

ABBREVIATIONS

A/C	AIR CONDITIONING	L	LONG	LEFT
ABV	ABOVE	LAM	LAMINATED	
ADDL	ADDITIONAL	LAV	LAVATORY	
ADJ	ADJUSTABLE	LB	POUND	
AF	ABOVE FINISHED FLOOR	LRG	LARGE	
ALT	ALTERNATE			
APPROX	APPROXIMATE(LY)	MATL	MATERIAL	
APT	APARTMENT	MAX	MAXIMUM	
ARCH	ARCHITECT(URAL)	MECH	MECHANICAL	
AWN	AWNING	MED	MEDIUM	
		MEZZ	MEZZANINE	
BA	BATH	MFG	MANUFACTURER	
BD	BEDROOM	MIN	MINIMUM	
BF	BARRIER FREE	MISC	MISCELLANEOUS	
BLDG	BUILDING			
BM	BEAM	(N)	NEW	
BO	BOTTOM OF	N	NORTH	
BSMT	BASEMENT	N/A	NOT APPLICABLE	
BTW	BETWEEN	NIC	NOT IN CONTRACT	
		NO	NUMBER	
CAB	CABINET	NSF	NET SQUARE FEET	
CB	CATCH BASIN	NTS	NOT TO SCALE	
CIP	CAST IN PLACE			
CL	CENTERLINE	OC	ON CENTER	
CL	CLOSET	OD	OUTSIDE DIAMETER	
CLG	CEILING	OFF	OFFICE	
CLR	CLEAR	OPP	OPPOSITE	
CMU	CONCRETE MASONRY	OVHD	OVERHEAD	
		PERF	PERFORATED	
COL	COLUMN	PERIM	PERIMETER	
CONC	CONCRETE	PERM	PERMEABLE, PERMANENT	
CONSTR	CONSTRUCTION	PL	PROPERTY LINE	
CONT	CONTINUOUS	PLAM	PLASTIC LAMINATE	
COORD	COORDINATE	PLYWD	PLYWOOD	
CORR	CORRIDOR	PR	PAIR	
CPT	CARPET	PRELIM	PRELIMINARY	
CSMT	CASEMENT	PKG	PARKING, PACKAGE	
DEMO	DEMOLISH	PROJ	PROJECT	
DIA	DIAMETER	PROP	PROPERTY	
DN	DOWN	PSI	POUNDS/SQUARE INCH	
DR	DOOR	PT	PRESSURE TREATED, POST TENSIONED	
DS	DOWNSPOUT			
DTL	DETAIL	R	RISER	
D/W	DISHWASHER	R/A	RETURN AIR	
DWG	DRAWING	RAD	RADIUS	
		RC	RESULTANT CHANNEL	
(E)	EXISTING	RCP	REFLECTED CEILING PLAN	
E	EAST	RD	ROOF DRAIN	
EA	EACH	REF	REFRIGERATOR	
EG	EGRESS	REQ	REQUIRED	
EL	ELEVATION	REV	REVERSE, REVISION	
ELEV	ELEVATION, ELEVATION	RM	ROOM	
ENCL	ENCLOSURE	RO	ROUGH OPENING	
EJ	EXPANSION JOINT	S	SOUTH	
EO	EDGE OF	S/A	SUPPLY AIR	
EQ	EQUAL	SF	SQUARE FEET	
EXH	EXHAUST	SHT	SHEET	
EXT	EXTERIOR	SIM	SIMILAR	
		SP	STANDPIPE	
FD	FLOOR DRAIN	SPEC	SPECIFICATION	
FDN	FOUNDATION	SPKLR	SPRINKLER	
FE	FIRE EXTINGUISHER	SQ	SQUARE	
FF	FINISHED FLOOR	SS	SANITARY SEWER	
FIN	FINISHED	STL	STEEL	
FLR	FLOOR	STC	SOUND TRANSMISSION COEFFICIENT	
FM	FACTORY MULLED	STOR	STORAGE	
FO	FACE OF	STRUCT	STRUCTURE, STRUCTURAL	
FT	FEET	T	TREAD	
FTG	FOOTING	TBD	TO BE DETERMINED	
FURN	FURNITURE, FURNACE	TEMP	TEMPERED GLAZING	
		T&G	TONGUE & GROOVE	
GA	GAUGE	TH	THICKNESS	
GALV	GALVANIZED	TO	TOP OF	
GC	GENERAL CONTRACTOR	TYP	TYPICAL	
GL	GLASS			
GSF	GROSS SQUARE FEET	UNTIL	UNTIL NOTED OTHERWISE	
GWB	GYPSON WALLBOARD	UTIL	UTILITY	
		VCT	VINYL COMPOSITE TILE	
H	HIGH	VERT	VERTICAL	
HB	HOSE BIB	VIF	VERIFY IN FIELD	
HDR	HEADER	W	WEST, WIDE	
HDWD	HARDWOOD	W/	WITH	
HGT	HEIGHT	W/D	WASHER/DRYER	
HOR	HORIZONTAL	W/O	WITHOUT	
HR	HOOR	WC	WATER CLOSET	
HVAC	HEATING, VENTILATION, AND AIR	WO	WOOD	
	CONDITIONING	WH	WATER HEATER	
ID	INSIDE DIAMETER	WIN	WINDOW	
IN	INCH	WB	WASHER BASKET	
INCL	INCLUDED, INCLUDING			
INS	INSULATION			
INSUL	INSULATION			
INT	INTERIOR			

REFERENCE SYMBOLS

1

DRAWING TITLE

1

DRAWING SCALE

1

SECTION OR DETAIL REFERENCE

1

ELEVATION REFERENCE

1

DETAIL REFERENCE

T.O. PARAPET
ELEV. 111'-0"

SPOT ELEVATION

FLOOR LEVEL
ELEV. 111'-0"

DATUM

CUT MARK

1

GRID LINE

C

CENTERLINE

2

REVISION CLOUD AND TAG

WHEELCHAIR

BARRIER FREE SYMBOL

SOFFIT ABOVE,
OF DUCTS ABOVE

NORTH

NORTH ARROW

WH

WATER HEATER
W/ OVERFLOW PAN

A1

WALL/FLOOR ASSEMBLY TYPE TAG

A

WINDOW TAG

DOOR TYPE RATING

DOOR TAG

SD

SMOKE ALARM

FE

FIRE EXTINGUISHER

[EXIT]

EXIT SIGN

EXIT LIGHTING

H.B.

HOSE BIB

EXHAUST FAN

FAN TERMINATION

CARPET VINYL

FLOORING TRANSITION

1/2"

DOOR THRESHOLD HEIGHT

RAMP UP 5%

RAMP ARROW WITH PERCENT SLOPE

2%
2:12 OR

DECK OR ROOF SLOPE

12
6

ROOF PITCH RISE:RUN

OR

DECK OR ROOF DRAIN

GARAGE DRAIN

ROOF DRAIN WITH OVERFLOW DRAIN

HATCH LEGEND

MATERIAL	LARGE SCALE SECTIONS
CONCRETE	
EARTH	
GRANULAR FILL	
STEEL	
CONTINUOUS ROUGH FRAMING	
BLOCKING	
PLYWOOD	
FINISHED WOOD	
RIGID INSULATION	
BATT INSULATION	
GWB	

SHEET LIST

Sheet Number	Sheet Name
G001	Project Information
G002	General Notes X
G003	Code Analysis X
G004	Change of Use
A101	Site Plan
A201	Floor Plans
A202	Equipment Plan X
A203	Seating Plan
A204	Finish Plan X
A301	Exterior Elevations
A401	Building Sections
S-1	Structural Plans X

X - NOT INCLUDED IN MUP SET

PROJECT INFORMATION:

PROJECT DESCRIPTION:
TENANT IMPROVEMENT TO AN EXISTING COMMERCIAL SPACE, INCLUDES A CHANGE OF USE FROM GENERAL SERVICE TO WINE TASTING ROOM (DRINKING ESTABLISHMENT) (RESTAURANT RISK LEVEL 2).

CLIENT:
DYLAN JOFFE AND KATIE THATCHER

ADDRESS:
3003 BEACON AVE S,
SEATTLE, WA 98144

NOTE: UNIT 3003 ADDRESS EXISTS IN BUILDING ADDRESSED AS 3001 BEACON AVE S.

PARCEL #:
059700-0625

LEGAL DESCRIPTION:
LOT 1-2, BLOCK 5, BEACON HEIGHTS ADD LESS SWLY 51 FEET.

RECORDS OF KING COUNTY, WASHINGTON.

