



July 26, 2023

Seth Hale  
N5 Architecture  
2562 Dexter Ave N  
Seattle, WA 98109



**RE: 1446 NW 53<sup>rd</sup> St Mixed Use – Project Completion**  
**DPD Project No: 66391152**

Dear Seth:

We present an overview of structural observations of the project at 1446 NW 53<sup>rd</sup> St in Seattle, WA for your review. Structural observation, as required in Section 1704 of the Seattle Building Code, has been performed on this project.

We visually observed the structural systems for general conformance to the approved plans and specifications. This observation does not include or waive inspections as required in Sections 110, 1705. To the best of our knowledge, the work observed was in general conformance with the structural portions of the contract documents, except as noted in our enclosed construction observation reports.

In our structural observation, selected portions of the work were reviewed closely. Such review procedures were conducted in accordance with commonly accepted standards of practice. The building official understands that such procedures indicated actual conditions only where the review was performed and that the results were inferred to exist in other areas not reviewed.

The building official also recognizes that the structural review is a technique employed to minimize the risk of problems arising during construction. Structural observation by the design professional does not constitute warranty or guarantee of any type. In all cases, the contractor shall retain responsibility for the quality of work and for adherence to the approved plans and specifications

Sincerely,  
Frank Co.

A handwritten signature in black ink, appearing to read 'Elizabeth Fekete'.

Elizabeth Fekete, SE  
Principal



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## Field Report

To: Steve Austin – SACO Construction  
From: Liz Fekete  
CC: Seth Hale – N5 Architecture  
Date: 6/7/2022  
Re: 1446 NW 53<sup>rd</sup> Street

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At your request, we were on site at the project located at 1446 NW 53<sup>rd</sup> Street on Monday, June 6, 2022 to perform structural observations of the Level 2 post-tensioned slab prior to pouring the slab, which is scheduled for Wednesday, June 8, 2022.

Based on our observations, the completed work met the intent of the structural design with the following clarifications and modifications:

1. The large diameter conduit at the transformer vault was in conflict with the PT tendon locations. Adjustments were being made while still on site to provide clearance between the conduit and the PT tendons.
2. The plumbing sleeve at the column at the northwest corner, Grids A & 6, required a steel jacket.
3. We reviewed the condition for the combination of plumbing penetrations and conduit in the slab at the column at Grid Lines C & 3. The conduit should be relocated outside the last stud on the studrails at the column.
4. Cleaning of the deck had not been completed.
- 5.

All other observed conditions that required modifications were minor in nature and are to be addressed prior to pouring the slab. Please call if you have any questions or concerns regarding this information.



06-14-2022

## Memo

To: Steve Austin – SACO Construction  
From: Liz Fekete  
CC: Seth Hale – N5 Architecture  
Date: 6/13/2022  
Re: 1446 NW 53<sup>rd</sup> St PT Deck

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At your request, we have reviewed the post-tensioning stressing report for the Level 2 post-tensioned concrete slab provided by Otto Rosenau & Associates, Inc., dated 06-13-2022. There were a number of tendons out of tolerance by 1/8". Based on the information provided, the slab is acceptable as-is. No remedial action is required.

It is acceptable to cut the tendon tails once 24 hours have passed from the time of stressing.

Please call if you have any questions regarding this information.



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## Field Report

To: Steve Austin – SACO Construction  
From: Liz Fekete  
CC: Seth Hale – N5 Architecture  
Date: 2/21/2023  
Re: 1446 NW 53<sup>rd</sup> Street

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At your request, we were on site at the project located at 1446 NW 53<sup>rd</sup> Street on Wednesday, February 15, 2023 to perform structural observations of the wood framing levels and review items noted in the special inspection report dated 02-01-2023 provided by Otto Rosenau and Associates.

