

ABBREVIATIONS

A/C	AIR CONDITIONING	L	LONG LEFT
ABV	ABOVE	LAM	LAMINATED
ADDL	ADDITIONAL	LAV	LAVATORY
ADJ	ADJUSTABLE	LB	POUND
AFF	ABOVE FINISHED FLOOR	LRG	LARGE
ALT	ALTERNATE		
APPROX	APPROXIMATE(LY)	MATL	MATERIAL
APT	APARTMENT	MAX	MAXIMUM
ARCH	ARCHITECT(URAL)	MECH	MECHANICAL
AWN	AWNING	MED	MEDIUM
		MEZZ	MEZZANINE
BA	BATH	MFG	MANUFACTURER
BD	BEDROOM	MIN	MINIMUM
BF	BARRIER FREE	MISC	MISCELLANEOUS
BLDG	BUILDING		
BM	BEAM	(N)	NEW
BO	BOTTOM OF	N	NORTH
BSMT	BASEMENT	N/A	NOT APPLICABLE
BTW	BETWEEN	NO	NOT IN CONTRACT
		NO	NUMBER
CAB	CABINET	NSF	NET SQUARE FEET
CB	CATCH BASIN	NTS	NOT TO SCALE
CIP	CAST IN PLACE		
CL	CENTERLINE	OC	ON CENTER
CL	CLOSET	OD	OUTSIDE DIAMETER
CLG	CEILING	OFF	OFF
CLR	CLEAR	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	OVHD	OVERHEAD
		PERF	PERFORATED
COL	COLUMN	PERIM	PERIMETER
CONC	CONCRETE	PERM	PERMEABLE, PERMANENT
CONSTR	CONSTRUCTION	PL	PROPERTY LINE
CONT	CONTINUOUS	PLAM	PLASTIC LAMINATE
COORD	COORDINATE	PLYWD	PLYWOOD
CORR	CORRIDOR	PR	PAIR
CPT	CARPET	PRELIM	PRELIMINARY
CSMT	CASEMENT	PKG	PARKING, PACKAGE
DEMO	DEMOLISH	PROJ	PROJECT
DIA	DIAMETER	PROP	PROPERTY
DN	DOWN	PSI	POUNDS/SQUARE INCH
DR	DOOR	PT	PRESSURE TREATED, POST TENSIONED
DS	DOWNSPOUT		
DTL	DETAIL	R	RISER
DW	DISHWASHER	R/A	RETURN AIR
DWG	DRAWING	RAD	RADIUS
		RC	RESILIENT CHANNEL
(E)	EXISTING	ROF	REFLECTED CEILING PLAN
E	EAST	RO	ROOF DRAIN
EA	EACH	REF	REFRIGERATOR
EG	EGRESS	REQ	REQUIRED
EL	ELEVATION	REV	REVERSE, REVISION
ELEV	ELEVATOR, ELEVATION	RM	ROOM
ENCL	ENCLOSURE	RO	ROUGH OPENING
EJ	EXPANSION JOINT	S	SOUTH
EO	EDGE OF	S/A	SUPPLY AIR
EQ	EQUAL	SF	SQUARE FEET
EXH	EXHAUST	SHT	SHEET
EXT	EXTERIOR	SIM	SIMILAR
		SP	STANDPIPE
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDN	FOUNDATION	SPKLR	SPRINKLER
FE	FIRE EXTINGUISHER	SQ	SQUARE
FF	FINISHED FLOOR	SS	SANITARY SEWER, STAINLESS STEEL
FIN	FINISHED		
FLR	FLOOR	STL	STEEL
FM	FACILITY MULLED	STC	SOUND TRANSMISSION COEFFICIENT
FO	FACE OF		
FT	FEET	STOR	STORAGE
FTG	FOOTING	STRUCT	STRUCTURE, STRUCTURAL
FURN	FURNITURE, FURNACE	T	TREAD
		TBD	TO BE DETERMINED
GA	GAUGE	TEMP	TEMPERARY
GALV	GALVANIZED	TG	TEMPERED GLAZING
GC	GENERAL CONTRACTOR	T&G	TONGUE & GROOVE
GL	GLASS	TH	THICKNESS
GSF	GROSS SQUARE FEET	TO	TOP OF
GWB	GYPNUM WALLBOARD	TYP	TYPICAL
H	HIGH	UNT	UNTIL NOTED OTHERWISE
HB	HOSE BIB	UTIL	UTILITY
HDR	HEADER	VCT	VINYL COMPOSITE TILE
HDWD	HARDWOOD	VERT	VERTICAL
HGT	HEIGHT	VIF	VERIFY IN FIELD
HOR	HORIZONTAL		
HR	HOUR	W	WEST, WIDE
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	W/	WITH
		W/D	WASHER/DRYER
		W/O	WITHOUT
ID	INSIDE DIAMETER	WC	WATER CLOSET
IN	INCH	WD	WOOD
INCL	INCLUDED, INCLUDING	WH	WATER HEATER
INS	INSULATION	WIN	WINDOW
INSUL	INSULATION	WB	WASHER BASKET
INT	INTERIOR		

REFERENCE SYMBOLS

	DRAWING TITLE		WALL/FLOOR ASSEMBLY TYPE TAG
	DRAWING SCALE		WINDOW TAG
	SECTION OR DETAIL REFERENCE		DOOR TAG
	ELEVATION REFERENCE		SMOKE ALARM
	DETAIL REFERENCE		FIRE EXTINGUISHER
	SPOT ELEVATION		EXIT SIGN
	DATUM		EXIT LIGHTING
	CUT MARK		HOSE BIB
	GRID LINE		EXHAUST FAN
	CENTERLINE		FAN TERMINATION
	REVISION CLOUD AND TAG		FLOORING TRANSITION
	BARRIER FREE SYMBOL		DOOR THRESHOLD HEIGHT
	SOFFIT ABOVE, OF DUCTS ABOVE		RAMP UP WITH PERCENT SLOPE
	NORTH ARROW		DECK OR ROOF SLOPE
	WATER HEATER W/ OVERFLOW PAN		ROOF PITCH RISE/RUN
			DECK OR ROOF DRAIN
			GARAGE DRAIN
			ROOF DRAIN WITH OVERFLOW DRAIN

HATCH LEGEND

MATERIAL	LARGE SCALE SECTIONS
CONCRETE	
EARTH	
GRANULAR FILL	
STEEL	
CONTINUOUS ROUGH FRAMING	
BLOCKING	
PLYWOOD	
FINISHED WOOD	
RIGID INSULATION	
BATT INSULATION	
GWB	

SHEET LIST

Sheet Number	Sheet Name
G001	Project Information
G002	General Notes X
G003	Code Analysis X
G004	Change of Use
A101	Site Plan
A201	Floor Plans
A202	Equipment Plan X
A203	Seating Plan
A204	Finish Plan X
A301	Exterior Elevations
A401	Building Sections
S-1	Structural Plans X

X - NOT INCLUDED IN MUP SET

PROJECT INFORMATION:

PROJECT DESCRIPTION:
TENANT IMPROVEMENT TO AN EXISTING COMMERCIAL SPACE. INCLUDES A CHANGE OF USE FROM GENERAL SERVICE TO WINE TASTING ROOM (DRINKING ESTABLISHMENT) (RESTAURANT RISK LEVEL 2).