ZONE:
NC2P-55(M)

SITE AREA:
3,892 SF

ZONING CODE SUMMARY

SEE SHEET A101 FOR ZONING CODE ANALYSIS
ZONING CODE: SEATTLE ZONING CODE (SMC TITLE 23)
ZONE: NC2P-55 (M)
OVERLAYS: STATION OVERLAY AREA (LIGHT RAIL),
ECA: NONE
NUMBER OF UNITS: NONE
PARKING (VEHICLE): STREET PARKING ONLY
CURRENT USE: C.10.b (GENERAL SERVICES)
PROPOSED USE: C.2.a (DRINKING ESTABLISHMENTS)
BUSINESS AREA: 465 SF

ZONING COMPLIANCE NOTES:

PER TABLE A FOR 23.47A.004 IN AN NC2 ZONE:
DRINKING ESTABLISHMENTS (C.2.a) ARE PERMITTED AS A CU-25, MEANING:
CONDITIONALLY PERMITTED BUSINESS ESTABLISHMENTS UNDER 25,000 SF (COMPLIES)

FURTHER, PER 23.47A.006 - CONDITIONAL USES

A.1. DRINKING ESTABLISHMENTS IN NC1 AND NC2 ZONES MAY BE PERMITTED AS A CONDITIONAL USE SUBJECT TO THE FOLLOWING:

a. THE SIZE OF THE DRINKING ESTABLISHMENT, DESIGN OF THE STRUCTURE, SIGNING AND ILLUMINATION MUST BE COMPATIBLE WITH THE COMMERCIAL USE AREA AND OTHER STRUCTURES IN THE VICINITY.
APPLICANT RESPONSE: THE PROPOSED BUSINESS IS SITUATED DIRECTLY OFF BEACON AVE S, AND NEARBY ESTABLISHED RESTAURANTS AND BARS HOMER, THE COUP AND FLUTE, AND OTHERS. IT IS IN AN AREA THAT IS ALREADY A PART OF THE BEACON HILL NEIGHBORHOOD'S MOST POPULAR GATHERING DESTINATION. THE PROPOSED ESTABLISHMENT INTENDS TO ADD AND ENHANCE THIS EXPERIENCE.

b. THE LOCATION, ACCESS, AND DESIGN OF PARKING MUST BE COMPATIBLE WITH ADJACENT RESIDENTIAL ZONES.
APPLICANT RESPONSE: MANY, IF NOT ALL, RESIDENCES AND BUSINESSES IN THE AREA UTILIZE STREET PARKING. SINCE NO CHANGES ARE PROPOSED TO THE EXISTING STRUCTURE OR LOT, THIS WILL BE THE CASE FOR THIS ESTABLISHMENT AS WELL.

c. SPECIAL CONSIDERATION WILL BE GIVEN TO THE LOCATION AND DESIGN OF DOORS AND WINDOWS OF DRINKING ESTABLISHMENTS TO HELP ENSURE THAT NOISE STANDARDS WILL NOT BE EXCEEDED
APPLICANT RESPONSE: NO CHANGES IN WINDOW SIZE OR SHAPE ARE PROPOSED TO THE STREET-FACING FACADE (THOUGH, WINDOWS AND ENTRY DOOR WILL BE REPLACED IN KIND). A NEW DOOR IS BEING ADDED TO THE REAR FACADE TO PROVIDE DIRECT ADA ACCESS TO THE INTERIOR.

d. DRINKING ESTABLISHMENTS MUST NOT GENERATE TRAFFIC THAT CREATES TRAFFIC CONGESTION OR FURTHER WORSTENS SPILLOVER PARKING ON RESIDENTIAL STREETS.
APPLICANT RESPONSE: WITH THE LIMITED NUMBER OF SEATS AND SPACE IN THE PROPOSED ESTABLISHMENT, THERE WILL BE MINIMAL IMPACT ON SURROUNDING TRAFFIC AND WILL NOT WORSTEN SPILLOVER INTO PARKING ON RESIDENTIAL STREETS.

NO CHANGE TO EXISTING F.A.R. OR INTERIOR SQUARE FOOTAGE.

NO CHANGE TO BUILDING HEIGHT, MASSING, SHAPE, OR SIZE.

NO CHANGE TO STREET-LEVEL, STREET-FACING FACADE TRANSPARANCY. (SEE SHEET A301).

NO RESIDENTIAL USE PROPOSED.

PER SMC 23.54.015.G. FOR NEW PROJECTS WITHIN EXISTING BUILDINGS, UP TO 20 REQUIRED PARKING SPACES ARE WAIVED.

REQUIRED PARKING:

EATING/DRINKING ESTABLISHMENTS: 1,250 SF
AREA: 465 SF
FIRST 1500 SF WAIVED: -1500 SF
TOTAL: 0

SPACES REQUIRED: 0 SPACES

PER CODE SECTION ABOVE, ANY REQUIRED PARKING IS WAIVED.

BUILDING CODE SUMMARY

BUILDING CODE: 2018 BUILDING CODE (ARCH AND STRUC)
ENERGY CODE: SEATTLE ENERGY CODE

PROPOSED USE: A-2 ASSEMBLY, S-2 STORAGE (LOW HAZARD)
CONSTRUCTION TYPE: 5A
OCCUPANCY GROUP: A-2, S-2
BUILDING HEIGHT: 30'-0"
SPRINKLERS: N/A

MUP APPLICATION SET __ 1.31.2024



PROJECT TEAM

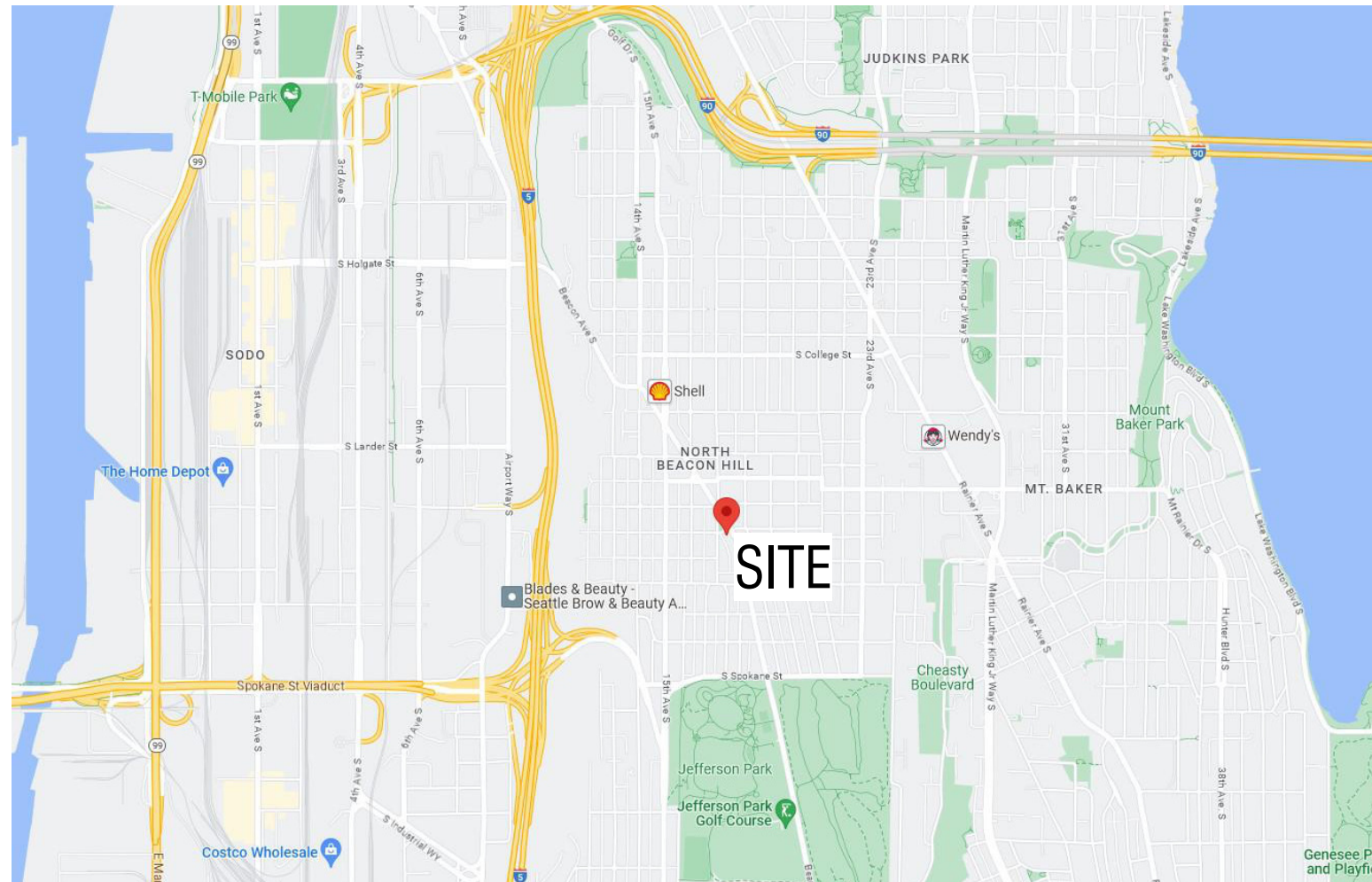
OWNERS:
DYLAN JOFFE & KATIE THATCHER
4924 24TH AVE S
SEATTLE, WA 98108
(P): 207.939.1063
(E): dylan@littletHING.wine

ARCHITECT:
MNMuM STUDIO
9546 46TH AVE NE
SEATTLE, WA 98115
CONTACT: PETER SECAN
(P) 520.400.3868
(E) peter@mnmumstudio.com