The following are our responses to the list of items in this report, attached here, with corresponding numbering:

1. The non-galvanized MiTek hold downs are acceptable.
2. The hold down nuts shall be corrected by GC and verified by Special Inspector.
3. All fasteners in contact with FRT lumber shall be hot-dipped galvanized. Un-galvanized thru bolts used at paired HDU-type hold downs shall be replaced with galvanized.
4. The solid blocking within rim at HD posts and king studs shall be completed by GC and verified by Special Inspector.
5. (not used)
6. TJI web stiffeners shall be provided at all TJIs under king studs and shall be corrected by GC and verified by Special Inspector.
7. UPS brand hold down straps are acceptable as a substitute for Simpson straps per updated hold down schedule in SSK-12, attached.
8. Refer updated hold down schedule in SSK-12, attached.
9. Refer updated hold down schedule in SSK-12, attached.
10. GC to correct shear wall nailing and Special Inspector to confirm.
11. It is acceptable for nails to be placed in lower plate of double top plate.
12. GC to add galvanized nails of sheathing to PT bottom plate and Special Inspector to confirm.
13. Per GC, 0.131" x 3" nails were used. This is acceptable in lieu of 0.135" x 3-1/2" bottom plate nails. Special Inspector to confirm nail shank diameter and length.
14. Bottom plate nailing into rim/blocking to be completed by GC and confirmed by Special Inspector.
15. Stitch nailing to be completed by GC and confirmed by Special Inspector.
16. A35/LTP4 installation to be corrected by GC and confirmed by Special Inspector.
17. Additional sill plate anchor bolts installed by GC. Special inspection was not performed at the time of installation. Direction was provided to GC for process for Special Inspector to confirm proper installation methods. Additional follow up evaluation of documentation is required.
18. The condition was evaluated at the PT slab level, and the criteria for meeting the exception to the requirement for the plate washer within 1/2" of sheathed edge of the walls are met in all but the

locations provided in SSK-13 attached. Plate washers within 1/2" of sheathed edge are required at the locations noted in SSK-13.

19. Washers shall be added by GC and confirmed by Special Inspector.
20. Anchor bolts were added by GC. Special Inspector to confirm.
21. Direction was provided to GC for a CS16 strap added across all splices not meeting criteria. Special Inspector to confirm installation.
22. Nailing to be completed by GC and Special Inspector to confirm.
23. A stud shoe shall be added at studs drilled for plumbing in non-bearing shear walls. Plate strapping requirements are noted in detail 7/S6.3.
24. Where LSL not installed over interior shear walls, SSK-8 was provided for corrective action. Special Inspector to confirm installation.
25. Double rim is provided for fire-rating, not structural purposes. Arch to provide direction.
26. TJI rim blocking is acceptable at Level 7, only. LSL/LVL blocking to be added at all other levels with correct nailing per SW schedule.

Please call if you have any questions or concerns regarding this information.

# OTTO ROSENAU & ASSOCIATES, INC.

Geotechnical Engineering, Construction Inspection & Materials Testing

## STRUCTURAL WOOD FRAMING INSPECTION REPORT

Report Number: SWD442268

Project Name: 53rd Apartments (Chinook Ballard)

Job Number: 21-0869

Project Address: 1446 NW 53rd St, Seattle

Permit: 6691152-CN-002

Client Name: Chinook Ballard, LLC

### Inspections Performed

Nail/Screw Size and Spacing	<input checked="" type="checkbox"/>	Bottom Plate Nailing Attachment:	<input checked="" type="checkbox"/>
Anchor Bolt and Spacing	<input checked="" type="checkbox"/>	Sheathing Nailing	<input checked="" type="checkbox"/>
Blocking	<input checked="" type="checkbox"/>	Diaphragm Nailing	<input type="checkbox"/>
Installation of Holdown System	<input checked="" type="checkbox"/>	Sheathing Rated By: APA	
Clips <input checked="" type="checkbox"/> Straps <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Sheathing Type/Thickness: Plywood 1/2"	
Hardware Mfg.: MiTek and USP		Other (specify): Fire treated & ext.	<input checked="" type="checkbox"/>