CLIENT:
DYLAN JOFFE AND KATIE THATCHER

ADDRESS:
3003 BEACON AVE S.
SEATTLE, WA 98144

NOTE: UNIT 3003 ADDRESS EXISTS IN BUILDING ADDRESSED AS 3001 BEACON AVE. S.

PARCEL #:
059700-0625
LEGAL DESCRIPTION:
LOT 1-2, BLOCK 5, BEACON HEIGHTS ADD LESS SWLY 51 FEET.

RECORDS OF KING COUNTY, WASHINGTON.

ZONE:
NC2P-55(M)

SITE AREA:
3,892 SF

ZONING CODE SUMMARY

SEE SHEET A101 FOR ZONING CODE ANALYSIS
ZONING CODE: SEATTLE ZONING CODE (SMC TITLE 23)
ZONE: NC2P-55 (M)
OVERLAYS: STATION OVERLAY AREA (LIGHT RAIL),
ECA: NONE
NUMBER OF UNITS: NONE
PARKING (VEHICLE): STREET PARKING ONLY
CURRENT USE: C 10.B (GENERAL SERVICES)
PROPOSED USE: C 2.a (DRINKING ESTABLISHMENTS)
BUSINESS AREA: 465 SF

ZONING COMPLIANCE NOTES:

PER TABLE A FOR 23.47A.004 IN AN NC2 ZONE:
DRINKING ESTABLISHMENTS (C.2.a) ARE PERMITTED AS A CU-25, MEANING:
CONDITIONALLY PERMITTED BUSINESS ESTABLISHMENTS UNDER 25,000 SF (COMPLIES)

FURTHER, PER 23.47A.006 - CONDITIONAL USES

A.1. DRINKING ESTABLISHMENTS IN NC1 AND NC2 ZONES MAY BE PERMITTED AS A CONDITIONAL USE SUBJECT TO THE FOLLOWING:

a. THE SIZE OF THE DRINKING ESTABLISHMENT, DESIGN OF THE STRUCTURE, SIGNING AND ILLUMINATION MUST BE COMPATIBLE WITH THE COMMERCIAL USE AREA AND OTHER STRUCTURES IN THE VICINITY.
APPLICANT RESPONSE: THE PROPOSED BUSINESS IS SITUATED DIRECTLY OFF BEACON AVE S, AND NEARBY ESTABLISHED RESTAURANTS AND BARS HOMER, THE COUP AND FLUTE, AND OTHERS. IT IS IN AN AREA THAT IS ALREADY A PART OF THE BEACON HILL NEIGHBORHOOD'S MOST POPULAR GATHERING DESTINATION. THE PROPOSED ESTABLISHMENT INTENDS TO ADD AND ENHANCE THIS EXPERIENCE.

b. THE LOCATION, ACCESS, AND DESIGN OF PARKING MUST BE COMPATIBLE WITH ADJACENT RESIDENTIAL ZONES.
APPLICANT RESPONSE: MANY, IF NOT ALL, RESIDENCES AND BUSINESSES IN THE AREA UTILIZE STREET PARKING. SINCE NO CHANGES ARE PROPOSED TO THE EXISTING STRUCTURE OR LOT, THIS WILL BE THE CASE FOR THIS ESTABLISHMENT AS WELL.

c. SPECIAL CONSIDERATION WILL BE GIVEN TO THE LOCATION AND DESIGN OF DOORS AND WINDOWS OF DRINKING ESTABLISHMENTS TO HELP ENSURE THAT NOISE STANDARDS WILL NOT BE EXCEEDED.
APPLICANT RESPONSE: NO CHANGES IN WINDOW SIZE OR SHAPE ARE PROPOSED TO THE STREET-FACING FACADE (THOUGH, WINDOWS AND ENTRY DOOR WILL BE REPLACED IN KIND). A NEW DOOR IS BEING ADDED TO THE REAR FACADE TO PROVIDE DIRECT ADA ACCESS TO THE INTERIOR.

d. DRINKING ESTABLISHMENTS MUST NOT GENERATE TRAFFIC THAT CREATES TRAFFIC CONGESTION OR FURTHER WORSTENS SPILLOVER PARKING ON RESIDENTIAL STREETS.
APPLICANT RESPONSE: WITH THE LIMITED NUMBER OF SEATS AND SPACE IN THE PROPOSED ESTABLISHMENT, THERE WILL BE MINIMAL IMPACT ON SURROUNDING TRAFFIC AND WILL NOT WORSTEN SPILLOVER INTO PARKING ON RESIDENTIAL STREETS.

NO CHANGE TO EXISTING F.A.R. OR INTERIOR SQUARE FOOTAGE.

NO CHANGE TO BUILDING HEIGHT, MASSING, SHAPE, OR SIZE.

NO CHANGE TO STREET-LEVEL, STREET-FACING FACADE TRANSPARANCY. (SEE SHEET A301).

NO RESIDENTIAL USE PROPOSED.

PER SMC 23.54.015.G. FOR NEW PROJECTS WITHIN EXISTING BUILDINGS, UP TO 20 REQUIRED PARKING SPACES ARE WAIVED.

REQUIRED PARKING:

EATING/DRINKING ESTABLISHMENTS: 1,250 SF
AREA: 465 SF
FIRST 1500 SF WAIVED: -1500 SF
TOTAL: 0

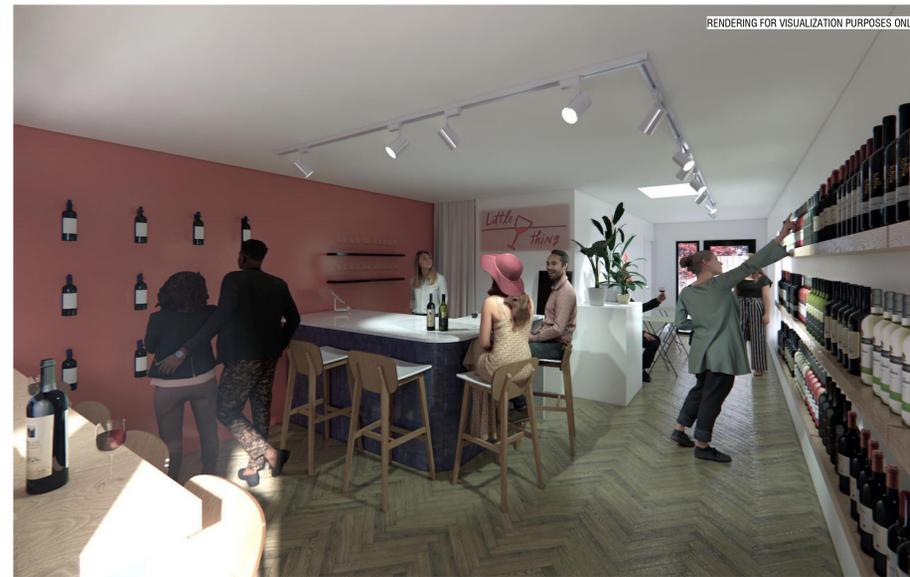
SPACES REQUIRED: 0 SPACES

PER CODE SECTION ABOVE, ANY REQUIRED PARKING IS WAIVED.

