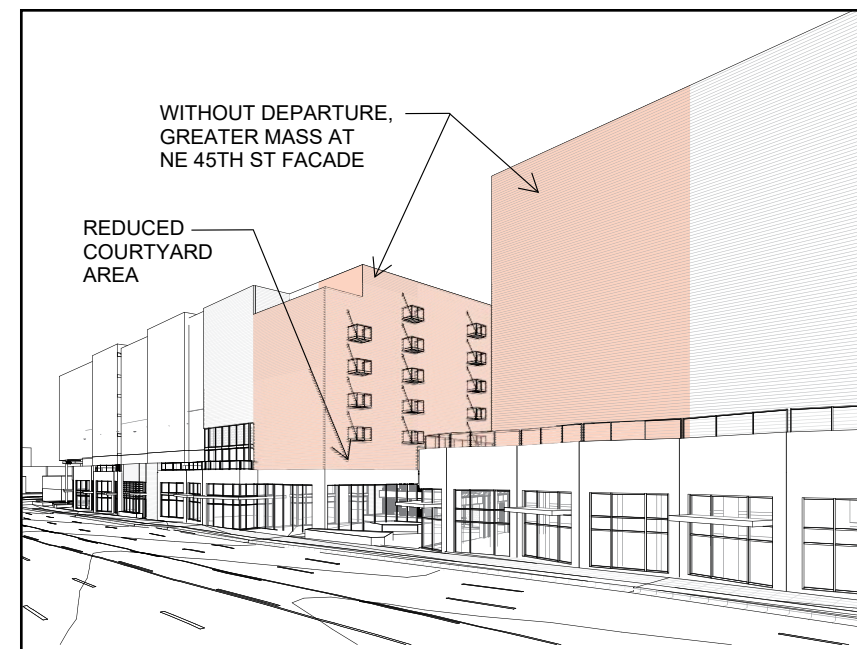
ITERATION B - NO DEPARTURE REQUEST: Approx. 945,000 SF and 796 units

Development Without Additional Height and Without Retaining Existing Exceptional Trees



B-1: VIEW FROM UNION BAY PLACE, LOOKING NORTH

B-2: VIEW FROM UNION BAY PLACE, LOOKING SOUTH



B-3: VIEW FROM NE 45TH STREET, LOOKING WEST

Iteration B shows the massing if no zoning height departure is granted. Without the additional height, the massing configuration redistributes the residential square footage from the proposed additional floor of the North Building to the 3rd through 8th floor of the East and West Buildings.

The redistributed square footage results in approximately 5,500 square feet added per residential floor. The width of the plaza on NE 45th Street is reduced (see Site Plan B on previous page), and the perceived bulk and scale of the building is increased.

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APPENDIX





1 QFC grocery store



2 University Village retail.



3 Mid-century industrial buildings along Union Bay Place.



4 45th Street Viaduct.



5 University of Washington recreation fields.



6 Burke Gilman Trail overpass.



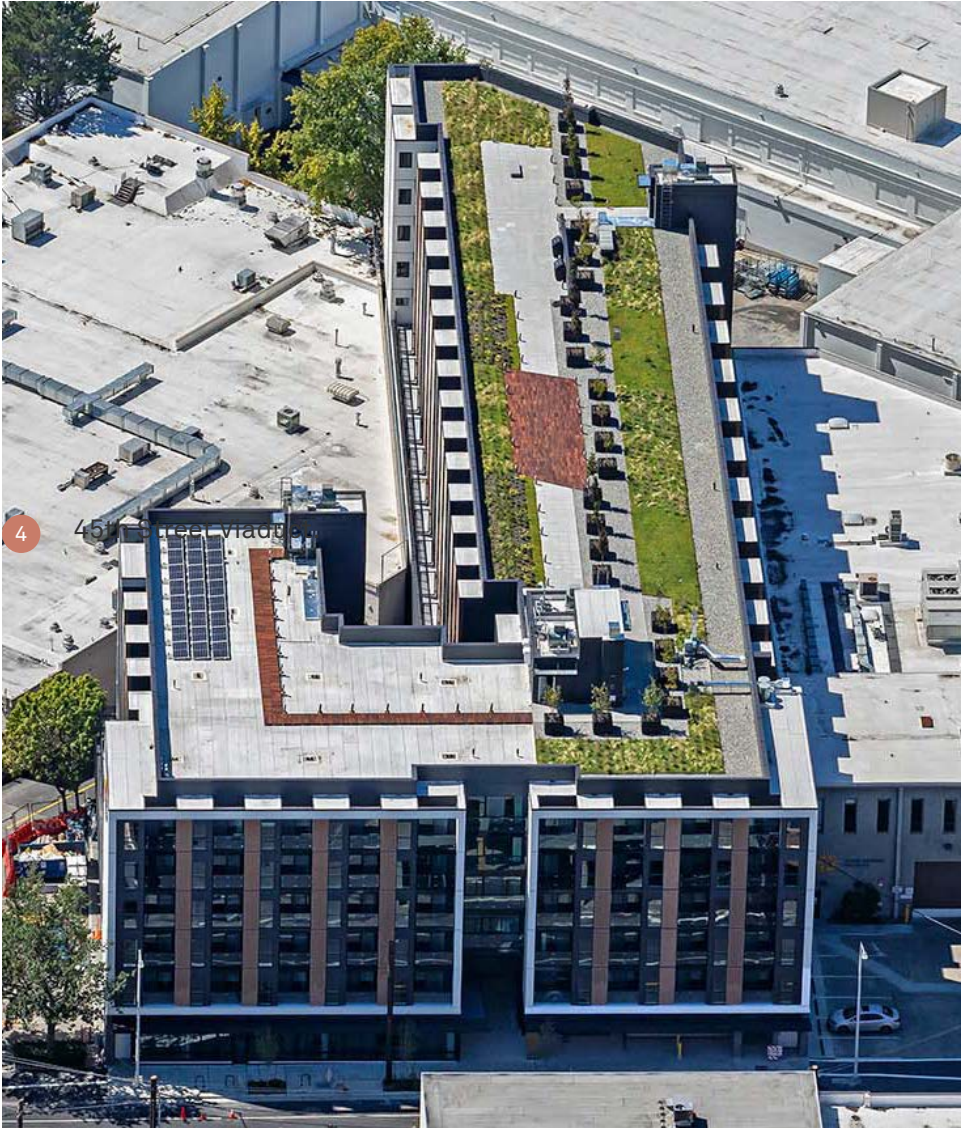
7 University Village, village green.



8 University Village retail.



9 University Village, west garage & retail



11 U-Place Apartments, recently completed.



12 4516 Union Bay Place | Burke & Union (recently completed)



16 4906 25th Ave NE | Strata (under construction)



13 4600 Union Bay Place | Spur (under construction)



18 4821 24th Ave NE | Trailside phase 1 (recently completed)



11 U-Place Apartments, recently completed.



14 Historic Benton Clock.



17 4715 25th Ave NE | Arista (under construction)



15 3200 NE 45th Street | Aegis Living Laurelhurst (under construction)

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