Reference Standard(s) Used:

### Inspector and Date

### Remarks

Darren Reid  
02/01/2023

Initial inspection of shearwall framing, sheathing, and holdowns found that at Levels 1-7 these items (various locations) need corrections, addition, and/or replacement:

#### Holdowns:

1. MiTek (non-galvanized) holdowns placed in lieu of Simpson holdowns.
2. Holdown nuts incomplete and/or not tight.
3. All fasteners in contact with fire-treated wood must be hot dip galvanized.
4. Solid rim blocking at holdown posts and king studs incomplete.
6. All I-joists within holdown king studs rim need approved web stiffeners.
7. UPS brand holdown straps placed in lieu of Simpson CMSTT, CMSTC floor to floor straps.
8. CMST16 straps placed where plans require SMST12 and vice versa.
9. Straps places over sheathing with only 1-1/2" nails, over sheathing requires 2-1/2" nails.

#### Shearwalls and Framing:

10. Sheathing nailing incomplete at interior shearwalls.
11. Nails at plywood top edge are placed into lower top plate in lieu of upper top plate.
12. Non-galvanized nails used at plywood bottom edge into pressure treated plates.
13. 0.131X2-1/2" nails used at bottom plate nailing where plans require 0.135X3-1/2" nails.
14. All bottom plate nailing is not into rim below as required.
15. Double 2x's used at abutting panel edges need stitch nailing per plan, 11/S6.1.
16. A35/LTP4's at top plate to rim connect are spaced wide and/or missing nails.
17. Anchor bolts spacing is wide, need more anchor bolts.
18. Anchor bolt washers do not extend to within 1/2" of bottom plates as required.

Copies to:

- ☒ Client ☒ Engineer ☐ Others  
☐ Owner ☒ Contractor  
☒ Architect ☒ Building Dept

Technical Responsibility: \_\_\_\_\_

Isaac Ruoff, Project Manager

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6747 M.L. King Way S., Seattle, Washington 98118 ~ Phone (206) 725-4600 ~ Fax (206) 723-2221

Form No.: ADMIN-108-01

Page 1 of 2

19. All slotted anchor bolt washers need standard round cut washers between nut and slot.
20. Some interior shearwalls have no room for anchor bolts. Engineer's direction needed where room does not exist.
21. Upper and lower top plate cord splices are not 6'0" apart as required. Some are 2'0" apart and happen above king studs.
22. Nailing of upper and lower top plates incomplete at cord splices, 2/S6.1.
23. Drilled and bored holes in plates and studs need reinforcing per engineer's detail.
24. LSL at interior drag struts, 2-2.1/A-B, do not bear on shearwalls below.
25. (2) 1-3/4" LSL required at exterior walls where contractor placed only (1) 1-3/4" LSL at above windows only.
26. TJI used for rim blocking are not fastened to wall top plates as required.

Conforms: **No**

Copies to:

- |   |   |                                 |
|---|---|---------------------------------|
| <input checked="" type="checkbox"/> Client    | <input checked="" type="checkbox"/> Engineer      | <input type="checkbox"/> Others |
| <input type="checkbox"/> Owner                | <input checked="" type="checkbox"/> Contractor    |                                 |
| <input checked="" type="checkbox"/> Architect | <input checked="" type="checkbox"/> Building Dept |                                 |

Technical Responsibility: \_\_\_\_\_  
Isaac Ruoff, Project Manager

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Holdown Schedule				
Level	Holdown	Holdown Studs if 2x4      if 2x6		Detail
7	(2)CS16 w/ (30) 0.148" x 1-1/2" each end	2	2	6/S6.1
6	CMST12 w/ (30) 0.148" x 1-1/2" each end + CS16 w/ (15) 0.148" x 2-1/2" each end	4x4	4x6	5/S6.1
5	CMSTC16 w/ (60) 0.148" x 1-1/2" each end + CMSTC16 w/ (30) 0.148" x 2-1/2" each end	4x6	4x6	5/S6.1
4	HDU11	4x12	6x8	9/S6.1
3	HDU14	4x12	6x8	10/S6.1
Schedule Notes:				
1. Holdowns in table are as reference from Simpson Catalog C-2019. 2. Holdowns are called out on the level they occur. 3. Contractor may use equivalent area for 3x, 4x or 6x studs as required. 4. CMSTC16 & CMST12 per MiTek.				