BUILDING CODE SUMMARY

BUILDING CODE: 2018 BUILDING CODE (ARCH AND STRUC)
ENERGY CODE: SEATTLE ENERGY CODE

PROPOSED USE: A-2 ASSEMBLY, S-2 STORAGE (LOW HAZARD)
CONSTRUCTION TYPE: 5A
OCCUPANCY GROUP: A-2, S-2
BUILDING HEIGHT: 30'-0"
SPRINKLERS: N/A



PROJECT TEAM

OWNERS:
DYLAN JOFFE & KATIE THATCHER
4924 24TH AVE S
SEATTLE, WA 98108
(P): 207.939.1063
(E): dylan@littleting.com

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SEATTLE, WA 98115
CONTACT: PETER SECAN
(P) 520.400.3868
(E) peter@mnmumstudio.com

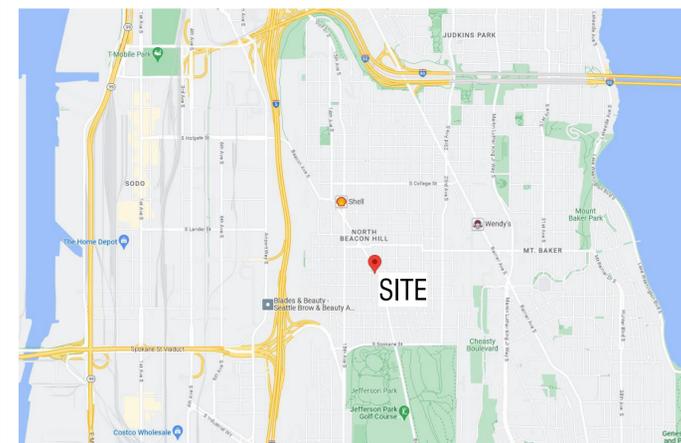
STRUCTURAL ENGINEER:
B2 ENGINEERS
CONTACT: BASRI BASRI, PE
(E): basri@b2engineers.com

PROJECT NARRATIVE

THE PROPOSED CHANGE OF USE WILL RESULT IN A SMALL NEIGHBORHOOD WINE SHOP THAT FOCUSES ON RETAIL SALES, AND A COZY ENVIRONMENT FOR A QUICK GLASS OF WINE. LITTLE THING WAS THOUGHT UP BY BUSINESS PARTNERS DYLAN JOFFE AND KATIE THATCHER AFTER YEARS OF WORKING IN THE WINE AND SERVICE INDUSTRIES. IT IS THEIR DREAM TO BRING EXCELLENT AND APPROACHABLE WINE TO ENTHUSIASTS AND PASSERSBY ALIKE. THEY BELIEVE THEY'VE FOUND THE PERFECT LOCATION TO PROVIDE THESE SERVICES, AND THAT LITTLE THING IS THE PERFECT ADDITION TO AN ALREADY VIBRANT BEACON HILL GATHERING HUB.

FURTHERMORE, A BUSINESS IN THE SE CORNER OF THE SAME COMMERCIAL BUILDING HAS RECENTLY OPENED AS A PIZZA RESTAURANT. WE BELIEVE THIS SUPPORTS OUR ARGUMENT TO ALLOW FOR THE CONDITIONAL USE APPROVAL FOR THE PROPOSED DRINKING ESTABLISHMENT.

NOTE: SEE SHEET G004 FOR MORE INFORMATION AND VISUALIZATIONS PERTAINING TO THE NEW DEVELOPMENT, AND ITS PLACE WITHIN THE NEIGHBORHOOD.

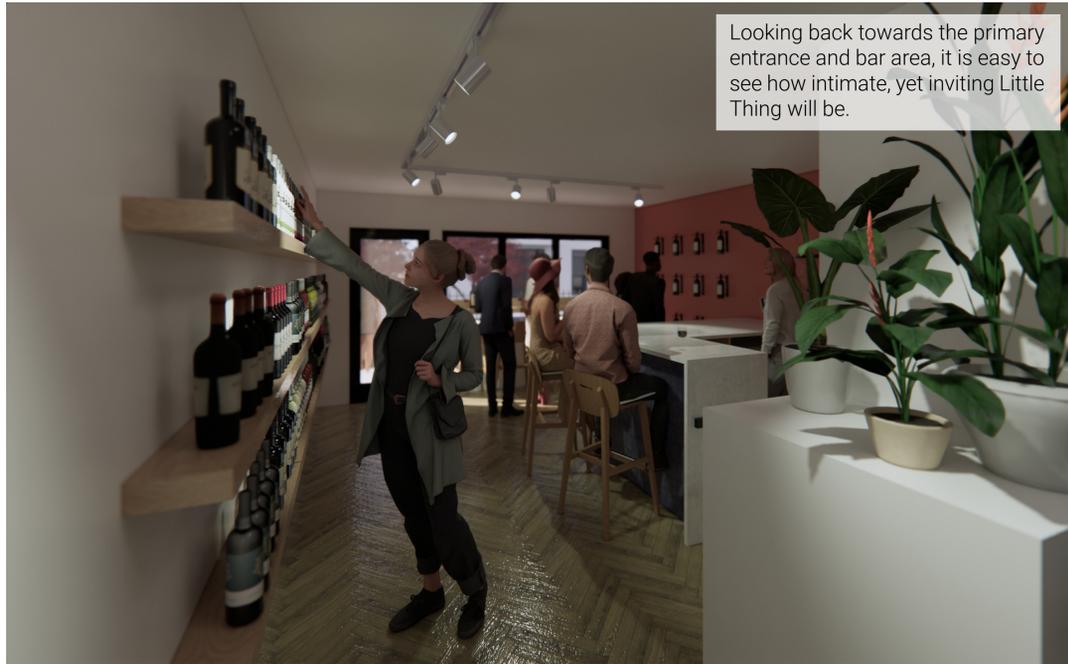


VICINITY MAP

A small bar area is the focal point of the interior, while also emphasizing the accessibility of the retail wine shop.



Looking back towards the primary entrance and bar area, it is easy to see how intimate, yet inviting Little Thing will be.



THE CONCEPT

Little Thing is a small-scale, curated, woman-owned wine shop and bar in Seattle. Owned and operated by Dylan Joffe and Katie Thacher, Little Thing is a place to learn about and purchase wine, with a special emphasis on storytelling and community-building.

At Little Thing, we think finding a great bottle of wine should be easy. With a small collection of hand-picked bottles available every month, Little Thing is a place to drink, learn, and explore. We love wines made by real people, for real people. This isn't your big-box grocery store; it isn't the coolest wine shop on Instagram. It's just a little thing we dreamed up: a better, more personal way to buy wine.

WHY LITTLE THING?

Shopping for wine can be overwhelming. Whether it's at the grocery store or your local wine shop, an enormosity of choice, little available information, and no ability to taste through your options makes decision making hard. Even worse? Ending up with a bottle that you don't love.

Little Thing makes heading home with the perfect bottle simple with a rotating collection of 12 hand-picked wines available every month. By focusing on a small, curated selection of bottles, our staff is able to taste every single wine we offer—a shockingly unusual feat for the world of wine—and recommend the right bottle for any occasion and budget. Need a light red for your Sunday roast chicken? Here are two dreamy pairing options. A bottle of Champagne to bring to a birthday party? We've got it. Champagne taste on a PBR budget? We've got something for that, too.

Wines are available to drink—by the glass or bottle via corkage—or take home at our retail shop, open from 12-8 Tuesday-Saturday. Customers can come into the store to browse, taste, and drink wines during our open hours, or get wines monthly as part of our wine clubs, which provide a number of options for different price points and preferences.

