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S:\1-PROJECTS\3359-MORELLA\1 6339.01 - 55TH AND ROOSEVELT WAY\02-CADD\ARCHIVE\MAP 2

ABBREVIATIONS				PROJECT DIRECTORY		GENERAL NOTES		INDEX OF DRAWINGS	
& @ #	AND CENTERLINE POUND OR NUMBER	GC GFA GLAM GSF GWB GYP	GENERAL CONTRACTOR GROSS FLOOR AREA GLUE LAM GROSS SQUARE FEET GYPSUM WALLBOARD GYPSUM	OWNER ENZO MORELLA P.O. BOX 98063 SEA TAC, WA, 98168	ARCHITECT TWIST DESIGN, INC 4444 WOODLAND PARK AVE N, SUITE 100 SEATTLE, WA 98103 (206) 402-4484 KIRK CALLISON KIRKC@TWIST-DESIGN.COM	GENERAL 1. The Contractor shall be responsible for safety in the area of work at all times in accordance with applicable safety codes. 2. The Contractor shall indemnify and hold the Owner/Architect/Engineer harmless for injury or death to persons or for damage to property caused by the negligence of the Contractor, his agents, employees, or subcontractors. 3. Each Contractor shall be responsible for damage to adjacent work and shall repair said damage at his own expense. Contractor to obtain all required permits and approvals for damage reparations for such work. 4. HVAC, Mechanical, Electrical, Plumbing, Fire Sprinklers and Vertical Transportation are Design Build under separate permit. 5. CODES: All work shall conform to the applicable Building Codes and Ordinances. In case of any conflict where the methods or standards of installation of the materials specified do not equal or exceed the requirements of the laws or ordinances, the laws or ordinances shall govern. Notify the Architect of all conflicts. 6. DRAWINGS AND SPECIFICATIONS: Structural, Mechanical and Electrical Drawings are supplementary to these drawings. The Contractor shall notify the Architect of all discrepancies between the Consultant's drawings with a written request for clarification. Any work installed in conflict with these Drawings or Specifications shall be corrected by the Contractor at no expense to the Owner or Architect. 7. All items marked "N.I.C." are not part of this contract. 8. All work shall be applied in accordance with the manufacturer's latest recommendations or written directions. 9. Where construction is not shown or noted for any part of the work, the details shall be the same as for other similar work. 10. Where devices or items or parts thereof are referred to in singular, it is intended that such shall apply to as many such devices, items or parts as are required to properly complete the work. 11. Contractor shall verify all "building standards" with building landlord prior to beginning any work. However, there shall be no deviations whatsoever from the contract documents without the architect's written approval thereof. The contractor agrees to defend, indemnify, and hold the architect harmless from any claims arising as a result of unapproved changes. 12. Contractor shall request verification from utility companies of underground utility locations prior to beginning excavations. 13. The contractor will verify and conform to all requirements of all utility companies unless otherwise noted in the plans and specifications. 14. All debris shall be removed from premises and all areas shall be left in a clean (broom) condition at all times. 15. Owner shall provide building permit to the contractor prior to commencement of work. 16. Contractor shall secure relevant city and state approvals relating to fire, construction, labor, health and licensing. Contractor shall further post all bonds and secure all insurance required by law or contract, forwarding proof of such actions to the owner prior to commencement of construction. 17. Contractor shall secure and provide all permits for occupancy, utilities and any others required by governing authorities beyond the basic building permit, making timely applications and inquiries, paying all fees and posting all bonds to be released at the completion of construction. 18. Approved plans shall be kept in a plan box and shall not be used by any workmen. All construction sets shall reflect the same information as well as all revisions, addenda, and change orders. The contractor shall also maintain in good condition, one complete set of plans with all revisions, addenda, and change orders, on the premises at all times which are to be under the care of the job superintendent. 19. The contractor shall be responsible for the complete security of the buildings and site while job is in progress and until the job is completed. 20. All work shall be guaranteed for a period of one (1) year after completion, unless otherwise specified, and shall be so stated in contractor's written proposal and agreement. All repairs, corrections, discrepancies, etc., must be made without any additional cost to the owner, and within 24 hours after notice is given. 21. All operations during construction conducted on the premises shall not be objectionable beyond the property boundary lines by reason of noise, steam, odor, fumes, gases, smoke, vibration, hazard or other causes. 22. Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. 23. Flammable liquids shall not be places, stored, or dispensed in this occupancy except as provided in N.F.P.A. standard 30 and the current uniform fire code. Permit may be required. 24. The contractor shall provide as-built modifications to architectural, structural, mechanical, electrical, fire and smoke monitoring detection systems on reproducible's. Such as-built drawings will be completed, submitted, and approved by the owner prior to the final payment. 25. An approved public safety key box shall be installed adjacent to the main entrance and shall be clearly visible and mounted within ten feet of the ground. The key box shall contain keys to open doors or other access means at the following locations: Confirm location w/ Fire Marshall. 25.a. The main entrance. 25.b. Rooms containing fire alarm system control panels. 25.c. Rooms containing main electrical service panels. 25.d. All keys shall be clearly marked as what door, room, area, or lock they serve. 26. The address shall be prominently displayed per City requirements. 27. The contractor shall ensure that this project, and all construction activities related thereto, conform with all local, regional, state, and/or federal regulations pertaining to disturbing, displacing, and/or removal of asbestos or asbestos containing materials. Note specifically, that the contractor shall conform with the requirements of the Puget Sound Air Pollution Control Agency regarding, inspection, certification, and notification.	CIVIL BARGHAUSEN CONSULTING ENGINEERS, INC. 18215 72ND AVE SOUTH, KENT, WA 98032 (425) 251-6222 CHRIS JENSEN CJENSEN@BARGHAUSEN.COM	LANDSCAPE BARGHAUSEN CONSULTING ENGINEERS, INC. 18215 72ND AVE SOUTH, KENT, WA 98032 (425) 251-6222 JEFF VARLEY JVARLEY@BARGHAUSEN.COM	GENERAL INFORMATION AND ZONING CODE COVER SHEET GENERAL INFORMATION ZONING REQUIREMENTS FAR REQUIREMENTS AND DESIGN REVIEW ATTACHMENT B CODE REQUIREMENTS EXITING PLANS SURVEY 1 OF 1 TOPOGRAPHIC SURVEY CIVIL C1.0 PRELIMINARY SITE PLAN AND SURVEY LANDSCAPE L1 TREE PROTECTION PLAN L2 PRELIMINARY LANDSCAPE PLAN L3 CONTAINER EXHIBIT L4 GREEN FACTOR WORKSHEET L5 PRELIMINARY LANDSCAPE NOTES AND DETAILS L6 PRELIMINARY IRRIGATION PLAN - STREET LEVEL L7 PRELIMINARY IRRIGATION PLAN - ROOF TOP ARCHITECTURAL A1.00 SITE PLAN A1.01 DEMO PLAN A2.01 FIRST FLOOR PLAN A2.02 SECOND FLOOR PLAN A2.03 THIRD FLOOR PLAN A2.04 ROOF PLAN A3.00 BUILDING ELEVATIONS A3.01 BUILDING ELEVATIONS A3.02 COLOR ELEVATIONS A3.03 BUILDING SECTIONS