### SSK-12: Revised Hold Down Schedule

1446 NW 53rd St  
EAF/Frank Co  
02-14-2023



02-14-2023





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4742 42nd ave sw, #297  
seattle, wa 98116  
206.579.8160



Project:

**53rd Apartments**  
1446 NW 53rd St.  
Seattle, WA 98107

MAS Architecture, LLC  
2562 Dexter Ave. N.  
Seattle, Washington 98109

Frank Co. Project No.: 0031-2019-07  
Design: EAF  
Drawn: SMG  
Approved: EAF  
Issue: Permit  
Date: 06-07-2019

- Revisions:
- 1 Permit Corrections 12-27-2019
  - 2 Permit Corrections #2 07-08-2020
  - 3 Permit Corrections #3 01-19-2021



For Building Department use:

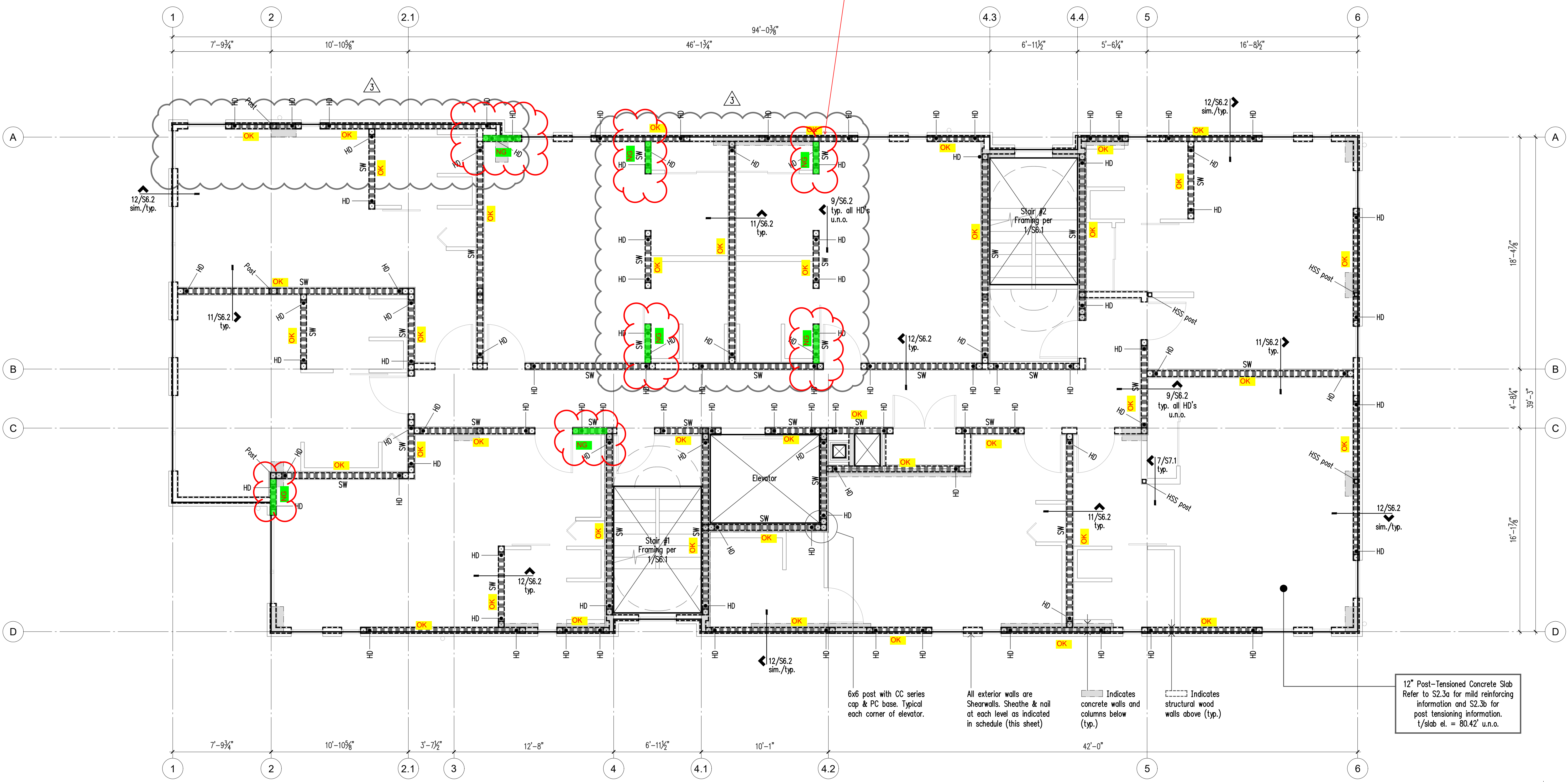
Sheet Contents:  
Level 3  
Wood Walls Above  
Framing Plan