We also have a small-but-mighty collection of not-wine for purchase. A beer on tap, a non-alcoholic beverage, and sparkling water are always available for purchase. We also have a small larder, swag, and wine accessories for purchase.

WHY BEACON HILL?

Owner Dylan Joffe moved to south Seattle almost 10 years ago and has long loved the idea of a small-scale, community-driven wine shop for her neighborhood. During those same years, Seattle has entered a stage of tremendous growth, with the city becoming denser and wealthier.

In Seattle's wine scene, there is particular emphasis on traditional wine shops or trendy, natural wine shops—with little in between. Larger scale wine shops still sell the legacy brands and premium wines that consumers over 60 traditionally flock to; the majority of new shops that have opened in Seattle over the last 5 years focus on natural wine, a niche category. There are very few small, curated shops (<1000 square feet, <1 mil in sales) that focus on wines other than "natural." There is a big gap in Seattle's wine market for community-oriented, small wine businesses that sell quality, curated, and well-priced wines.

The neighborhood and size of the space will play a pivotal role in the shop's success—which is why Beacon Hill is an ideal neighborhood. A smaller footprint means not only a cozier, community feel that is hard to replicate in large spaces, but also less money on rent and utilities. Commercial rents are much more affordable in central and south Seattle and the retail and restaurant presence is not as developed as other parts of the city. Younger families and individuals have been flocking to central and south Seattle over the last 10 years, housing supply continues to grow, and businesses are still playing catch up. With the opening of new light rail stations, central and south Seattle are more desirable than ever, and there are few similar businesses to Little Thing in this large geographical region. There are many sub-zones in these neighborhoods without easy walking access to restaurants, bars, wine shops, and other specialty retail.



The primary entrance to Little Thing is situated directly off the sidewalk, adding character and depth to the pedestrian experience. With Homer and The Coup and Flute just down the street, our new wine shop will become a welcome member of an already bustling restaurant scene.



MNM Studio, LLC
9546 46th Ave NE Seattle, WA 98122
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ISSUE	DATE
Health Department	10.18.2023
CP APPLICATION	12.05.2023
MUP APPLICATION	1.05.2024

3003 Beacon Ave. S.
Seattle, WA 98144

little thing
BEACON HILL

PROJECT NO.:
6997629-CN

Change of Use
G004

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PROJECT NO.:
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Site Plan
A101

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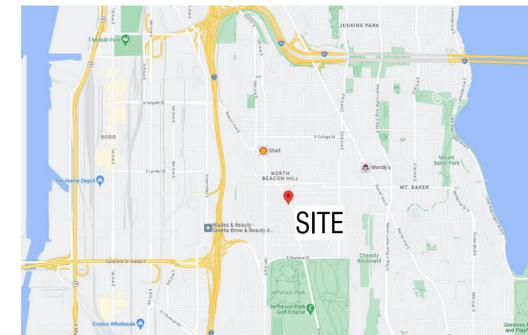
NOTE: UNIT 3003 ADDRESS EXISTS IN BUILDING ADDRESSED AS 3001 BEACON AVE S.

PARCEL #:
059700-0625

LEGAL DESCRIPTION:
LOT 1-2, BLOCK 5, BEACON HEIGHTS ADD LESS SWLY 51 FEET.

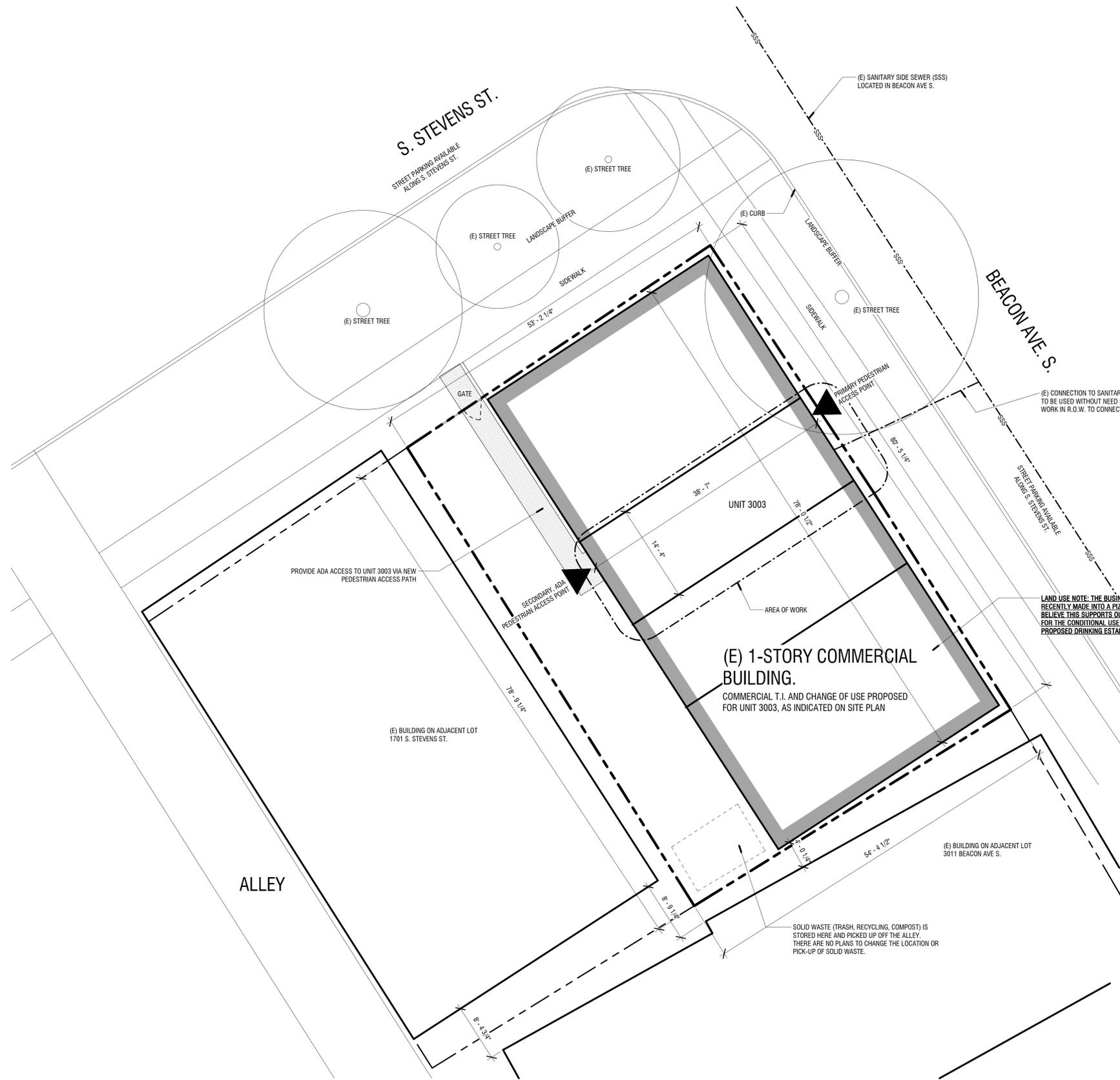
RECORDS OF KING COUNTY, WASHINGTON.
NC2P-55(M)

SITE AREA:
3,892 SF



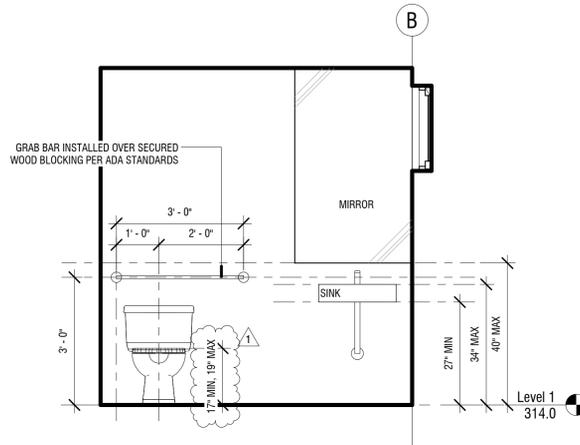
VICINITY MAP

LAND USE NOTE: THE BUSINESS IN THIS UNIT WAS RECENTLY MADE INTO A PIZZA RESTAURANT. WE BELIEVE THIS SUPPORTS OUR ARGUMENT TO ALLOW FOR THE CONDITIONAL USE APPROVAL FOR THE PROPOSED DRINKING ESTABLISHMENT.