STRUCTURAL ENGINEER:
B2 ENGINEERS
CONTACT: BASRI BASRI, PE
(E): basri@b2engineers.com

GENERAL NOTES

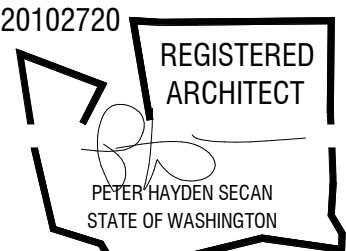
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, MEASUREMENTS, AND EXISTING CONDITIONS PRIOR TO CONDUCTING WORK IN THOSE AREAS. MEASUREMENTS AND DOCUMENTATION OF THE EXISTING SPACE WAS DONE FOR THE PURPOSES OF THIS DRAWING SET AND ARE ACCURATE WITHIN A REASONABLE TOLERANCE. HOWEVER, FIELD VERIFICATION BY CONTRACTOR IS REQUIRED FOR PRICING, SHOP DRAWINGS, CONSTRUCTION PLANNING, AND THE WORK ITSELF.
- DO NOT SCALE DRAWINGS. INTERIOR DIMENSIONS ARE TO FINISHED FACE, U.O.N. CONTRACTOR SHALL USE WRITTEN DIMENSIONS ONLY.
- IF THE CONTRACTOR DISCOVERS ANY MAJOR DISCREPANCIES BETWEEN THE WORKING DRAWINGS AND THE EXISTING CONDITIONS, THOSE DISCREPANCIES SHALL BE IMMEDIATELY BE MADE AWARE TO THE OWNER AND DESIGNER PRIOR TO RESOLUTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERING A COMPLETE AND USABLE FACILITY, WHICH WILL FUNCTION PER THE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS.
- WORK SHALL BE PERFORMED CONSISTENT WITH THE LOCAL MUNICIPALITY ORDINANCES, THE SEATTLE BUILDING CODE CURRENT EDITION, CONTRACTOR TO ADHERE TO ALL CODES, ORDINANCES, AND REGULATIONS THAT GOVERN CONSTRUCTION.
- CONSTRUCTION OPERATIONAL PROCEDURES AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR INSOFAR AS THEY DO NOT PRESENT HAZARDS TO PERSONNEL OR PROPERTY OR INFRINGE ON WORK SCHEDULES FOR NORMAL SITE ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES AND PROVIDE PEDESTRIAN PROTECTION AS REQUIRED FOR SAFETY OF TENANTS, PEDESTRIANS, AND JOBSITE PERSONNEL.
- THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL TRADE PERMITS REQUIRED BY REGULATORY AGENCIES.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS.
- ANY AND ALL NEW TENANT IMPROVEMENT RENOVATIONS SHALL ADHERE TO STANDARDS OUTLINED BY THE AMERICAN DISABILITIES ASSOCIATION (ADA). ALL EXISTING EGRESS ROUTES, EXITING, FIRE PROTECTION SYSTEMS, AND LIFE SAFETY SYSTEMS SHALL REMAIN OR BE MAINTAINED THROUGH OCCUPANCY OF THE RENOVATED SPACES.



VICINITY MAP



MNMuM Studio, LLC
9546 46th Ave NE Seattle, WA 98122
www.mnmumstudio.com



ISSUE	DATE
Health Department	10.18.2023
CP APPLICATION	12.05.2023
MUP APPLICATION	1.31.2024

3003 Beacon Ave. S.
Seattle, WA 98144

little thing
BEACON HILL

PROJECT NO.:
6997629-CN

Project Information
G001

1/30/2024 10:17:56 AM



A small bar area is the focal point of the interior, while also emphasizing the accessibility of the retail wine shop.



Looking back towards the primary entrance and bar area, it is easy to see how intimate, yet inviting Little Thing will be.

THE CONCEPT

Little Thing is a small-scale, curated, woman-owned wine shop and bar in Seattle. Owned and operated by Dylan Joffe and Katie Thacher, Little Thing is a place to learn about and purchase wine, with a special emphasis on storytelling and community-building.

At Little Thing, we think finding a great bottle of wine should be easy. With a small collection of hand-picked bottles available every month, Little Thing is a place to drink, learn, and explore. We love wines made by real people, for real people. This isn't your big-box grocery store; it isn't the coolest wine shop on Instagram. It's just a little thing we dreamed up: a better, more personal way to buy wine.

WHY LITTLE THING?

Shopping for wine can be overwhelming. Whether it's at the grocery store or your local wine shop, an enormousness of choice, little available information, and no ability to taste through your options makes decision making hard. Even worse? Ending up with a bottle that you don't love.

Little Thing makes heading home with the perfect bottle simple with a rotating collection of 12 hand-picked wines available every month. By focusing on a small, curated selection of bottles, our staff is able to taste every single wine we offer—a shockingly unusual feat for the world of wine—and recommend the right bottle for any occasion and budget. Need a light red for your Sunday roast chicken? Here are two dreamy pairing options. A bottle of Champagne to bring to a birthday party? We've got it. Champagne taste on a PBR budget? We've got something for that, too.

Wines are available to drink—by the glass or bottle via corkage—or take home at our retail shop, open from 12-8 Tuesday-Saturday. Customers can come into the store to browse, taste, and drink wines during our open hours, or get wines monthly as part of our wine clubs, which provide a number of options for different price points and preferences.

We also have a small-but-mighty collection of not-wine for purchase. A beer on tap, a non-alcoholic beverage, and sparkling water are always available for purchase. We also have a small larder, swag, and wine accessories for purchase.

WHY BEACON HILL?

Owner Dylan Joffe moved to south Seattle almost 10 years ago and has long loved the idea of a small-scale, community-driven wine shop for her neighborhood. During those same years, Seattle has entered a stage of tremendous growth, with the city becoming denser and wealthier.

In Seattle's wine scene, there is particular emphasis on traditional wine shops or trendy, natural wine shops—with little in between. Larger scale wine shops still sell the legacy brands and premium wines that consumers over 60 traditionally flock to; the majority of new shops that have opened in Seattle over the last 5 years focus on natural wine, a niche category. There are very few small, curated shops (<1000 square feet, <1 mil in sales) that focus on wines other than “natural.” There is a big gap in Seattle's wine market for community-oriented, small wine businesses that sell quality, curated, and well-priced wines.

The neighborhood and size of the space will play a pivotal role in the shop's success—which is why Beacon Hill is an ideal neighborhood. A smaller footprint means not only a cozier, community feel that is hard to replicate in large spaces, but also less money on rent and utilities. Commercial rents are much more affordable in central and south Seattle and the retail and restaurant presence is not as developed as other parts of the city. Younger families and individuals have been flocking to central and south Seattle over the last 10 years, housing supply continues to grow, and businesses are still playing catch up. With the opening of new light rail stations, central and south seattle are more desirable than ever, and there are few similar businesses to Little Thing in this large geographical region. There are many sub-zones in these neighborhoods without easy walking access to restaurants, bars, wine shops, and other specialty retail.



The primary entrance to Little Thing is situated directly off the sidewalk, adding character and depth to the pedestrian experience. With Homer and The Coup and Flute just down the street, our new wine shop will become a welcome member of an already bustling restaurant scene.