ABV ACT ADJ AFF APPROX ARCH	ABOVE ACOUSTICAL CEILING TILE ADJUSTABLE ABOVE FINISH FLOOR APPROXIMATE ARCHITECTURAL	HB HM HMZ HR HVAC	HOSE BIBB HEIGHT HOLLOW METAL HORIZONTAL HOUR HEATING VENTILATING AIR CONDITIONING HOT WATER			MECHANICAL / ELECTRICAL & PLUMBING 1. Mechanical, Electrical and Plumbing systems are design build by others. 2. Mechanical, Electrical and Plumbing Contractors shall be responsible to maintain compliance with all applicable codes and standards, and obtain all necessary permits and approvals. 3. Deviations from dimensioned locations must be approved by the Architect. 4. The General Contractor shall bring to the attention of the Architect all discrepancies between the Mechanical, Electrical and Plumbing construction documents prior to the commencement of work. 5. HVAC, Mechanical, electrical and plumbing drawings for all required rough-ins, trenching and electrical backboard locations. 6. Electrical rough-in and reflected ceiling plan are for the general information of the contractor. Exact locations should be verified. 7. Exit signs and emergency exit illumination shall conform to the IBC 2012 and fire marshal requirements. Contractor to provide and install emergency light and exit lighting as required by the fire and building departments. Confirm acceptability of locations with owner's representative before installation. 8. Sound insulate all plumbing walls and lines. DIMENSIONS 1. All information shown on the drawings relative to existing conditions are given as the best present knowledge but without guarantee of accuracy. The Contractor shall field verify existing conditions and dimensions and shall notify the Architect of any discrepancies or conditions adversely affecting the Architect of any discrepancies or conditions adversely affecting the design prior to proceeding with the work. 2. Exterior dimensions of plans are to the building gridlines or interior stud face unless otherwise noted. Interior dimensions of plans are to building gridlines or center of stud unless noted otherwise. See Symbols Legend A0.00. 3. Do not scale drawings: The Contractor shall use dimensions shown on the Drawings and actual field measurements. Notify the Architect if discrepancies are found. COORDINATION: The General Contractor shall be responsible for the verification and coordination of the work of all trades to assure compliance with the Drawings and Specifications. 5. Contractor is to verify all existing conditions, dimensions, details, etc., and notify the architect of any and all discrepancies prior to proceeding with the work. 6. Existing elevations and locations to be joined shall be verified by the contractor before construction. If they differ from those shown on the drawings, the contractor shall notify the architect so that modifications can be made before proceeding with the work. 7. The contractor shall verify all door and window rough opening dimensions with door and window manufacturers. FIRE PROTECTION 1. Provide Fire Protection at all penetrations of the fire rated elements as required by Code. 2. All required fire doors shall bear a label from a recognized agency showing the specific rating. 3. An approved automatic, manual, or automatic and manual fire alarm system shall be installed in the proposed building per local and I.F.C. requirements. Fire alarm system shall be bidder designed. NFPA 13 Sprinkler System shall be installed throughout. 4. Provide a bidder designed fire sprinkler alarm system complying with Americans with Disabilities Act and I.B.C. & NFPA 72G requirements. System shall be designed and submitted to the Governing city and the Fire Marshall for approval prior to installation. Approved plans shall be submitted to the bidder design mechanical and electrical engineers.			
BD BLDG BLK BLKG BOT	BOARD BUILDING BLOCK BLOCKING BOTTOM	INT	INTERIOR						
CG CJT CLG CLO CLR CMU COL CONC CONT CORR CPT CT CTR	CORNER GUARD CONSTRUCTION JOINT CEILING CLOSET CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONTINUOUS CORRIDOR CARPET CERAMIC TILE / CENTER CENTER	JAN JT	JANITOR JOINT						
DEPT DET DF DIA DIM DN DR DS DWG	DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DRAWING	PSF	POUNDS PER SQUARE FOOT						
E EA EL ELEC ELEV EMER ENCL	EAST EACH ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE	S SHT SHTG SIM SINGL SPEC SQ SST STD STL STOR STRUC SUSP SYM	SOUTH SHEET SHEATHING SIMILAR SINGLE SPECIFICATION SQUARE STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL						
EQ EQUIP EXP EXT EXT	EQUAL EQUIPMENT EXPANSION EXISTING EXTERIOR	T T&G TEL TEMP THICK TOC TOP TOS TOW TV TYP	TEMPERED TONGUE AND GROOVE TELEPHONE TEMPERED THICK TOP OF CURB TOP OF PLATE TOP OF STEEL TOP OF WALL TELEVISION TYPICAL						
FA FD FE FEC FF FIN FXT FLR FOC FOF FRP FT FTG GA GALV	FIRE ALARM FLOOR DRAIN / FIRE DAMPER FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FACTORY FINISH FINISH FIXTURE FLOOR FACE OF CONCRETE FACE OF FINISH FIBERGLASS REINFORCED PLASTIC FOOT / FEET FOOTING GAUGE GALVANIZED	UC UNO VIF W WINDW	UNDERCABINET UNLESS NOTED OTHERWISE VERIFY IN FIELD WEST WINDOW						
SYMBOLS LEGEND									
OCCUPANCY 		KEYNOTE 	EXTERIOR WALL 	WINDOW 	REVISION 	NORTH ARROW 	DOOR TAG 		
ELEVATION 	SECTION 	TITLE LINE 	ROOM 	GRID LINES 	LETTERS HORIZONTAL NUMBERS VERTICAL				
WALL SECTION 	DETAIL 	GRADE ELEVATION 	FINISH FLOOR ELEVATION 	SCHEDULE 	CEILING HEIGHT 				
VICINITY MAP		AREA OF WORK		PROJECT DESCRIPTION		LEGAL DESCRIPTION			
				DEMOLISH EXISTING BUILDING ON SITE AND BUILD NEW 4 STORY MIXED USE BUILDING WITH FIRST FLOOR COMMERCIAL SPACE, 27 RESIDENTIAL UNITS ABOVE AND 4 PARKING STALLS.		PROJECT ADDRESS: 5339 ROOSEVELT WAY NE SEATTLE, WA 98105 TAX PARCEL NUMBER: 28621010600 LEGAL DESCRIPTION: LOT 23 AND 24, BLOCK 5, GRAHAM'S UNIVERSITY ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 17 OF PLATS, PAGE 47, RECORDS OF KING COUNTY, WASHINGTON; SITUATED IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON		FLOOR AREA: FLOOR 1: 2,294 SF (B) 1,317 SF (R-2) 2,900 SF (S-2) FLOOR 2: 6,688 SF (R-2) FLOOR 3: 5,802 SF (R-2) FLOOR 4: 5,802 SF (R-2) FLOOR 5: 722 SF (R-2) DEVELOPMENTAL STANDARDS: HEIGHT LIMIT 40'+4" PARAPET AND 16" STAIR AND ELEVATOR PENTHOUSE SETBACKS: 15' (SMC 23.47A.014), 3' (SMC 23.53.015 D.1.b), 5' (SMC 23.47A.014.E), 10' (SMC 23.47.014.B.3) TOTAL DWELLING UNITS: 27 REQUIRED AND PROVIDED ACCESSIBLE UNITS: REQUIRED ACCESSIBLE UNITS ARE 5% OF THE TOTAL UNIT COUNT. TOTAL UNITS = 27 X .05 = 1.35 UNITS OR 2. 2 TYPE A ACCESSIBLE UNITS HAVE BEEN PROVIDED. ALL REMAINING 25 UNITS ARE TYPE B.	
DEFERRED SUBMITTAL DESIGN BUILD									
DOCUMENTS FOR SEPARATE PERMIT SHOULD BE REVIEWED FOR GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. SUBMIT DIRECTLY TO THE LOCAL JURISDICTION.									
PER CITY REQUIREMENTS: MECHANICAL ENGINEER: ELECTRICAL ENGINEER: PLUMBING ENGINEER: FIRE ALARM: ELEVATOR(CONVEYANCE)				DESIGN BUILD DESIGN BUILD DESIGN BUILD DESIGN BUILD DEFERRED SUBMITTAL					