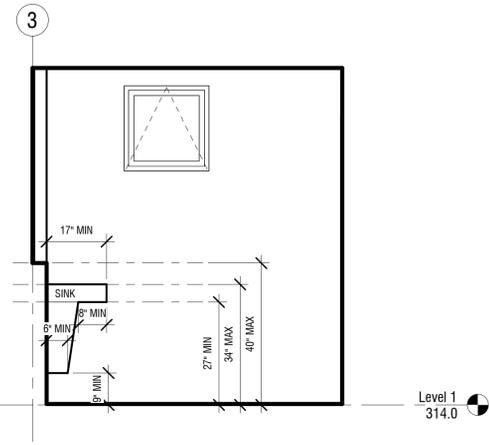


1 | Site Plan
1/8" = 1'-0"

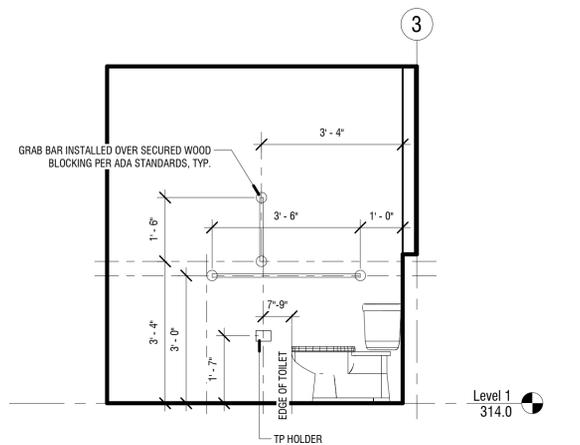




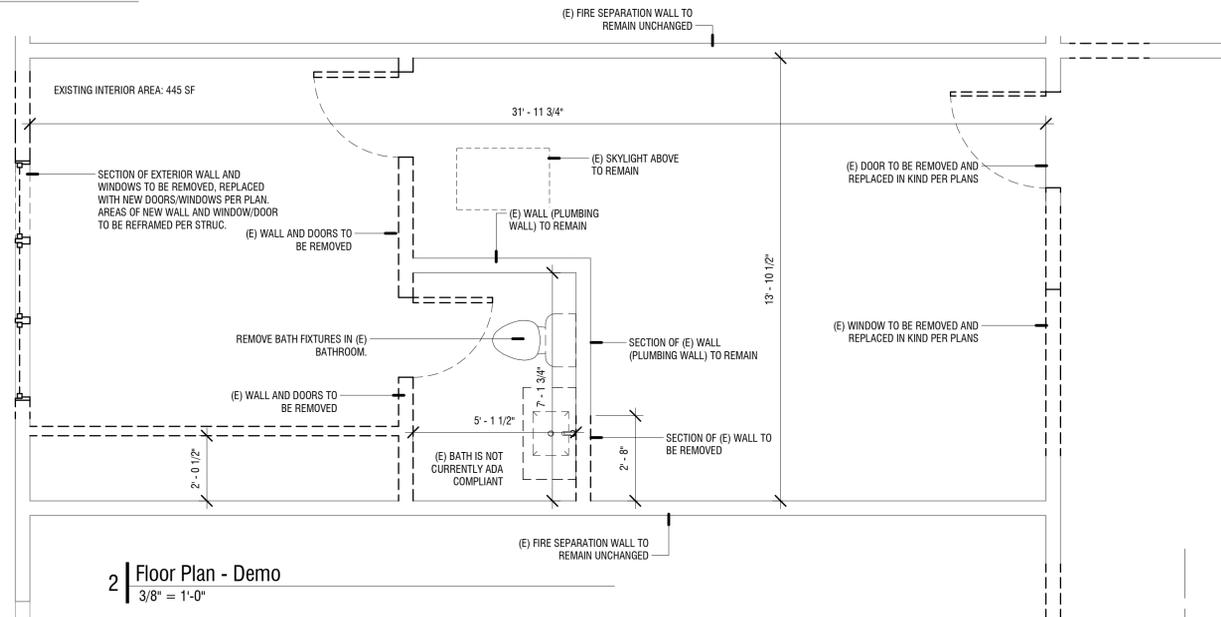
6 Bath Elevation B
1/2" = 1'-0"



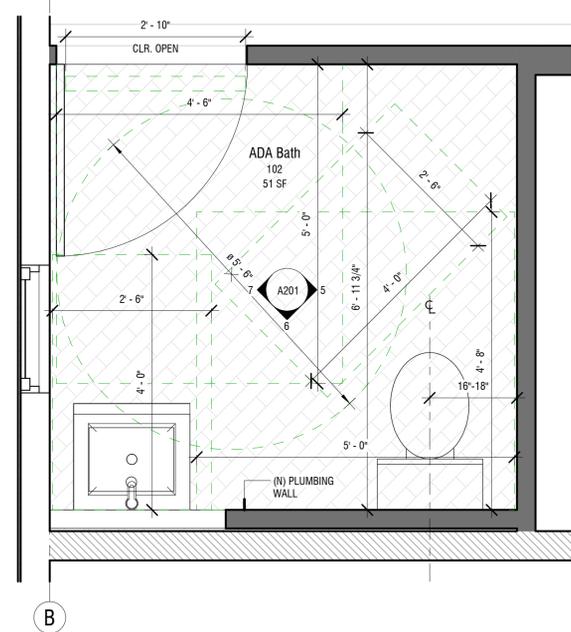
7 Bath Elevation C
1/2" = 1'-0"