MNM Studio, LLC
9546 46th Ave NE Seattle, WA 98122
www.mnmstudio.com

20102720
REGISTERED ARCHITECT
PETER HAYDEN SEGAN
STATE OF WASHINGTON

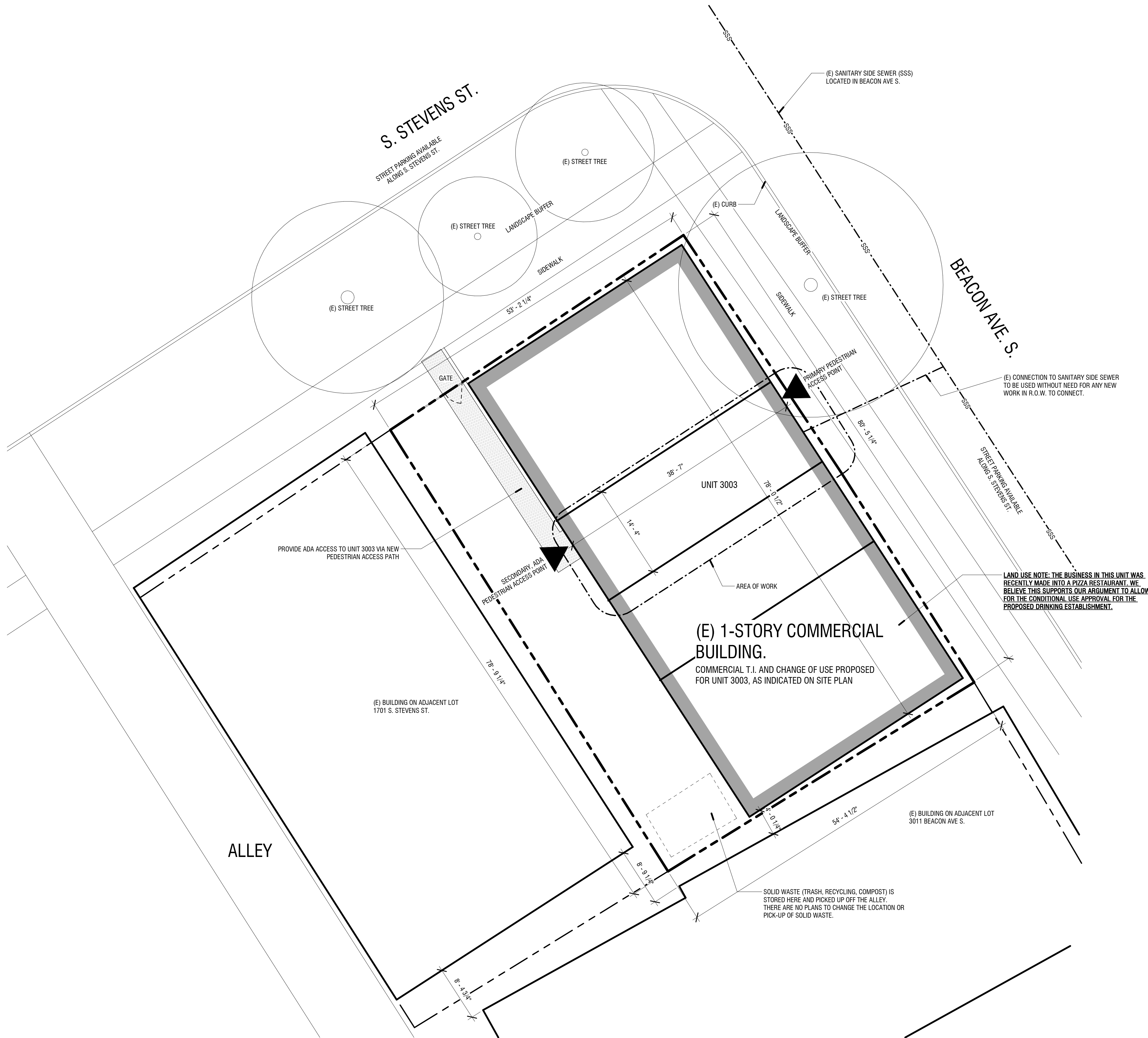
ISSUE	DATE
Health Department	10.18.2023
CP APPLICATION	12.05.2023
MUP APPLICATION	1.05.2024

3003 Beacon Ave. S.
Seattle, WA 98144

little thing
BEACON HILL

PROJECT NO.:
6997629-CN

Change of Use
G004
12/28/2023 8:23:39 AM



PROJECT INFORMATION:

PROJECT DESCRIPTION:
TENANT IMPROVEMENT TO AN EXISTING COMMERCIAL SPACE. INCLUDES A CHANGE OF USE FROM GENERAL SERVICE TO WINE TASTING ROOM (DRINKING ESTABLISHMENT) (RESTAURANT RISK LEVEL 2).

CLIENT:
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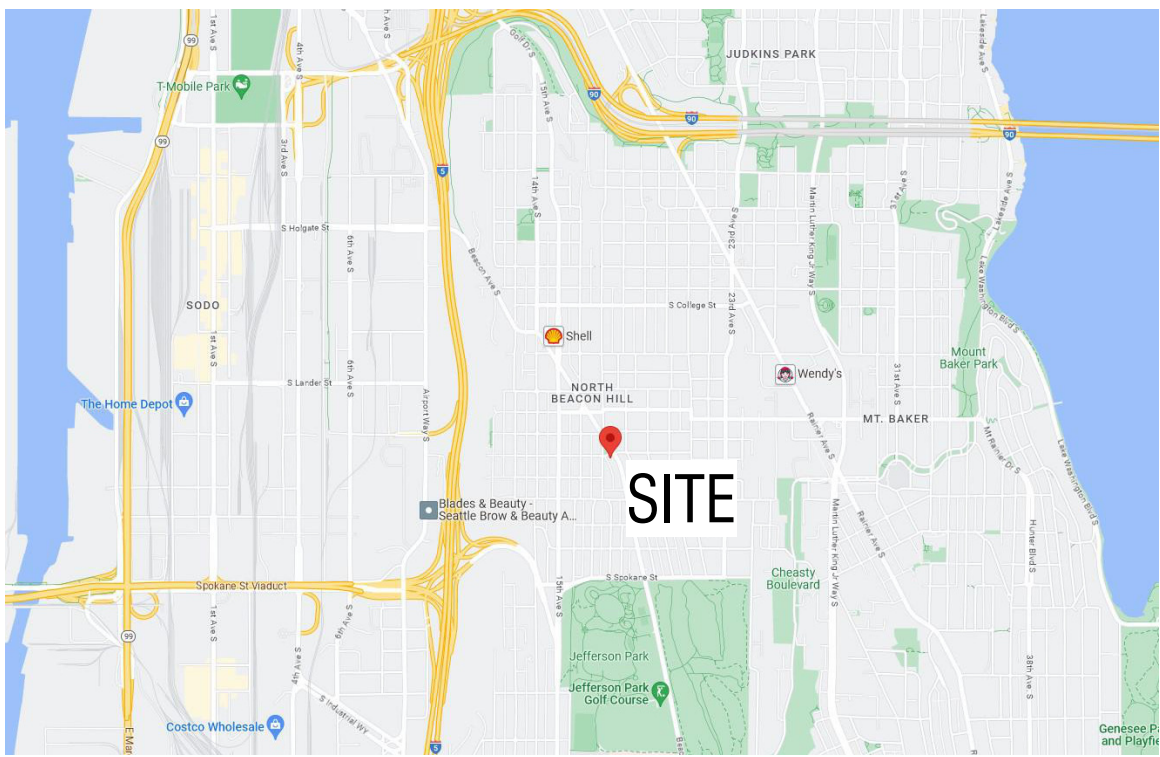
NOTE: UNIT 3003 ADDRESS EXISTS IN BUILDING ADDRESSED AS 3001 BEACON AVE S.

PARCEL #:
059700-0625

LEGAL DESCRIPTION:
LOT 1-2, BLOCK 5, BEACON HEIGHTS ADD LESS SWLY 51 FEET.

RECORDS OF KING COUNTY, WASHINGTON.
NC2P-55(M)

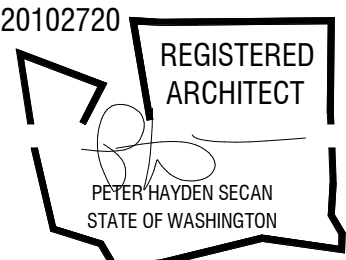
SITE AREA:
3,892 SF



VICINITY MAP



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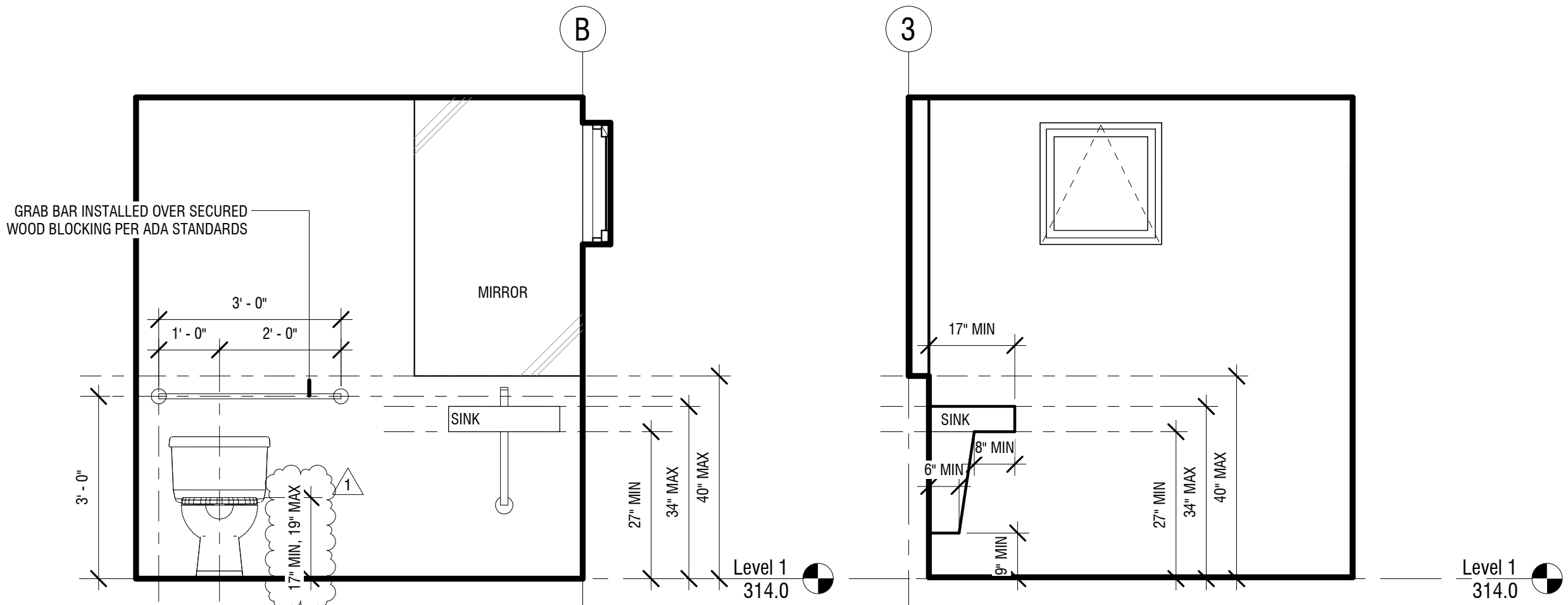
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little thing
BEACON HILL