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PROJECT

55TH AND
ROOSEVELT
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL
DATE: DECEMBER 16, 2018
PROJECT NO: 16359.01
MANAGER: KDC
DRAWN: RC
CHECKED: KDC

REVISION
NO. DATE ISSUE
12/16/19 MUP SET
06/23/20 CORRECTION #1
02/01/21 CORRECTION #2
03/23/21 CORRECTION #3

DPD DEDICATED APPROVAL STAMP SPACE

TITLE
GENERAL
INFORMATION

SHEET NUMBER
A0.00

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ZONING NC2-40 REQUIREMENTS

LAND USE CODE

Seattle Land Use Code, Title 23 of the Seattle Municipal Code

SITE DATA

Site area: 8,000 SF
5339 Roosevelt Way NE

ZONE

NC2-40
U-District Urban Center Village

STREETS

Roosevelt Way NE
NE 55th St

SMC 23.47A.004 TABLE A: PERMITTED AND PROHIBITED USES

C.8: Offices (19,000 SF: 1 FAR)
J.1: Residential Uses
K.2: Storage, Outdoor
K.3: Warehouses

SMC 23.47A.005: STREET LEVEL USES

B: Warehouses may not abut a street-level street-facing facade in a structure that contains more than one residential dwelling unit.

SMC 23.47A.008: STREET-LEVEL DEVELOPMENTAL STANDARDS

- A.2.b: Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width.
A.2.c: The total of all blank facade segments may not exceed 40% of the width of the facade along the structure along the street.
B.2.a: Transparency 60% of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent.
B.3: Non-residential uses greater than 600 SF shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level street-facing facade.
B.4: Non-residential uses at street level shall have a floor-to-floor height of at least 13 feet.

TRANSPARENCY AND BLANK FACADE HATCH LEGEND

TRANSPARENT BLANK



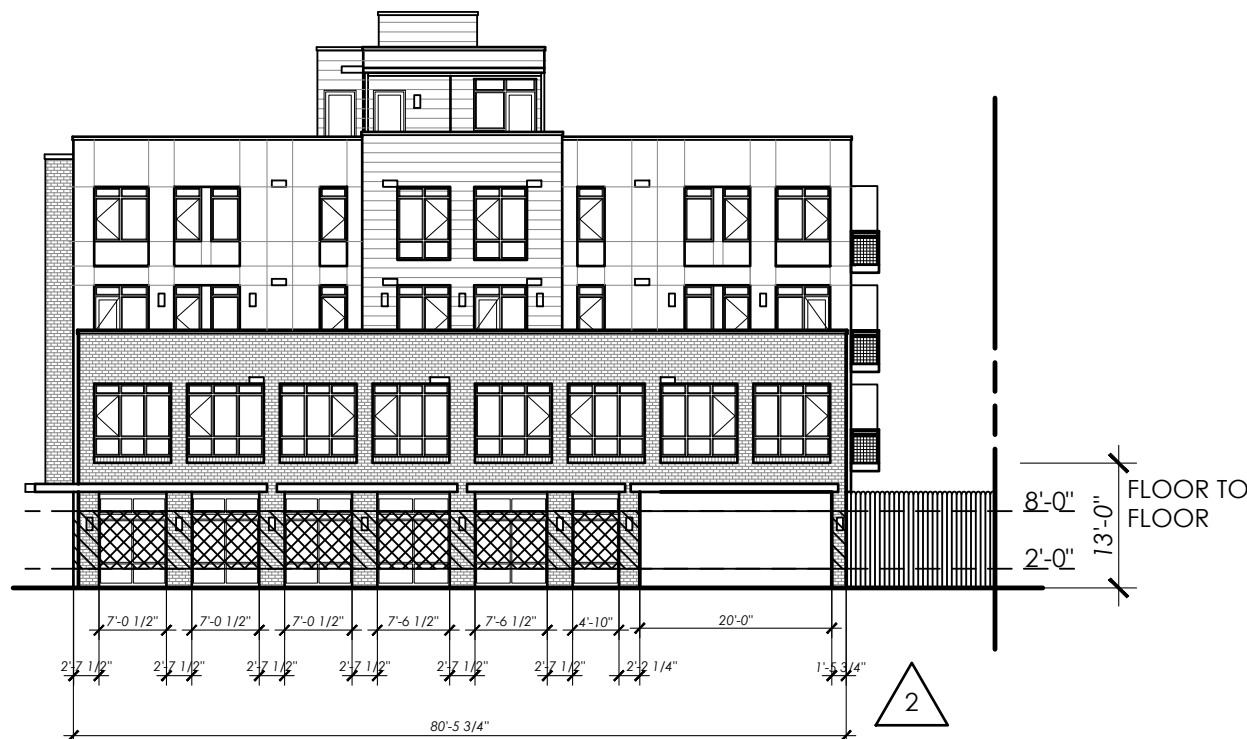
1 WEST ELEVATION

BLANK FACADE AREA CALCULATION

Total street facing facade 79'-2"
Percent of blank facade allowed 40%
Blank face allowed 28'-10"
Blank facade provided 24'-1/2"

TRANSPARENCY FACADE AREA CALCULATION

Transparent level area 2' to 8' 475 SF
Percent of transparency required 60%
Transparency required 285 SF
Transparency provided 331.7 SF