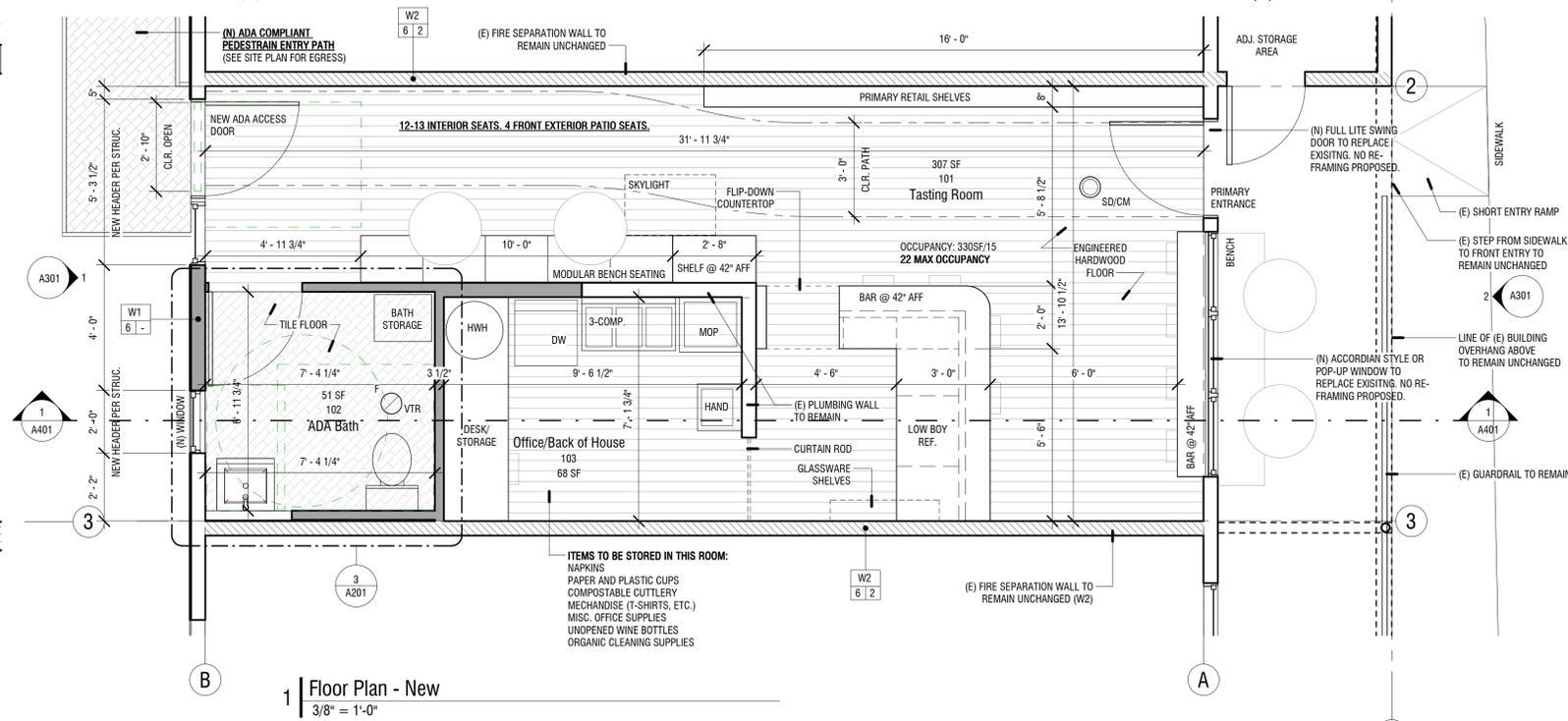
5 Bath Elevation A
1/2" = 1'-0"



2 Floor Plan - Demo
3/8" = 1'-0"



3 ADA Bath Plan
3/4" = 1'-0"



1 Floor Plan - New
3/8" = 1'-0"

FLOOR PLAN NOTES

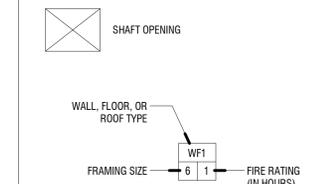
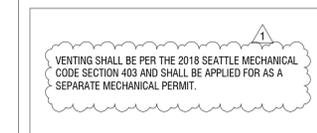
- DO NOT SCALE DRAWINGS. EXTERIOR DIMENSIONS ARE TO GRID LINES, AND FACE OF STUD WALL. INTERIOR DIMENSIONS ARE TO GRIDLINES AND FACE OF STUD WALL. OPENINGS ARE DIMENSIONED TO THE ROUGH OPENING, UNO.
- ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION WORK IS DESIGN BUILD. THE WORK SHOWN HEREIN IS DIAGRAMMATIC AND INTENDED TO ILLUSTRATE THE DESIGN INTENT. NOT SPECIFIC REQUIREMENTS. WORK REDD BY APPLICABLE CODES OR TO MAKE THE WORK COMPLETE IS TO BE PROVIDED.
- CONTRACTOR SHALL VERIFY LOCATIONS AND SIZING OF ALL OPENINGS, INCLUDING, BUT NOT LIMITED TO HVAC, DOORS AND WINDOWS WITH APPLICABLE SUBCONTRACTORS.
- CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS, HOOK-UPS, VENTING AND PENETRATIONS FOR ALL FIXTURES AND APPLIANCES PRIOR TO INSTALLATION.
- PROVIDE ARTIFICIAL LIGHTING ADJACENT TO ALL ENTRY DOORS AND STAIRS. SHIELD LIGHT FROM ALL ADJACENT PROPERTIES.
- WINDOW LOCATIONS VARY BY ROOM AND FLOOR LEVEL. SEE PLANS, ELEVATIONS, AND SCHEDULE FOR WINDOW SIZES AND PLACEMENT.
- WINDOW SIZES ARE NOMINAL, ROUGH OPENING WIDTH AND HEIGHT.
- SEE G0.1 AND G0.2 FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- WINDOWS AND DOORS MARKED WITH AN ASTERISK ARE TEMPERED OPENINGS. REFER TO ELEVATIONS FOR WINDOW CONFIGURATIONS AND DOOR TRANSOM WINDOWS.
- PLUMBING, MECHANICAL EQUIPMENT, DUCTS OR VENTS ARE NOT ALLOWED IN THE CAVITY OF THE COMMON 2-HR TOWNHOUSE SEPARATION WALLS.

SMOKE DETECTORS

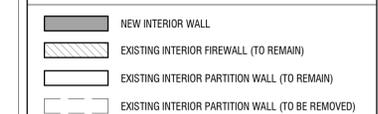
- A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM.
 - A SMOKE DETECTOR SHALL BE CENTRALLY LOCATED ON EACH FLOOR. IN ALL INSTANCES THIS SHALL BE A COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.
 - AN ADDITIONAL SMOKE DETECTOR SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING HEIGHT CHANGE GREATER THAN 24".
 - SMOKE DETECTORS TO BE 110v, INTERCONNECTED, WITH BATTERY BACKUP.
- SMOKE DETECTOR PLAN SYMBOL: SD
SMOKE DETECTOR/CARBON MONOXIDE DETECTOR SYMBOL: SD/CM

VENTILATION REQUIREMENTS

- SOURCE SPECIFIC:
BATHS, TOILET, AND LAUNDRY ROOMS: 50 CFM (INTERMITTENT)
KITCHENS: 100 CFM (INTERMITTENT)
- EXHAUST SYSTEMS SHALL COMPLY WITH SMC 403.8.4.1
 - FANS AND DUCTS SHALL BE SIZED AND CONSTRUCTED PER SMC 403.8.4.2
 - EXHAUST OUTLETS TO BE 3 FEET MIN. FROM PROPERTY LINES AND OPERABLE WINDOWS, AND 10 FEET MIN FROM MECHANICAL AIR INTAKES.
- FRESH AIR EXCHANGE:
EXHAUST THROUGH COMBINATION BATH FANS THAT ACT AS WHOLE HOUSE VENTILATION PER TABLE BELOW. FRESH AIR INLETS THROUGH TRICKLE VENTS IN WINDOWS.
- FAN PLAN SYMBOL: F
VTR: INDICATES VENT THRU ROOF
- 4" VENT DUCTS THROUGH CEILING OR SOFFIT:



WALL TYPE LEGEND



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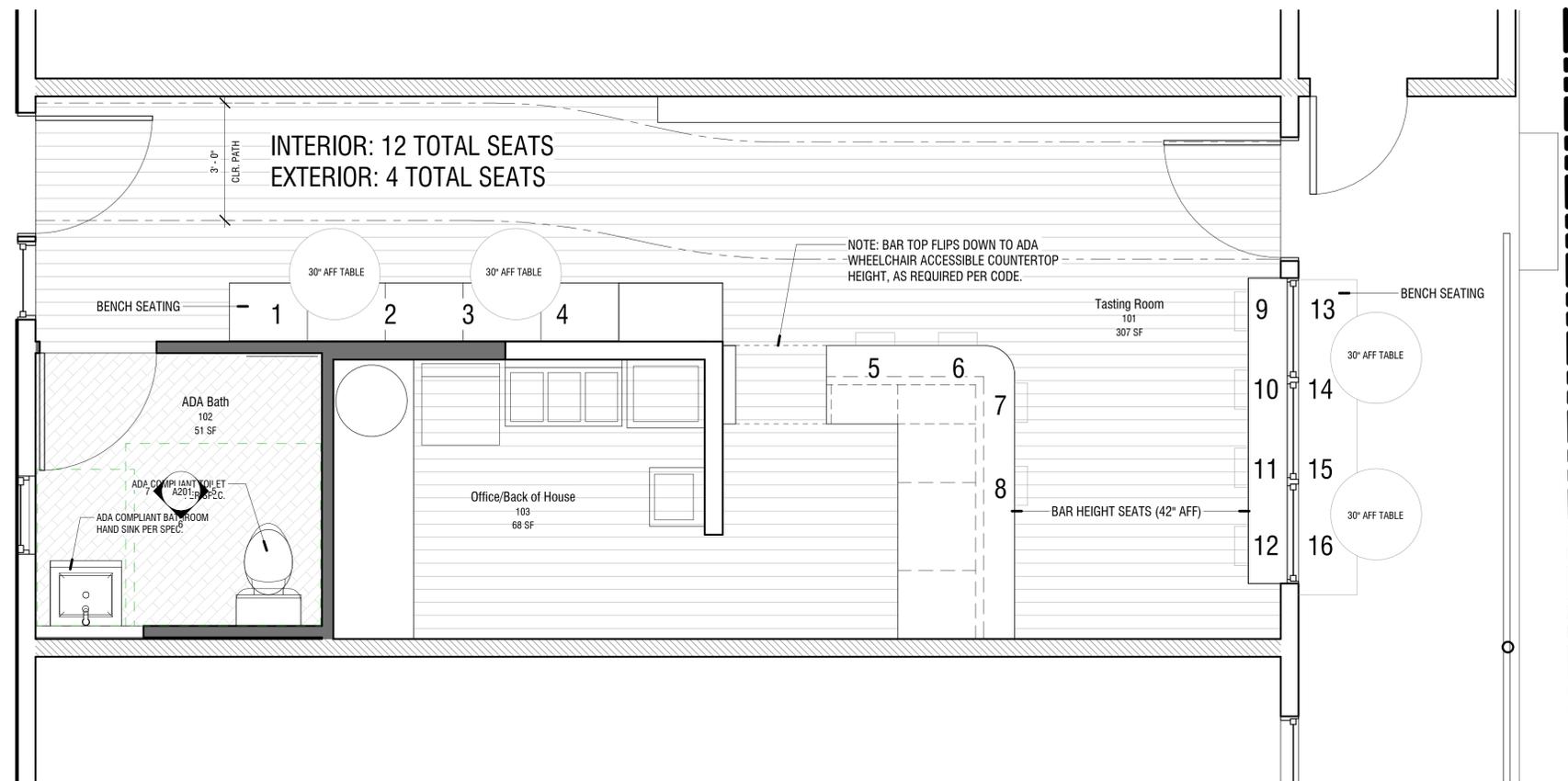
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BEACON HILL

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Floor Plans
A201

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1 | Seating Plan
1/2" = 1'-0"



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BEACON HILL

PROJECT NO.:
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Seating Plan A203

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ISSUE	DATE
Health Department	10.18.2023
CP APPLICATION	12.05.2023
MUP APPLICATION	1.31.2024

3003 Beacon Ave. S.
Seattle, WA 98144

little thing
BEACON HILL

PROJECT NO.:
6997629-CN

Exterior Elevations
A301

1/30/2024 10:17:57 AM

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TABLE C402.1.4
OPAQUE THERMAL ENVELOPE ASSEMBLY MAXIMUM REQUIREMENTS, U-FACTOR METHOD*
CLIMATE ZONE 5 AND MARINE 4

	All Other	Group R
Roofs		
Insulation entirely above deck	U-0.027	U-0.027
Metal buildings	((U-0.044)) U-0.027	((U-0.044)) U-0.027
Attic and other	U-0.021	U-0.021
Joist or single rafter	U-0.027	U-0.027
Walls, Above Grade		
Mass ^a	((U-0.104*)) U-0.057	((U-0.078)) U-0.057
Mass transfer deck slab edge ^b	U-0.20	U-0.20
Slab penetrating thermal envelope wall ^b	U-0.10	U-0.10
Metal building ^c	U-0.052	U-0.052
Steel framed ^d	U-0.055	U-0.055
Wood framed and other ^e	((U-0.054)) U-0.051	U-0.051
Walls, Below Grade		
Below-grade wall ^f	((Same as above-grade)) U-0.070	((Same as above-grade)) U-0.070
Floors		
Mass ^g	U-0.031	U-0.031
Joist framing	U-0.029 steel joist U-0.025 wood joist	U-0.029 steel joist U-0.025 wood joist
Concrete column or concrete wall penetrating thermal envelope floor ^h	U-0.55	U-0.55
Concrete slab floor directly above an electrical utility vault	N.R.	N.R.
Slab-on-Grade Floors		
Unheated slabs	F-0.54	F-0.54
Heated slabs ⁱ	F-0.55	F-0.55
Opaque Doors		
Swinging door	U-0.37	U-0.37
Nonswinging door	U-0.34	U-0.34
Garage door <14% glazing	U-0.31	U-0.31