PROJECT NO.:
6997629-CN

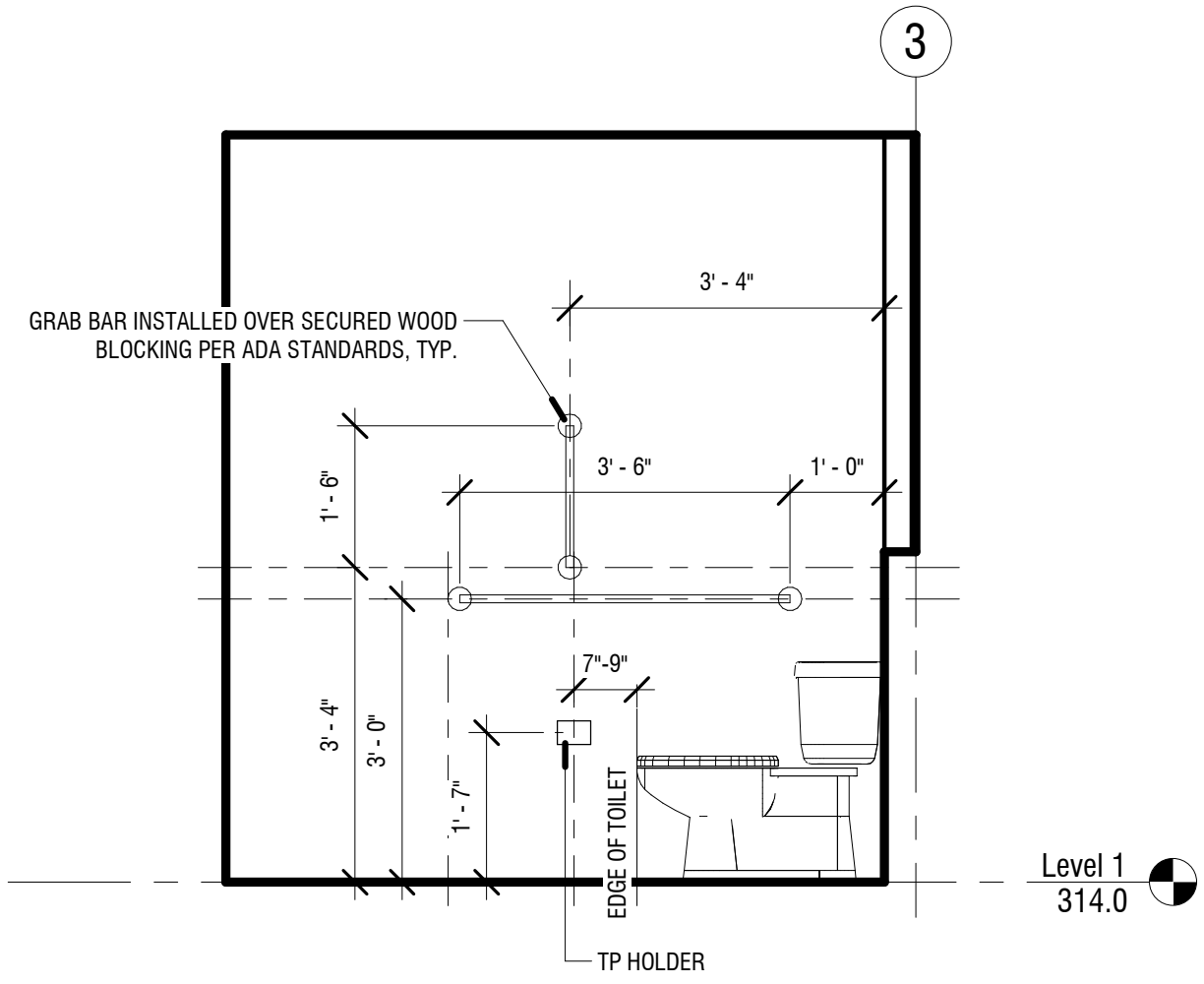
Site Plan
A101

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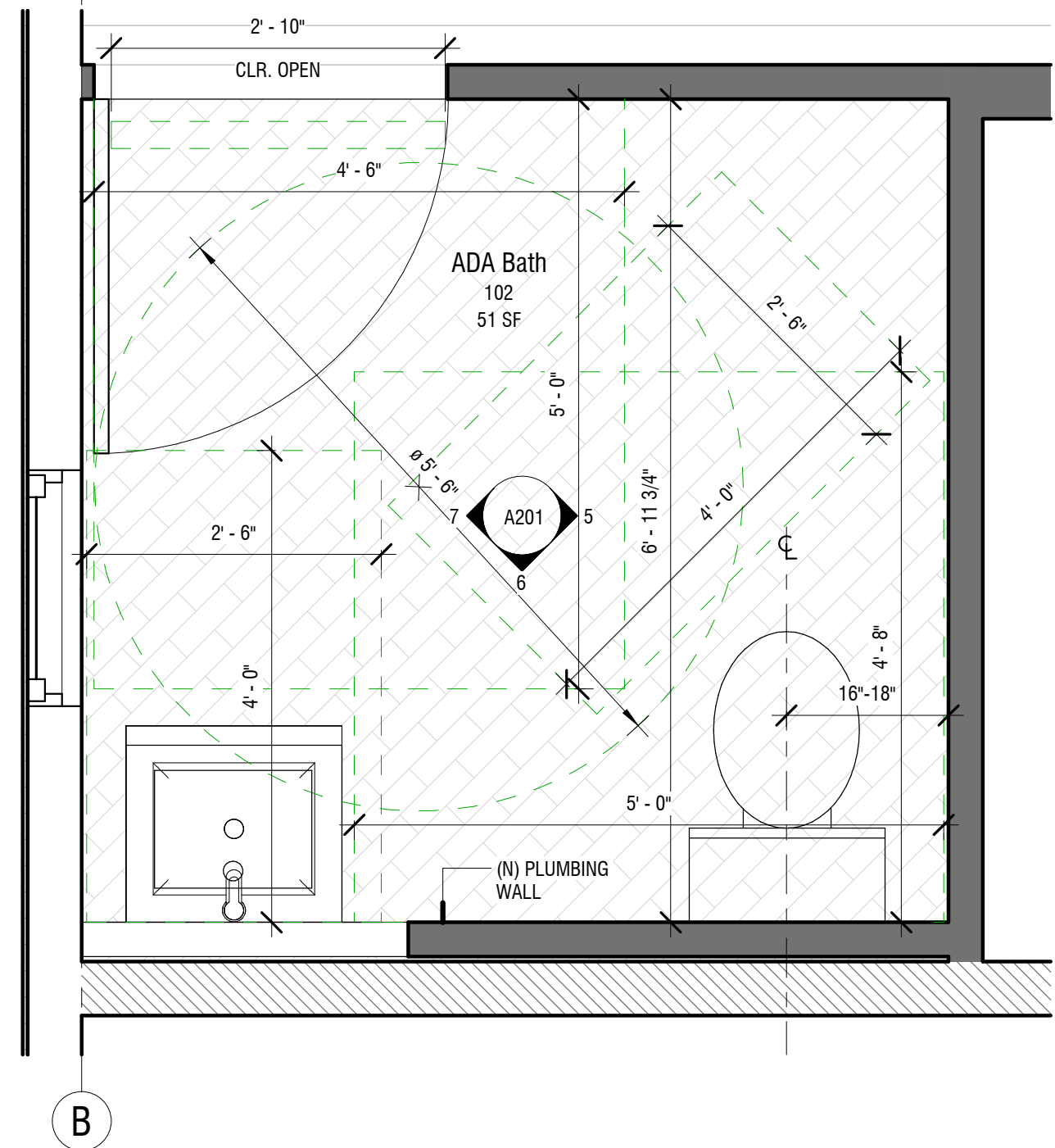