2 NORTH ELEVATION

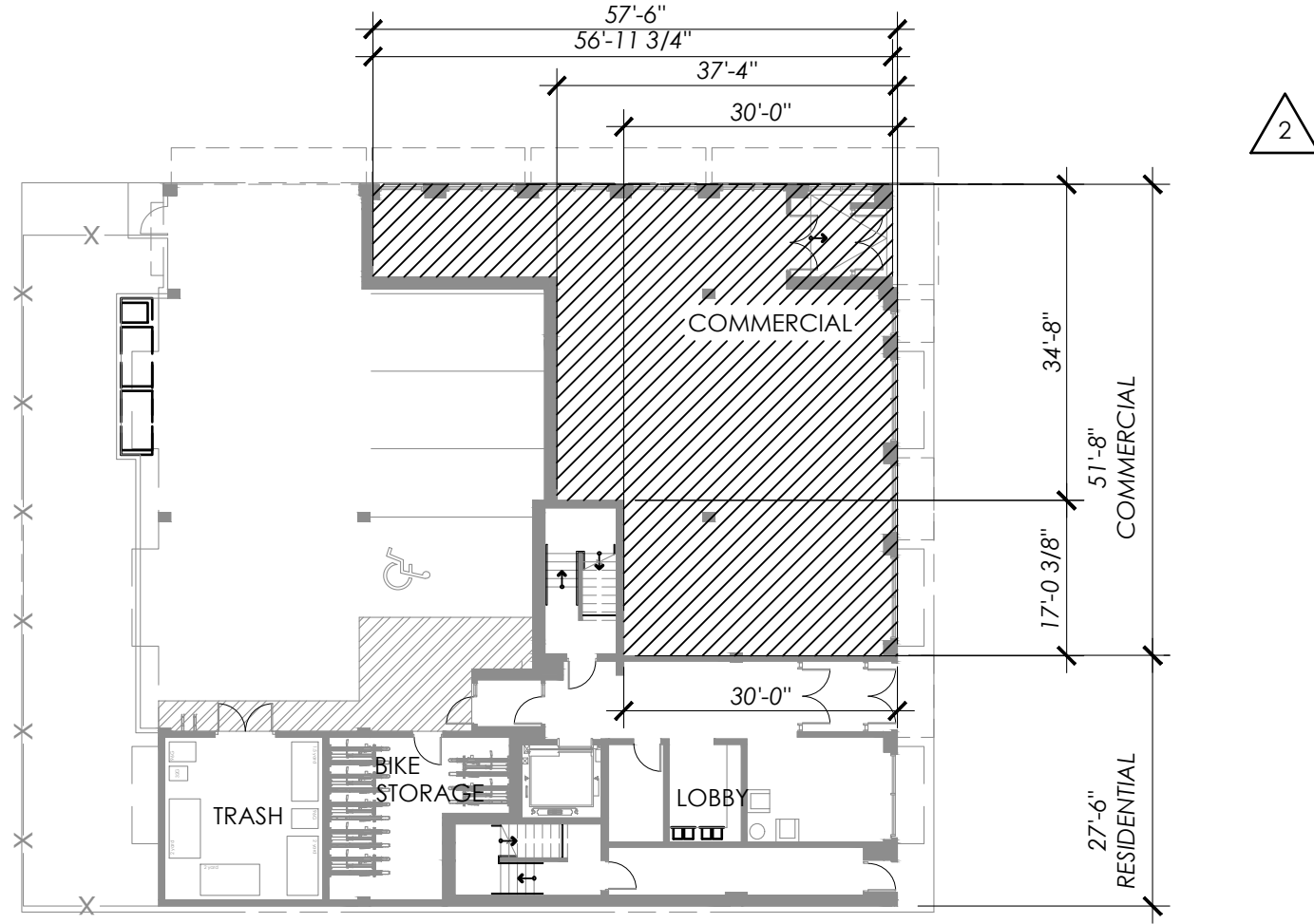
BLANK FACADE AREA CALCULATION

Total street facing facade 80'-4"
Driveway 20'-0"
Percent of blank facade allowed 40%
Blank face allowed 24'-2"
Blank facade provided 19'-3 1/4"

TRANSPARENCY FACADE AREA CALCULATION

Transparent level area 2' to 8' 362.0 SF
Percent of transparency required 60%
Transparency required 217.2 SF
Transparency provided 246.2 SF

ZONING NC2-40 REQUIREMENTS CONTINUED



3 LEVEL 1 PLAN: USES

SMC 23.47.A.011: OUTDOOR ACTIVITIES

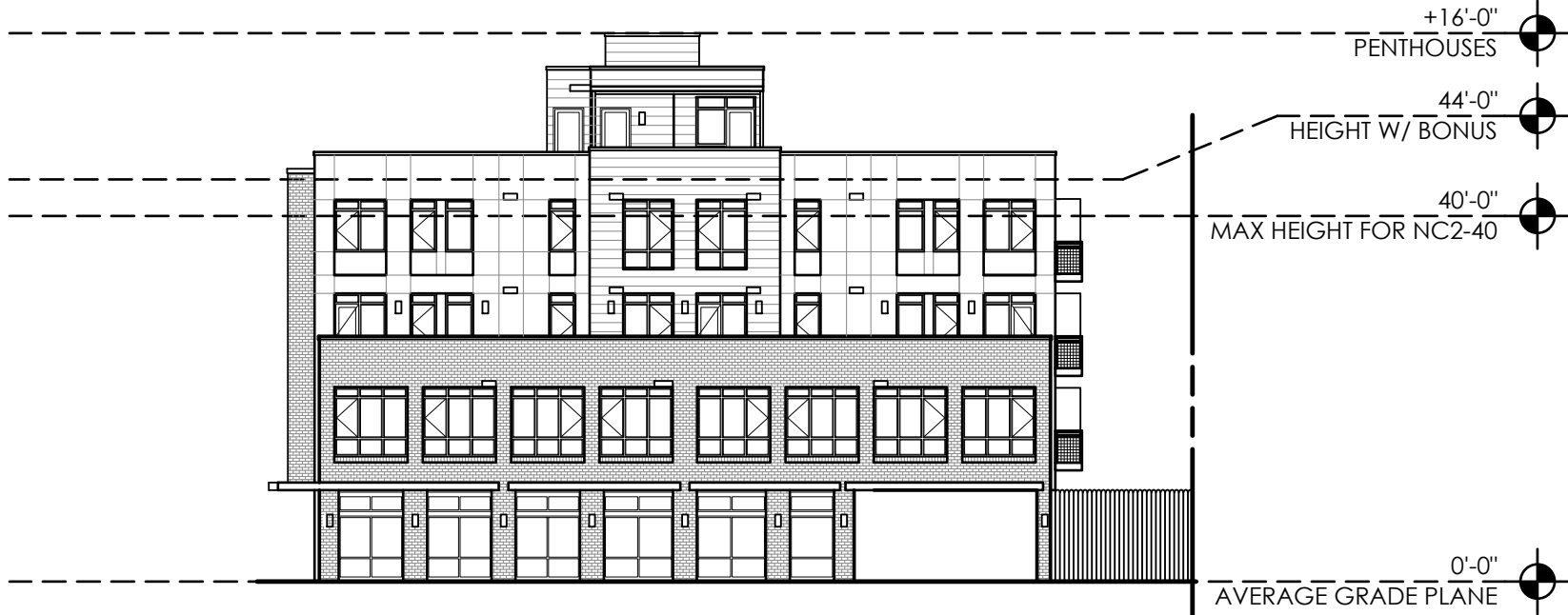
Outdoor activities, specifically outdoor storage is allowed in C1 zone and has no size limit. Activities must be located at least 50 feet from a lot in a residential zone.

SMC 23.47.A.012: STRUCTURE HEIGHT

- A: 40'-0" as designated on the Official Land Use Map.
1. The height of a structure may exceed the otherwise applicable limit by up to 4'-0", subject to subsection 23.47.A.012A.1.c, provided the following conditions are met: A floor-to-floor height of 13'-0" or more is provided for non-residential uses at street-level.

- C: Rooftop features
Open railings, planters, parapets: 4'-0"
Stairs and elevator penthouses: 16'-0"

SMC 23.86.006 E: Height of a structure is the difference between the elevation of the highest point of the structure not excepted from applicable height limits and the average grade level.



