



Code Modification or Alternate Request

Date Requested: _____

Contact Information:

Name: _____

Mailing Address: _____

Phone Number: _____

E-mail Address _____

Relationship to Project:

Owner

Design Professional

Contractor

Project Information:

Record #: _____

Address: _____

Code Edition: _____

Structure Information:

Project Description:

Occupancy Group(s)/ Character:

Type of Construction: _____

Number of Stories: _____

Basements/ Mezzanines: _____

Sprinkler Location: _____

Code Modification Request:

Ref. SBC 104.4. A code modification is a waiver of a code requirement and is intended to provide flexibility to the building official where there are practical difficulties meeting specific code requirements so long as the intent of the code is accomplished.

The requestor is expected to demonstrate:

1. *There are practical difficulties involved in strictly conforming to the provisions of the code; and*
2. *The modification conforms with the intent and purpose of the code; and*
3. *Together with other safety features of the building or other relevant circumstances, the modification will provide a reasonable level of strength, effectiveness, fire resistance, durability, safety, accessibility, and sanitation.*

When engaged for the project, the registered design professional in responsible charge shall submit the request for a code modification under their seal and signature, including a statement that in their professional opinion, the proposal is in conformance with the intent and purpose of the code and the modification will provide a reasonable level of strength, effectiveness, fire resistance, durability, safety, accessibility, and sanitation.

Please attach plans showing your proposal.

Code Alternate Request:

Ref. SBC 104.5. A code alternate is intended to provide for introduction of alternate materials, systems, and methods for which the code did not anticipate, provisional upon the alternate complying with the code and providing an equivalent solution. Essentially, a code alternate is intended to meet a performance standard rather than a prescriptive standard.

The requestor is expected to demonstrate that the alternate does not conflict with the code and together with other safety features of the building or other relevant circumstances, will provide an equivalent level of strength, effectiveness, fire resistance, durability, safety, accessibility, and sanitation.

When engaged for the project, the registered design professional in responsible charge shall submit the request for a code alternate under their seal and signature, including a statement that in their professional opinion, the alternate is equivalent to the code provisions.

Please attach plans showing your proposal.



SDCI Use Only

Approved	Approved with Amendment	Denied
Reasons:	Signature:	

Description of Alternate/ Modification (include reason for request):

Description of Code Requirement (include section):

Justification (attach copies of any reference, test reports, expert opinions, etc.):



Construction Review & Inspection Quality
Ardel Jala, Building Official

OCCUPANCY LEGEND

	A-3 - ASSEMBLY
	B - BUSINESS AREA
	M - MERCANTILE
	R-2 - RESIDENTIAL
	S-1 - STORAGE
	S-2 - STORAGE

ACCESSIBLE MEANS OF EGRESS LEGEND

	EXIT ACCESS
	COMMON PATH
	DEAD END

RATING LEGEND

	NON RATED
	1-HOUR RATED
	2-HOUR RATED
	3-HOUR RATED

TOTAL OCCUPANCY

Level	NAME	OCCUPANCY	AREA	OCC. LOAD	TOTAL OCC.
LEVEL 1	COMMUNITY RM	A-3 - ASSEMBLY - UNCONCENTRATED TABLES & CHAIRS	1,360.71 SF	15	91
LEVEL 1	LOBBY	A-3 - ASSEMBLY - UNCONCENTRATED TABLES & CHAIRS	480.14 SF	15	33
LEVEL 1	FITNESS CENTER	B - BUSINESS AREAS	646.51 SF	50	13
LEVEL 1	BUSINESS	B - BUSINESS AREAS	1,009.50 SF	150	7
LEVEL 1	RESIDENTIAL	R - RESIDENTIAL	5,535.97 SF	200	28
LEVEL 2	COMMERCIAL	M - MERCANTILE - BASEMENT AND GRADE FLOORS	6,751.84 SF	60	114
LEVEL 2	RESIDENTIAL	R - RESIDENTIAL	14,220.84 SF	200	72
LEVEL 3	RESIDENTIAL	R - RESIDENTIAL	25,259.80 SF	200	127
LEVEL 4	RESIDENTIAL	R - RESIDENTIAL	25,259.80 SF	200	127
LEVEL 5	RESIDENTIAL	R - RESIDENTIAL	25,259.80 SF	200	127
LEVEL 6	RESIDENTIAL	R - RESIDENTIAL	25,259.80 SF	200	127
LEVEL 7	RESIDENTIAL	R - RESIDENTIAL	24,881.44 SF	200	125
T.O. PAVERS	LOUNGE	A-3 - ASSEMBLY - UNCONCENTRATED TABLES & CHAIRS	225.00 SF	15	15

NOTE: AREAS THAT ARE SHADED GRAY ARE NOT INCLUDED IN THE PLUMBING CALCULATION PER SBC 2902.1.

PLUMBING FIXTURES

FIXTURES PROVIDED PER OCCUPANT LOAD (TABLE 2902.1 2018 WSBC)

A-3 OCCUPANCY (LOUNGE) = 225 SF (15 OCCUPANT LOAD) = 15 OCCUPANTS
PER SBC 2902.2 EXCEPTION 2, SEPARATE FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES OR TENANT SPACES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH EMPLOYEES AND CUSTOMERS, OF 15 OR FEWER