6 Bath Elevation B
1/2" = 1'-0"

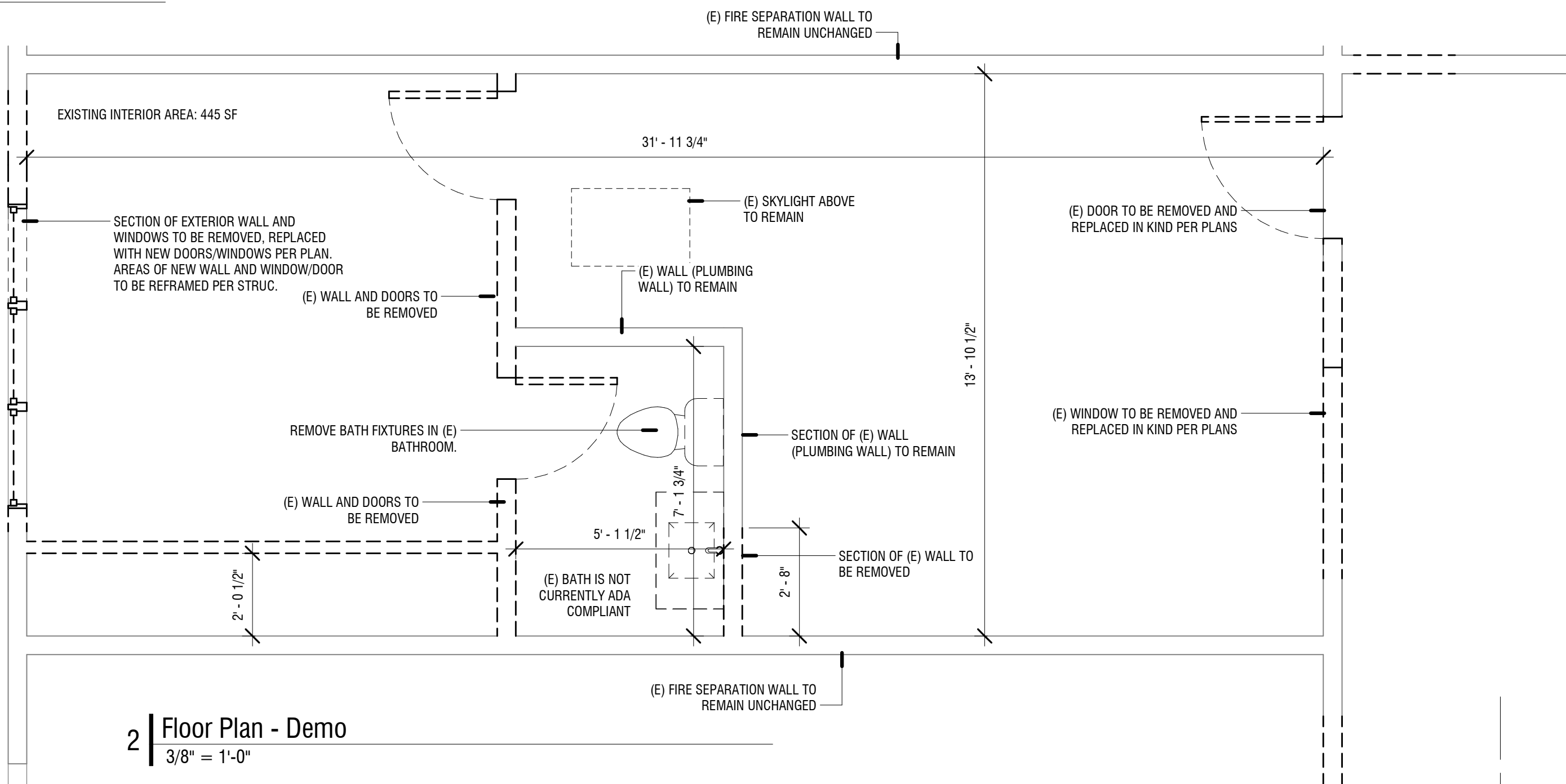
7 Bath Elevation C
1/2" = 1'-0"



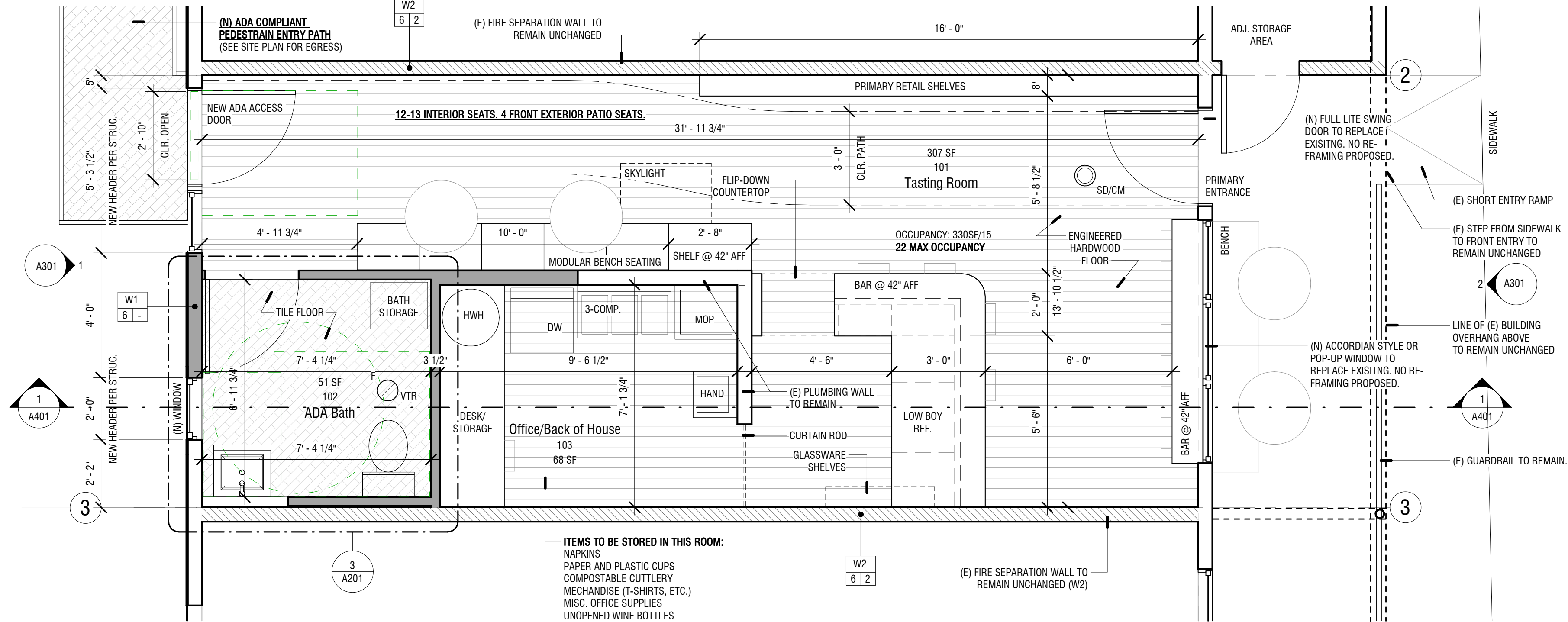
5 Bath Elevation A
1/2" = 1'-0"



3 ADA Bath Plan
3/4" = 1'-0"



2 Floor Plan - Demo
3/8" = 1'-0"



1 Floor Plan - New
3/8" = 1'-0"

FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS. EXTERIOR DIMENSIONS ARE TO GRID LINES, AND FACE OF STUD WALL. INTERIOR DIMENSIONS ARE TO GRIDLINES AND FACE OF STUD WALL. OPENINGS ARE DIMENSIONED TO THE ROUGH OPENING, UNO.
- ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION WORK IS DESIGN BUILD. THE WORK SHOWN HEREIN IS DIAGRAMMATIC AND INTENDED TO ILLUSTRATE THE DESIGN INTENT. NOT SPECIFIC REQUIREMENTS. WORK REQ'D BY APPLICABLE CODES OR TO MAKE THE WORK COMPLETE IS TO BE PROVIDED.
- CONTRACTOR SHALL VERIFY LOCATIONS AND SIZING OF ALL OPENINGS, INCLUDING, BUT NOT LIMITED TO HVAC, DOORS AND WINDOWS WITH APPLICABLE SUBCONTRACTORS.
- CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS, HOOK-UPS, VENTING AND PENETRATIONS FOR ALL FIXTURES AND APPLIANCES PRIOR TO INSTALLATION.
- PROVIDE ARTIFICIAL LIGHTING ADJACENT TO ALL ENTRY DOORS AND STAIRS. SHIELD LIGHT FROM ALL ADJACENT PROPERTIES.
- WINDOW LOCATIONS VARY BY ROOM AND FLOOR LEVEL. SEE PLANS, ELEVATIONS, AND SCHEDULE FOR WINDOW SIZES AND PLACEMENT.
- WINDOW SIZES ARE NOMINAL, ROUGH OPENING WIDTH AND HEIGHT.
- SEE G0.1 AND G0.2 FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- WINDOWS AND DOORS MARKED WITH AN ASTERISK ARE TEMPERED OPENINGS. REFER TO ELEVATIONS FOR WINDOW CONFIGURATIONS AND DOOR TRANSOM WINDOWS.
- PLUMBING, MECHANICAL EQUIPMENT, DUCTS OR VENTS ARE NOT ALLOWED IN THE CAVITY OF THE COMMON 2-HR TOWNHOUSE SEPARATION WALLS.