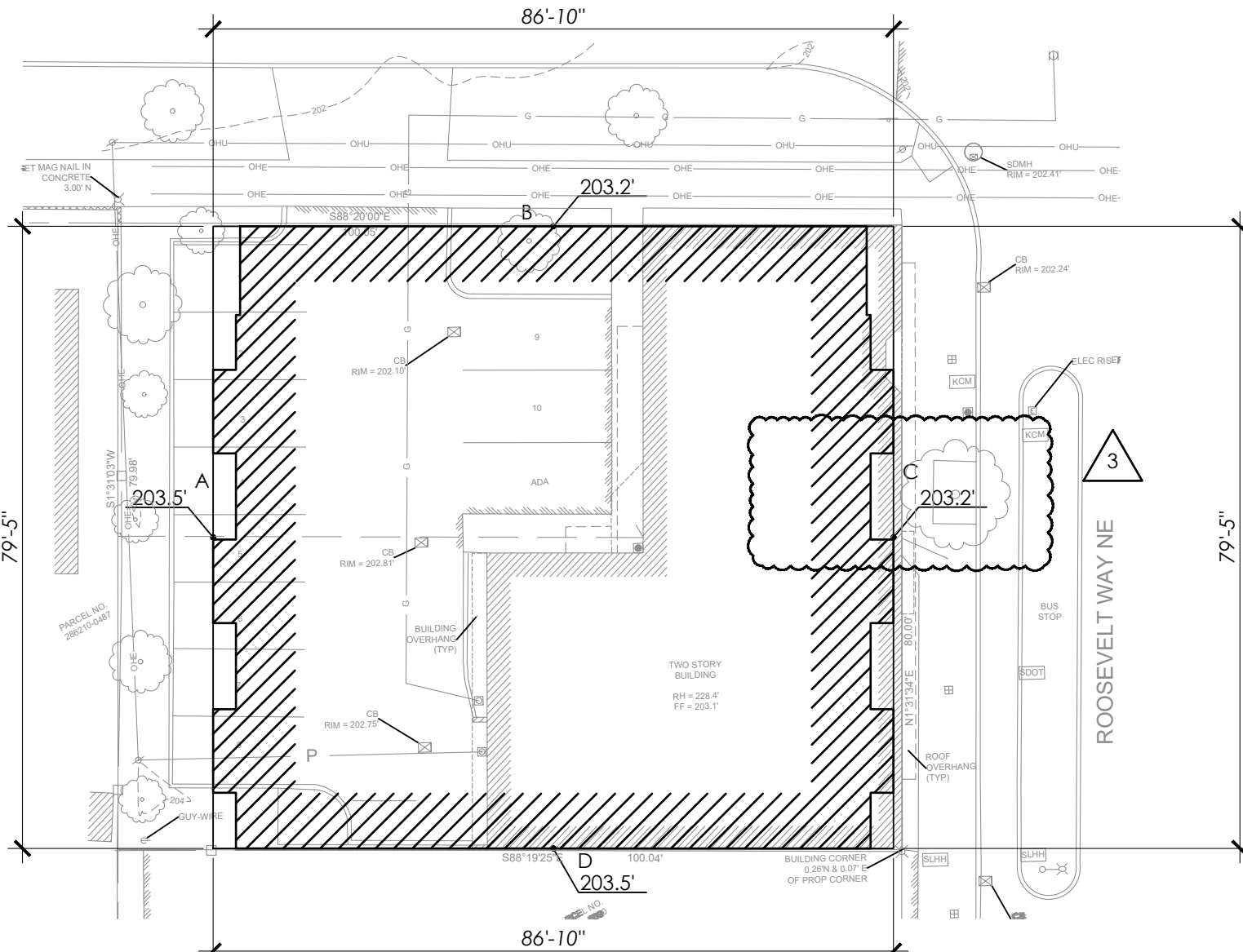
4 NORTH ELEVATION

SMC 23.86.006: STRUCTURE HEIGHT MEASUREMENT

Formula 2: Average grade is calculated as the average of the elevation of existing lot grades at the midpoints of each side of the smallest rectangle that can be drawn to enclose the structure.

AVERAGE GRADE CALCULATIONS

WALL A 79.42 X 203.5 = 16,161.97
WALL B 86.83 X 203.2 = 17,643.86
WALL C 79.42 X 203.2 = 16,138.14
WALL D 86.83 X 203.5 = 17,669.91
16,161.97 + 17,643.86 + 16,138.14 + 17,669.91 = 67,613.88
67,613.88 / 332.5 = 203.35

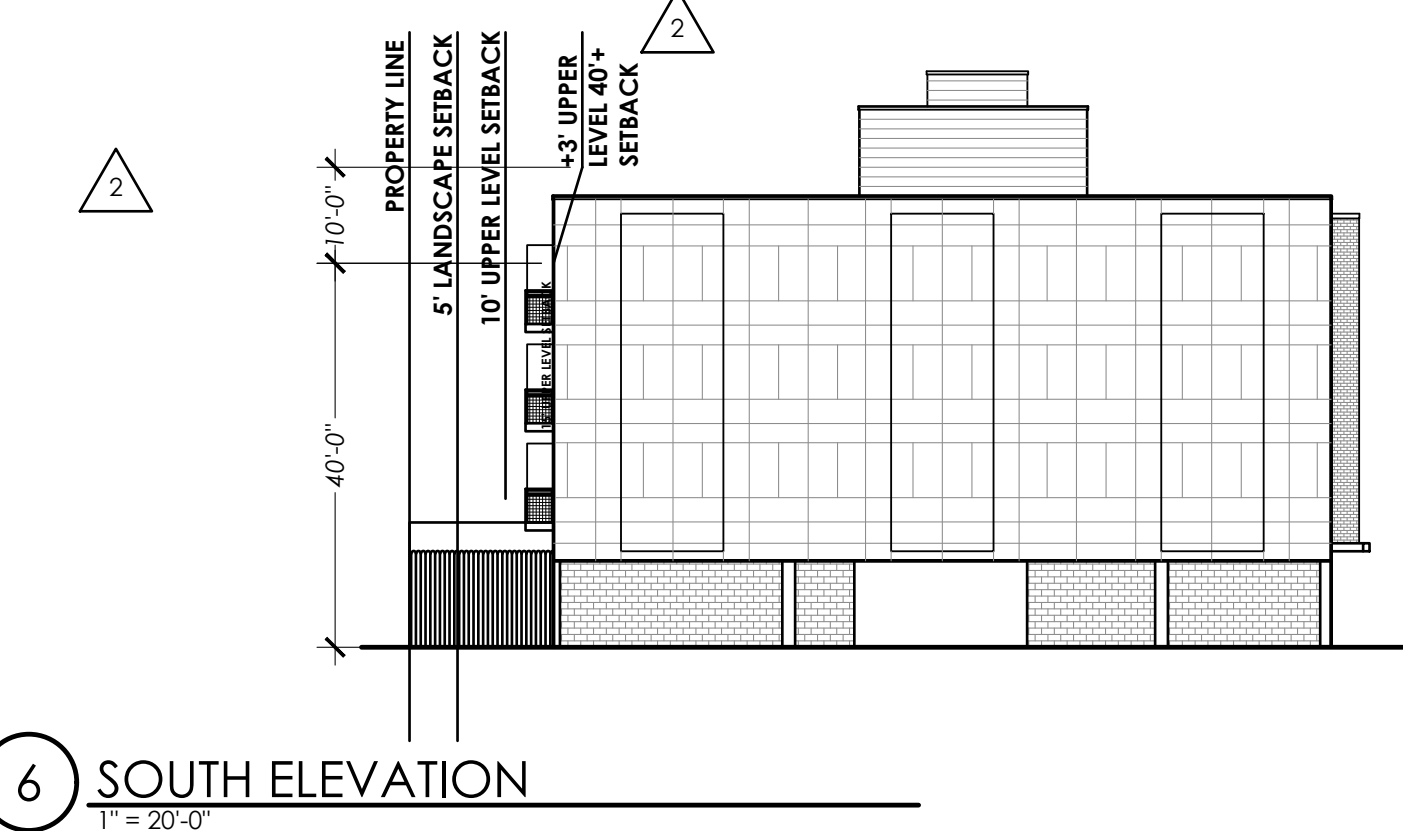


5 AVERAGE GRADE DIAGRAM

ZONING NC2-40 REQUIREMENTS CONTINUED

SMC 23.47.A.014: SETBACK REQUIREMENTS

NC2-40 Front, side, and rear setbacks: 15' Triangle (SMC 23.47A.014), 3' (SMC 23.53.015.D.1.b), 5' (SMC 23.47A.014.E), 10' (SMC 23.47.014.B.3)