Scale (u.n.o.): 1/4"=1'-0"  
Sheet No.:

**S2.3c**

SSK-13: Shear wall anchor bolt washer requirements  
EAF/Frank Co.  
02-16-2023

CLOUDED LOCATIONS HILIGHTED  
IN GREEN ARE REQUIRED TO HAVE  
PLATE WASHERS WITHIN 1/2" OF  
THE EDGE OF THE BOTTOM PLATE  
ON SHEATHING SIDE OF THE WALL.



12" Post-Tensioned Concrete Slab  
Refer to S2.3a for mild reinforcing  
information and S2.3b for  
post tensioning information.  
t/slab el. = 80.42' u.n.o.

6x6 post with CC series  
cap & PC base. Typical  
each corner of elevator.

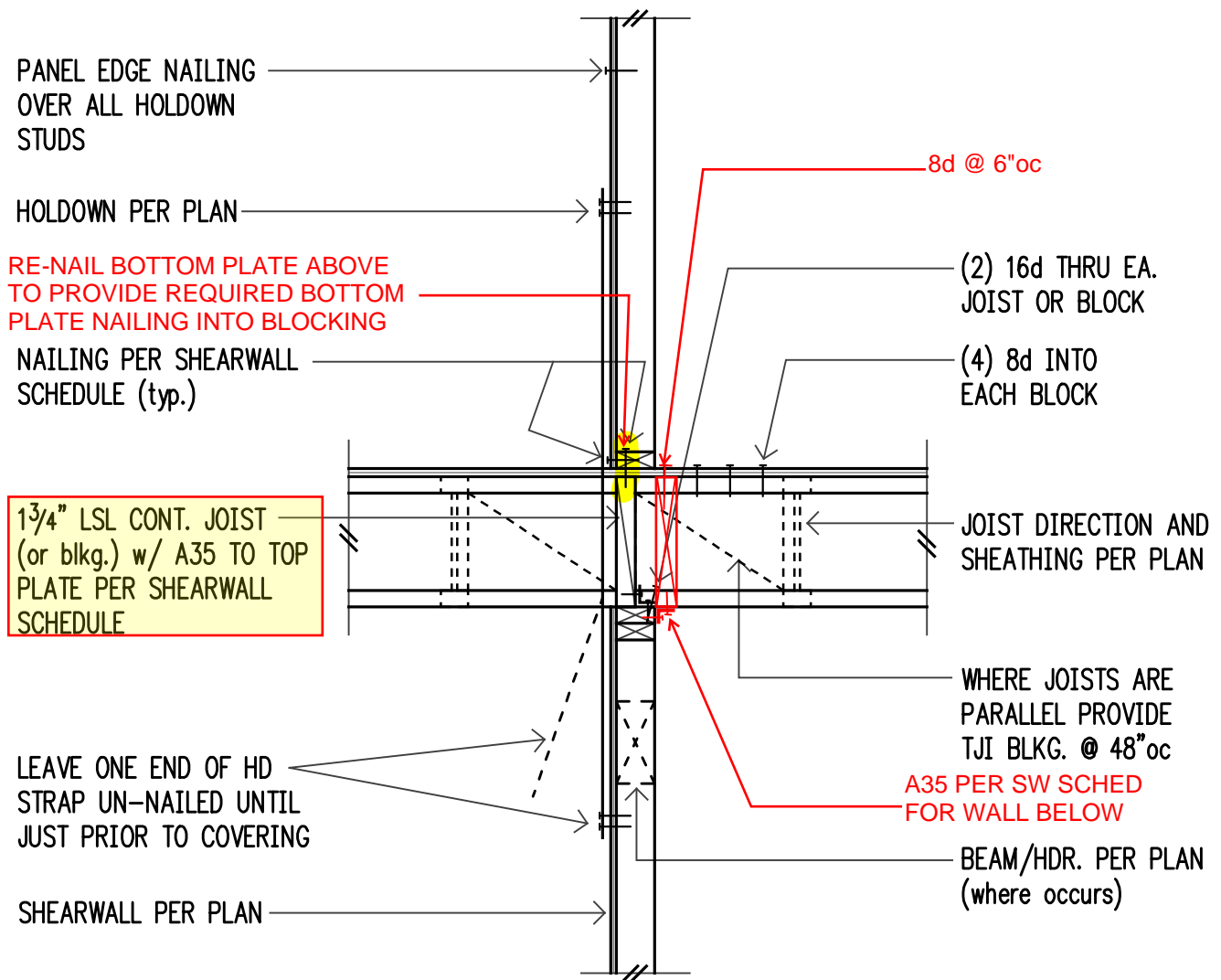
All exterior walls are  
Shearwalls. Sheathe & nail  
at each level as indicated  
in schedule (this sheet)

Indicates  
concrete walls and  
columns below  
(typ.)

Indicates  
structural wood  
walls above (typ.)

**Level 3 Wood Walls Above Framing Plan**

Refer to S2.3a for level 3 mild reinforcing information  
Refer to S2.3b for level 3 post tensioning information  
Scale: 1/4"=1'-0"



## SSK-8 BLOCKING AND NAILING AT INTERIOR SHEAR WALLS

1446 53rd

EAF/Frank Co.

10-24-2022



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## Memo

To: Steve Austin – SACO Construction  
From: Liz Fekete  
CC: Seth Hale – N5 Architecture  
Date: 7/21/2022  
Re: 1446 NW 53<sup>rd</sup> St PT Deck



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At your request, we have reviewed the post-tensioning stressing report for the Level 3 post-tensioned concrete slab provided by Otto Rosenau & Associates, Inc., dated 07-21-2022. There were a number of tendons out of tolerance by 1/8". Based on the information provided, the slab is acceptable as-is. No remedial action is required.

It is acceptable to cut the tendon tails once 24 hours have passed from the time of stressing.

Please call if you have any questions regarding this information.



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## Memo

To: Steve Austin – SACO Construction  
From: Liz Fekete  
CC: Seth Hale – N5 Architecture  
Date: 7/10/2023  
Re: 1446 NW 53<sup>rd</sup> St Special Inspections



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At your request, we have reviewed the special inspection requirements for the project at 1446 NW 53<sup>rd</sup> Street. The metal stud framing utilized on the project is non-structural infill framing within the concrete framing levels. As such, we do not require special inspections for this framing.

Please call if you have any questions regarding this information.