SMOKE DETECTORS

- A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM.
 - A SMOKE DETECTOR SHALL BE CENTRALLY LOCATED ON EACH FLOOR. IN ALL INSTANCES THIS SHALL BE A COMBINATION SMOKE DETECTOR/CARBON MONOXIDE DETECTOR.
 - AN ADDITIONAL SMOKE DETECTOR SHALL BE INSTALLED IN EACH LOCATION WHERE THERE IS A CEILING HEIGHT CHANGE GREATER THAN 24".
 - SMOKE DETECTORS TO BE 110v, INTERCONNECTED, WITH BATTERY BACKUP.
- SMOKE DETECTOR PLAN SYMBOL:
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR SYMBOL:

VENTILATION REQUIREMENTS

- SOURCE SPECIFIC:
BATHS, TOILET, AND LAUNDRY ROOMS: 50 CFM (INTERMITTENT)
KITCHENS: 100 CFM (INTERMITTENT)
- EXHAUST SYSTEMS SHALL COMPLY WITH SMC 403.8.4.1
 - FANS AND DUCTS SHALL BE SIZED AND CONSTRUCTED PER SMC 403.8.4.2
 - EXHAUST OUTLETS TO BE 3 FEET MIN. FROM PROPERTY LINES AND OPERABLE WINDOWS, AND 10 FEET MIN FROM MECHANICAL AIR INTAKES.
- FRESH AIR EXCHANGE:
EXHAUST THROUGH COMBINATION BATH FANS THAT ACT AS WHOLE HOUSE VENTILATION PER TABLE BELOW. FRESH AIR INLETS THROUGH TRICKLE VENTS IN WINDOWS.
- FAN PLAN SYMBOL: VTR: INDICATES VENT THRU ROOF
- 4" VENT DUCTS THROUGH CEILING OR SOFFIT:

VENTING SHALL BE PER THE 2018 SEATTLE MECHANICAL CODE SECTION 403 AND SHALL BE APPLIED FOR AS A SEPARATE MECHANICAL PERMIT.

SHAFT OPENING

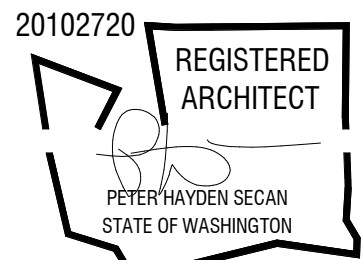
WALL, FLOOR, OR ROOF TYPE

FRAMING SIZE FIRE RATING (IN HOURS)

WALL TYPE LEGEND	
	NEW INTERIOR WALL
	EXISTING INTERIOR FIREWALL (TO REMAIN)
	EXISTING INTERIOR PARTITION WALL (TO REMAIN)
	EXISTING INTERIOR PARTITION WALL (TO BE REMOVED)



MNM Studio, LLC
9546 46th Ave NE Seattle, WA 98122
www.mnmstudio.com



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Health Department	10.18.2023
CP APPLICATION	12.05.2023
MUP APPLICATION	1.31.2024

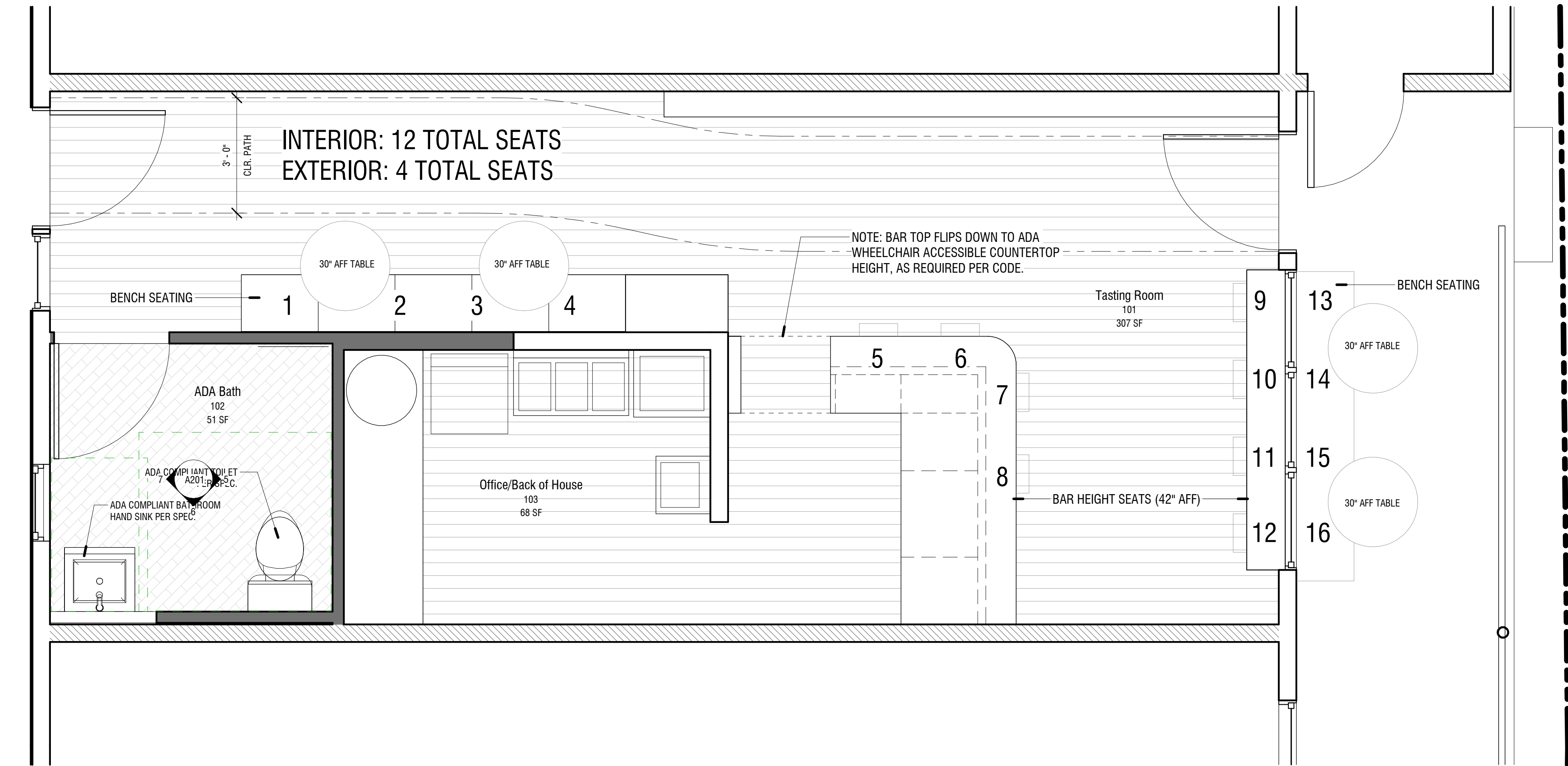
3003 Beacon Ave. S.
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little thing
BEACON HILL

PROJECT NO.:
6997629-CN

Floor Plans
A201

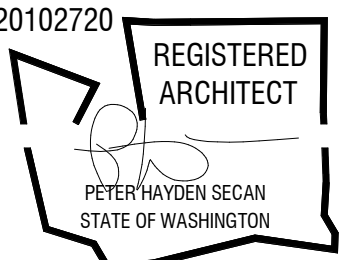
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1 | Seating Plan
1/2" = 1'-0"