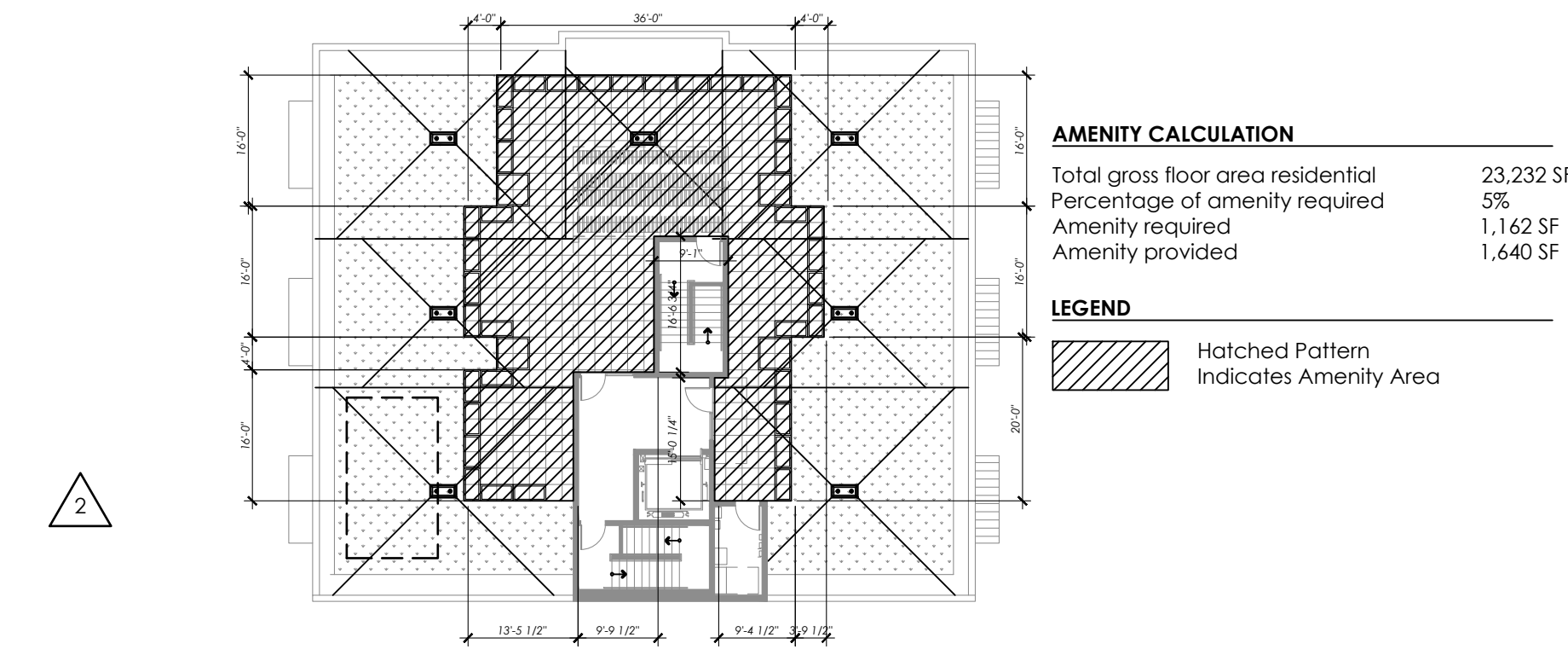
6 SOUTH ELEVATION

SMC 23.47.A.016: LANDSCAPE AND SCREENING REQUIREMENTS

- A: Landscaping that achieves a Green Factor of 0.3 or greater.
B: Existing street trees shall remain, and type and placement of trees will be determined in consultation with the Director of Transportation.
D.1.b: One tree is required for every ten parking spaces.
D.2.c: Three foot high screening is required along street lot lines for in surface parking areas.
Table D.d: Garbage dumpster in C1 with residential use require a 6 foot high screening.
Table D.i: Outdoor storage in a C1 zone screened from all lot lines by the facade of the structure or a 6 foot high screening; and 5 foot deep landscaped area between all street lot lines and the 6 foot high screening.

SMC 23.47.A.024: AMENITY AREA

- A: Amenity areas are required in an amount equal to 5% of the total gross floor area in residential use.
B.2: Amenity areas shall not be enclosed.
B.4: Common amenity shall have a minimum horizontal dimension of 10 feet, and shall not be less than 250 square feet in size.



7 ROOF DECK: AMENITY PLAN

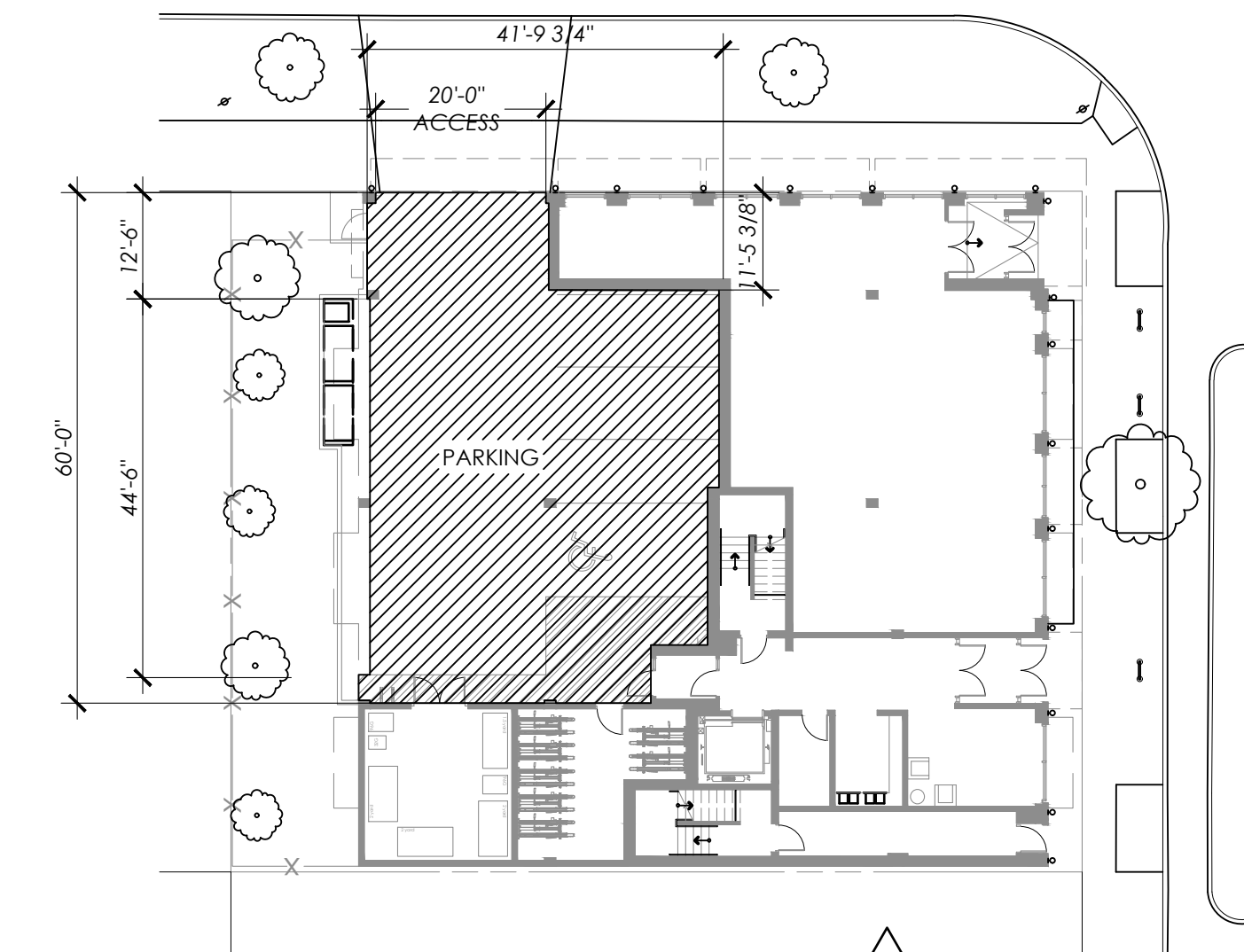
SMC 23.47A.030 / SMC 23.54.015: REQUIRED PARKING AND LOADING