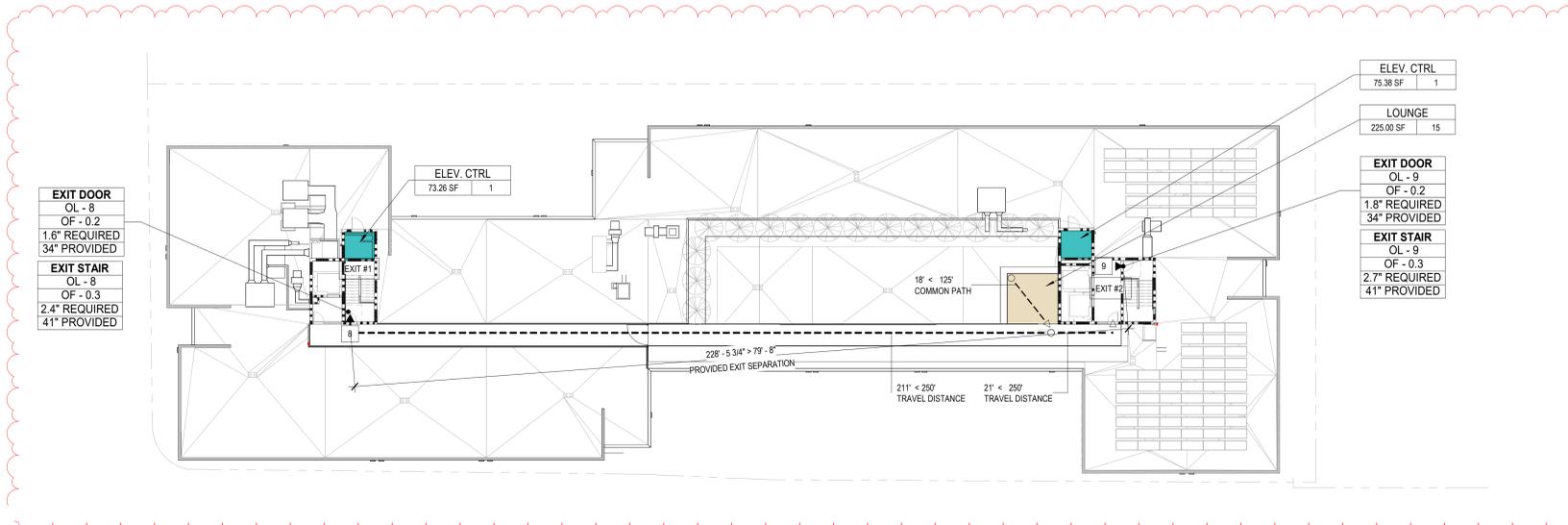
WATER CLOSETS
15 OCCUPANTS (A-3 OCC.) = 1 WC REQUIRED

LAVATORIES
15 OCCUPANTS (A-3 OCC.) = 1 LAV REQUIRED

REDUCTION PROPOSED PER CCI 2018-SBC 2902.1 SCENARIO 1:
ROOF LOUNGE IS NOT FOR PUBLIC USE. IT IS RESERVED FOR THE EXCLUSIVE USE OF RESIDENTS.

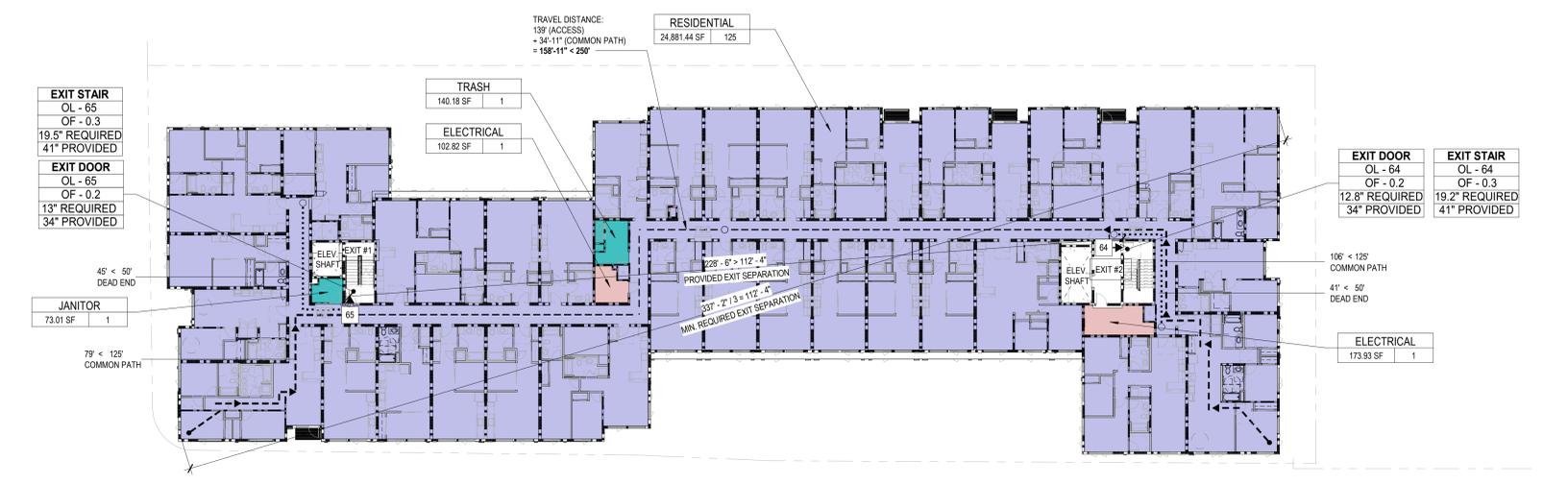
REDUCE REQUIREMENT BY (1) WATER CLOSET AND (1) LAVATORY
= 0 WATER CLOSETS AND 0 LAVATORIES REQUIRED

DRINKING FOUNTAINS
PER SBC 2902.9 DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER



ROOF PLAN - EGRESS DIAGRAM
SCALE: 1" = 20'-0"

3 G0.42



LEVEL 7 - EGRESS DIAGRAM
SCALE: 1" = 20'-0"

2 G0.42



LEVEL 6 - EGRESS DIAGRAM
SCALE: 1" = 20'-0"

1 G0.42