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Seating Plan
A203

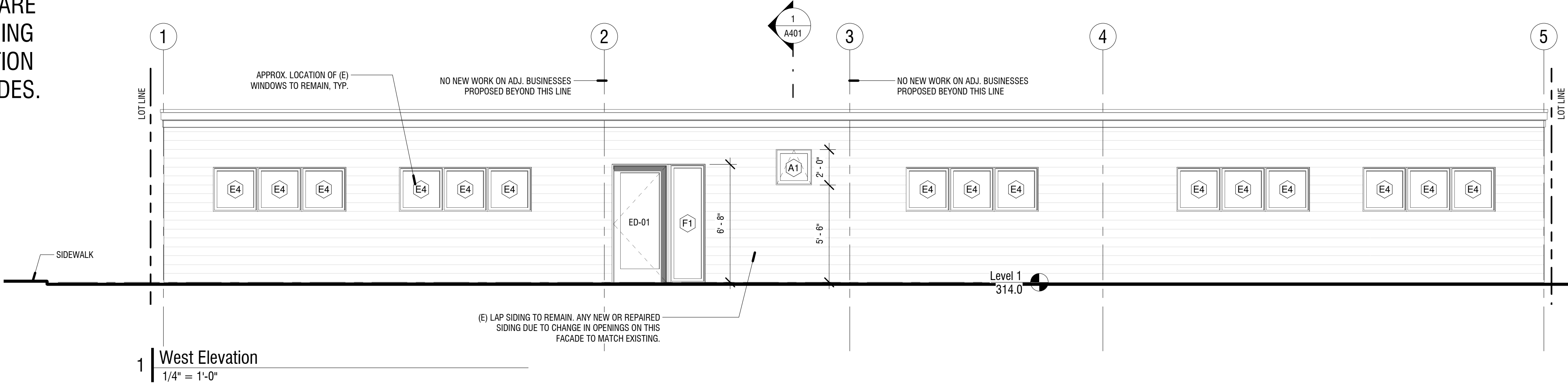
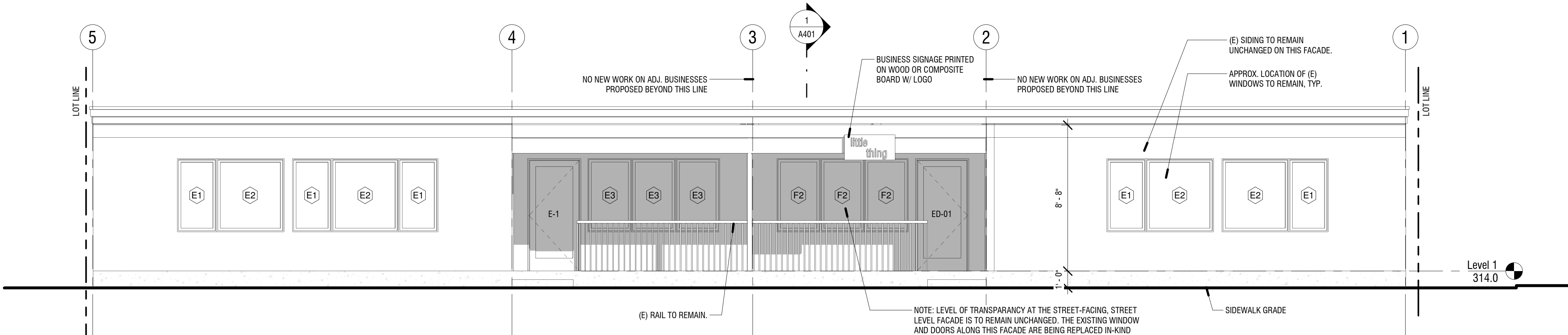
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TABLE C402.1.4 OPAQUE THERMAL ENVELOPE ASSEMBLY MAXIMUM REQUIREMENTS, U-FACTOR METHOD ^a		
CLIMATE ZONE 5 AND MARINE 4		
	All Other	Group R
Roofs		
Insulation entirely above deck	U-0.027	U-0.027
Metal buildings	((U-0.034)) U-0.027	((U-0.034)) U-0.027
Attic and other	U-0.021	U-0.021
Joist or single rafter	U-0.027	U-0.027
Walls, Above Grade		
Mass ^{b,k}	((U-0.104 ^k)) U-0.057	((U-0.078)) U-0.057
Mass transfer deck slab edge ^c	U-0.20	U-0.20
Slab penetrating thermal envelope wall ^b	U-0.10	U-0.10
Metal building ^k	U-0.052	U-0.052
Steel framed ^k	U-0.055	U-0.055
Wood framed and other ^k	((U-0.054)) U-0.051	U-0.051
Walls, Below Grade		
Below-grade wall ^{b, e}	((Same as above-grade)) U-0.070	((Same as above-grade)) U-0.070
Floors		
Mass ^k	U-0.031	U-0.031
Joist framing	U-0.029 steel joist U-0.025 wood joist	U-0.029 steel joist U-0.025 wood joist
Concrete column or concrete wall penetrating thermal envelope floor ^c	U-0.55	U-0.55
Concrete slab floor directly above an electrical utility vault	N.R.	N.R.
Slab-on-Grade Floors		
Unheated slabs	F-0.54	F-0.54
Heated slabs ^c	F-0.55	F-0.55
Opaque Doors		
Swinging door	U-0.37	U-0.37
Nonswinging door	U-0.34	U-0.34
Garage door <14% glazing	U-0.31	U-0.31

Window Schedule												
Type Mark	Description	Width	Height	Construction Type	Manufacturer	Model	Glass Type	Count	AREA	Notes	U-Value	SHGC
A1	New Awning Window	2' - 0"	2' - 0"				LOW E	1	4 SF		0.26	.46
F1	New Fixed Window	2' - 0"	6' - 8"				TEMPERED, LOW E	1	13 SF		0.26	.46
F2	New Accordion Window Frame	2' - 7 1/4"	4' - 4"				LOW E	3	34 SF		0.26	.46
									51 SF			

Door Schedule										
Type Mark	Description	Width	Height	Level	Construction Type	Manufacturer	Model	Area	U-Value	SHGC VAL
ED-01	NEW FULL LITE SWING DOOR	3' - 0"	6' - 7"	Level 1				20 SF	0.26	.46
ED-01	NEW FULL LITE SWING DOOR	3' - 0"	6' - 7"	Level 1				20 SF	0.26	.46
								40 SF		

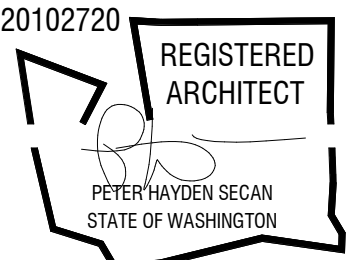
TABLE C402.1 BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS		
CLIMATE ZONE 5 AND MARINE 4		
U-factor for Class AW windows rated in accordance with AAMA/C SA1011.5.2/A440, vertical curtain walls and site-built fenestration products ^a		
Fixed ^b U-factor	(U-0.38) U-0.34	
Operable U-factor	(U-0.40) U-0.35	
Entrance doors ^a		
U-factor	U-0.60	
U-factor for all other vertical fenestration		
Fixed U-factor	(U-0.30) U-0.26	
Operable ^b U-factor	U-0.28	
SHGC for all vertical fenestration		
Orientation ^a	SEW	N
PF < 0.2	0.38	0.51
0.2 ≤ PF < 0.5	0.46	0.56
PF ≥ 0.5	0.61	0.61
Skylights		
U-factor	(U-0.50) U-0.45	
SHGC	(0.35) 0.32	



NOTE: NORTH AND SOUTH ELEVATIONS ARE TO REMAIN UNCHANGED. THE WORK BEING PROPOSED ON THE BUSINESS IN QUESTION DOES NOT FACE EITHER OF THOSE FACADES.



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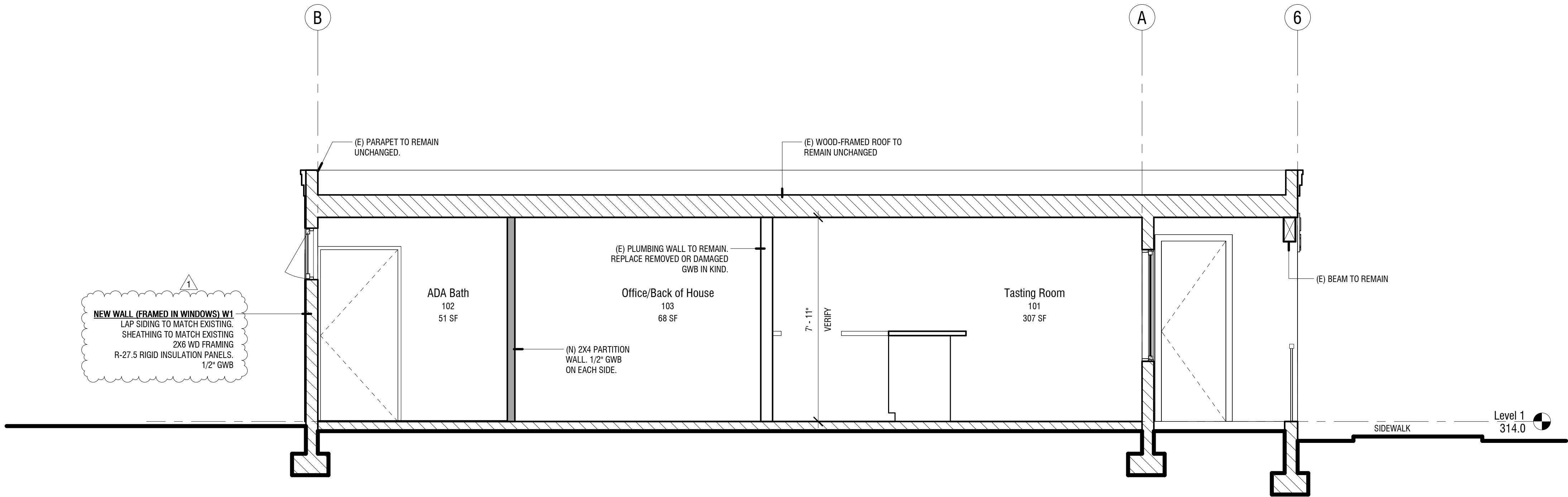
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Exterior Elevations
A301

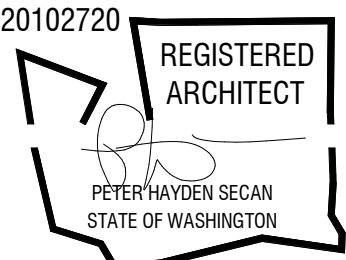
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1 | Building Section
3/8" = 1'-0"



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Building Sections
A401

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