Table A.J: Non-residential uses in urban villages that are located within 1,320 feet of a street with frequent transit service. No minimum requirement.
Table B.M: Residential uses in urban villages that are located within 1,320 feet of a street with frequent transit service. No minimum requirement.

The site is located with in 1,320 feet of a frequent transit service.

SMC 23.47A.032: PARKING LOCATION AND ACCESS

- A.1.c: If access is not provided from an alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines.
B.1.c: Parking to the side of the structure shall not exceed 60 feet of street frontage.



8 SITE PLAN: PARKING AREA

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PROJECT

55TH AND ROOSEVELT 5339 ROOSEVELT WAY NE SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO: 16359.01

MANAGER: KDC

DRAWN: RC

CHECKED: KDC

REVISION

NO. DATE ISSUE

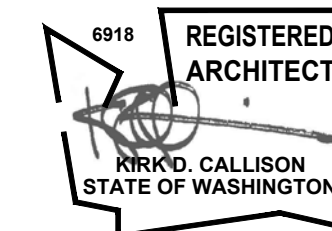
12/16/19 MUP SET

06/23/20 CORRECTION #1

02/01/21 CORRECTION #2

03/23/21 CORRECTION #3

STAMP



DPD DEDICATED APPROVAL STAMP SPACE

TITLE

ZONING
REQUIREMENTS

SHEET NUMBER

A0.01

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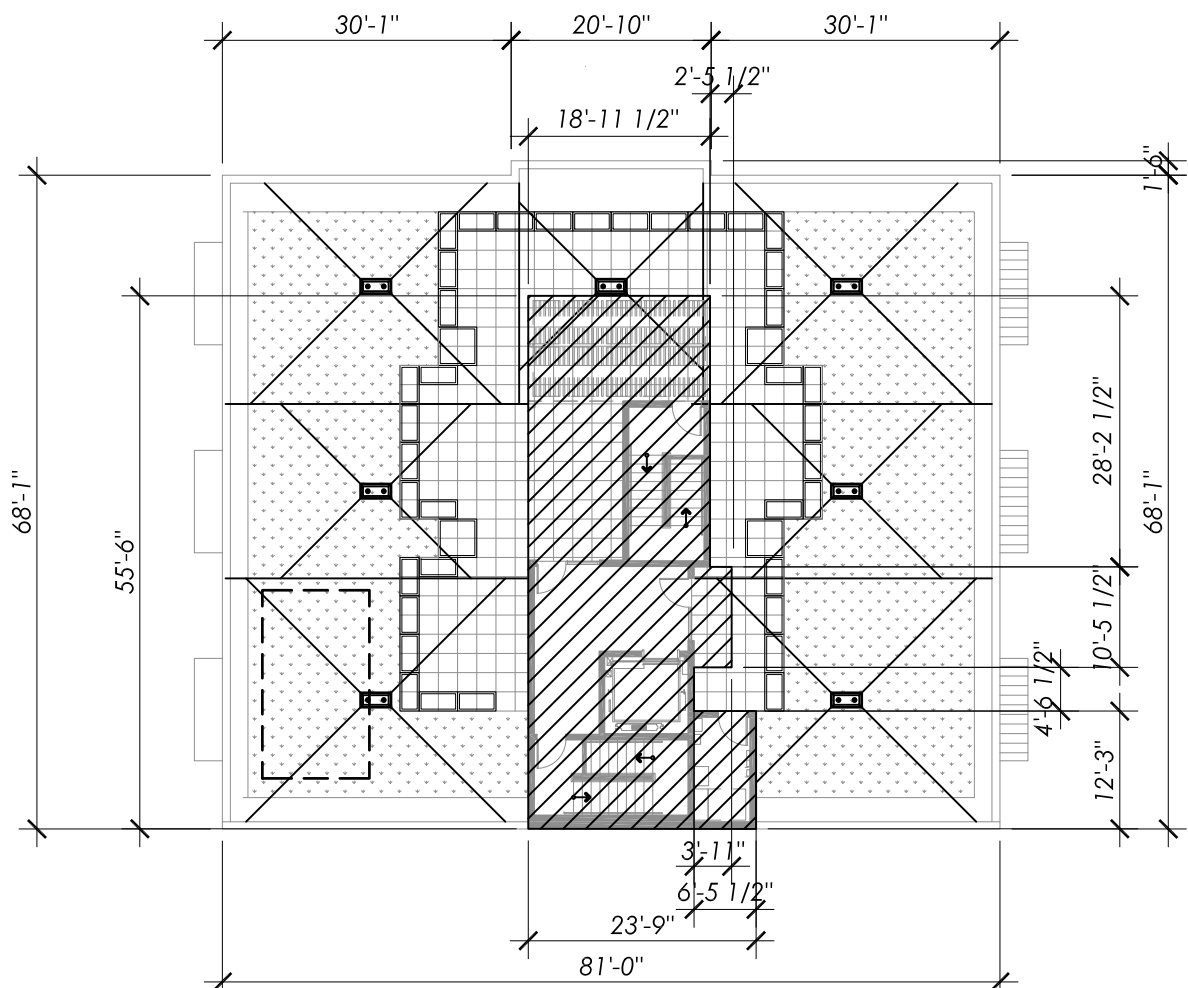
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ZONING NC2-40 REQUIREMENTS CONTINUED