Window Schedule

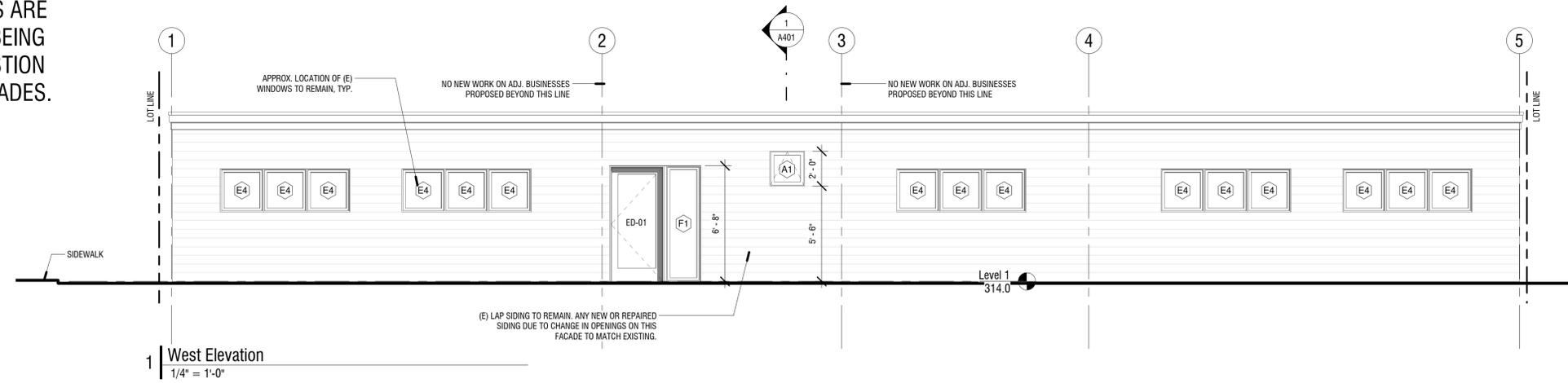
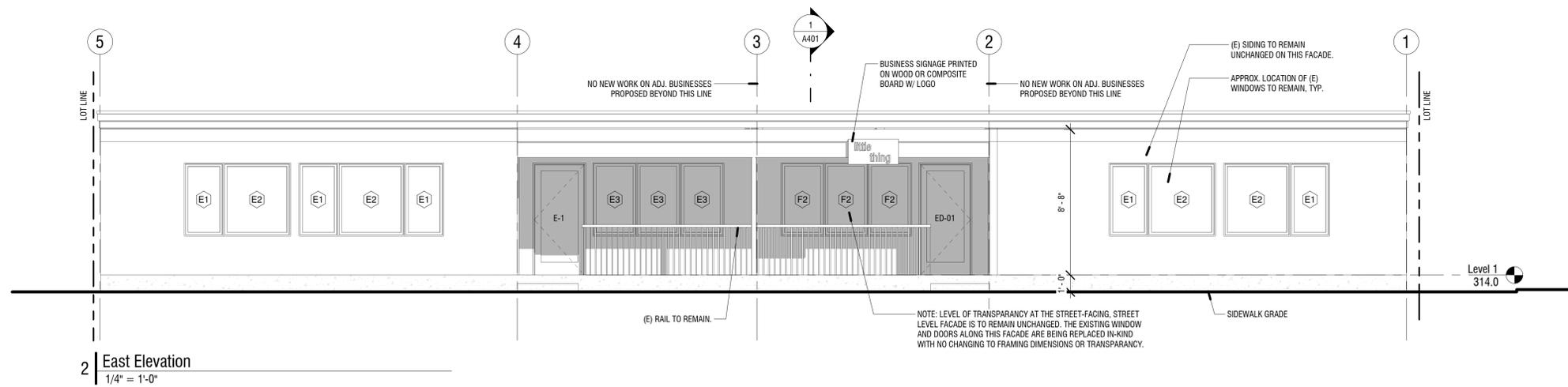
Type Mark	Description	Width	Height	Construction Type	Manufacturer	Model	Glass Type	Count	AREA	Notes	U-Value	SHGC
A1	New Awning Window	2' - 0"	2' - 0"				LOW E	1	4 SF		0.26	.46
F1	New Fixed Window	2' - 0"	6' - 8"				TEMPERED, LOW E	1	13 SF		0.26	.46
F2	New Accordion Window Frame	2' - 7 1/4"	4' - 4"				LOW E	3	34 SF		0.26	.46
									51 SF			

Door Schedule

Type Mark	Description	Width	Height	Level	Construction Type	Manufacturer	Model	Area	U-Value	SHGC VAL
ED-01	NEW FULL LITE SWING DOOR	3' - 0"	6' - 7"	Level 1				20 SF	0.26	.46
ED-01	NEW FULL LITE SWING DOOR	3' - 0"	6' - 7"	Level 1				20 SF	0.26	.46
								40 SF		

TABLE C402.1
BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS
CLIMATE ZONE 5 AND MARINE 4

U-factor for Class A/W windows rated in accordance with AAMA/CES 1011.5/2/4/4/0, vertical curtain walls and site-built fenestration products ^a	U-factor	
Fixed ^b U-factor	((U-0.34))	U-0.34
Operable ^c U-factor	((U-0.40))	U-0.36
Entrance doors^d		
U-factor	U-0.60	
U-factor for all other vertical fenestration		
Fixed ^e U-factor	((U-0.30))	U-0.26
Operable ^f U-factor	U-0.28	
SHGC for all vertical fenestration		
Orientation ^g	SEW	N
PF < 0.2	0.35	0.51
0.2 ≤ PF < 0.5	0.46	0.56
PF ≥ 0.5	0.61	0.61
Skylights		
U-factor	((U-0.50)) U-0.45	
SHGC	((0.35)) 0.32	



NOTE: NORTH AND SOUTH ELEVATIONS ARE TO REMAIN UNCHANGED. THE WORK BEING PROPOSED ON THE BUSINESS IN QUESTION DOES NOT FACE EITHER OF THOSE FACADES.



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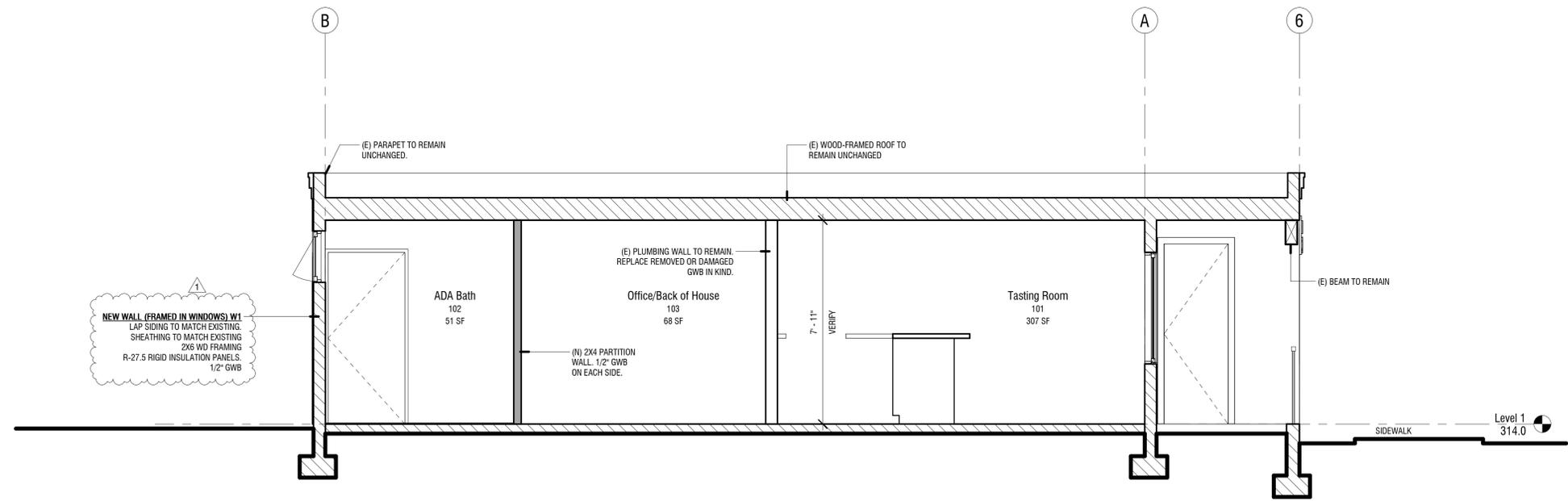
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Building Sections
A401

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1 | Building Section
3/8" = 1'-0"