SMC 23.47.A.012.C.4: ROOF TOP COVERAGE

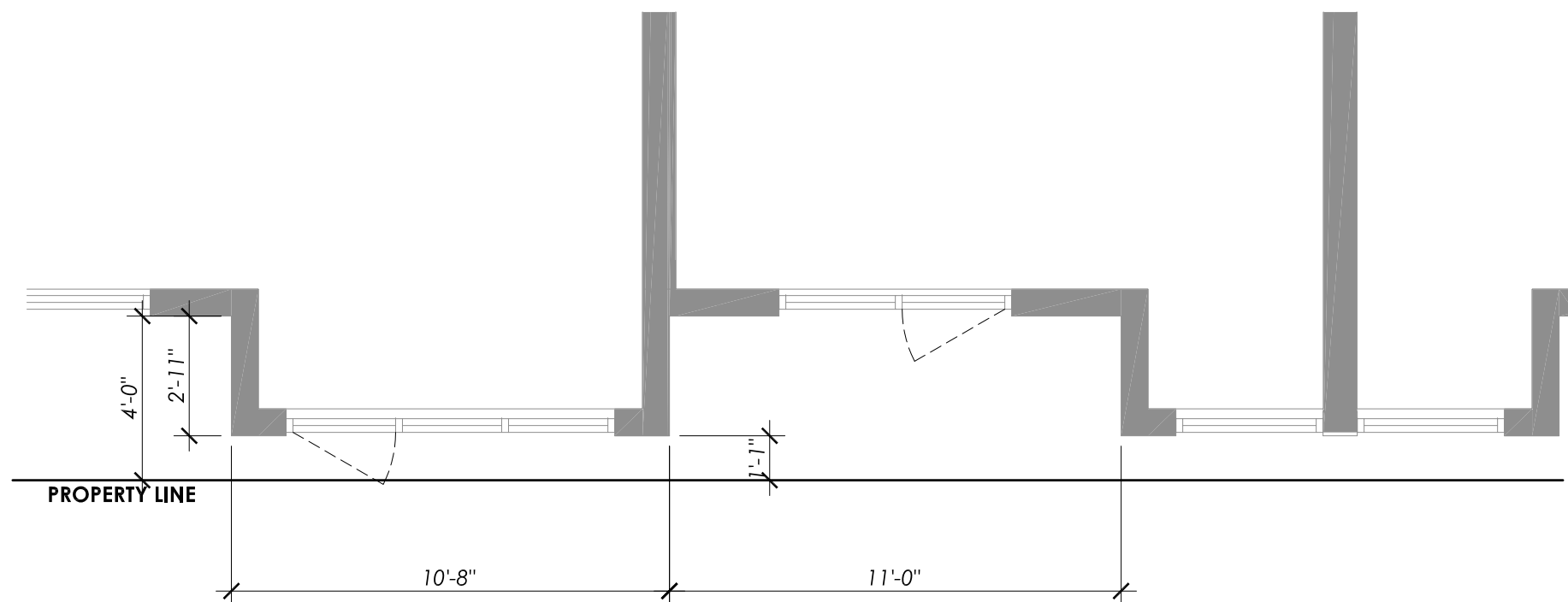
ALLOWABLE COVERAGE

Total SF: 5,547 SF
Roof area above 15': 1,074 SF
Area Allowed: 1,386 SF
1,074 SF < 1,386 SF = O.K.

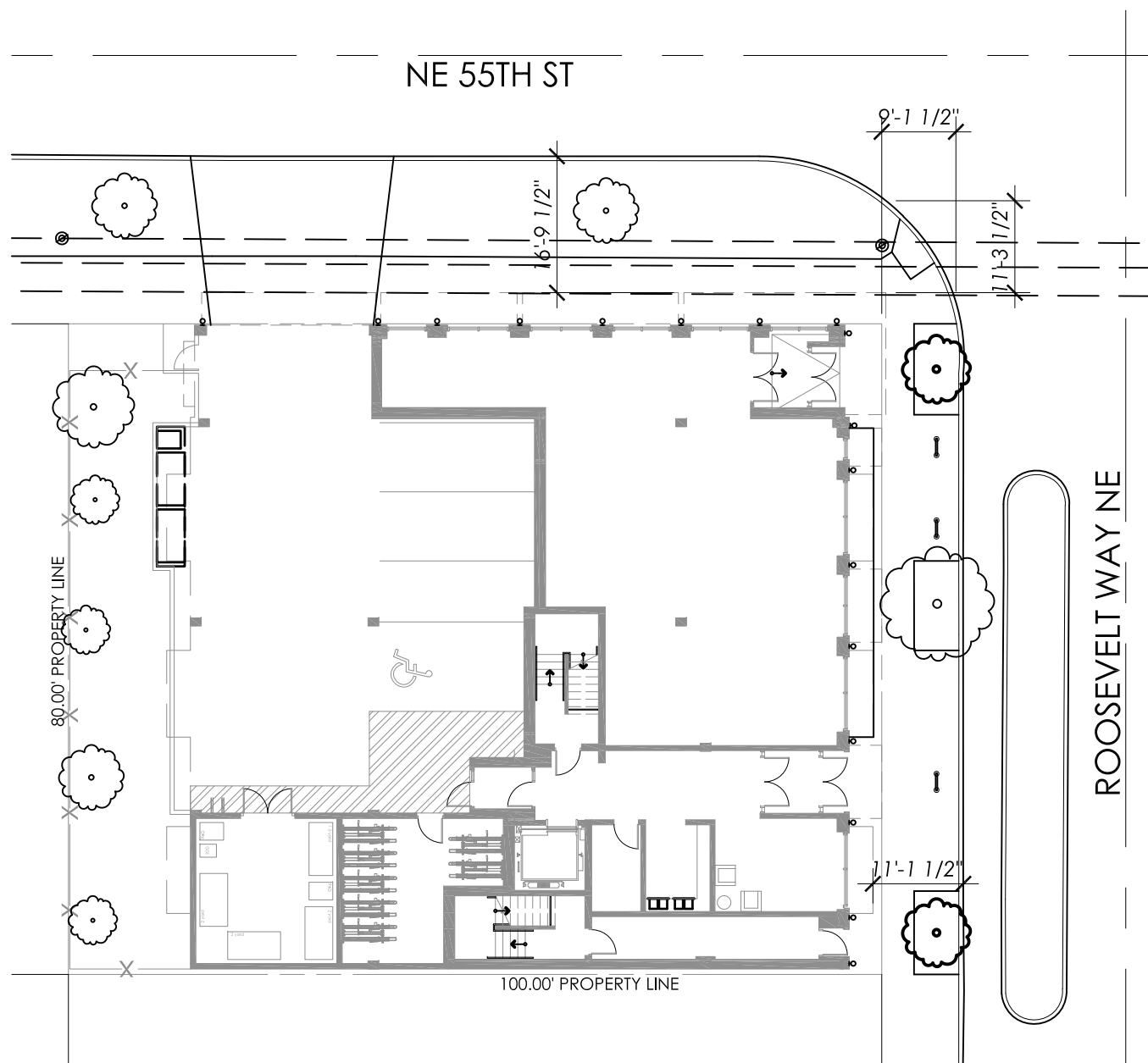


1 ROOF TOP COVERAGE
1" = 20'-0"

SMC 23.53.035: STRUCTURAL BUILDING OVERHANGS



2 TYP. BAY WINDOW @ ROOSEVELT AVE NW
1" = 5'-0"



3 CANOPY SIDEWALK DISTANCE
1" = 20'-0"

CODE INFORMATION

ENERGY CODE COMPLIANCE METHOD

This project will comply with C402.1, General Prescriptive Method. Opaque portions of the building envelope shall comply with the specific insulation requirements of Section C402.2 and the thermal requirements of either the R-value based method of Section C402.1.3. Fenestration in the building envelope assemblies shall comply with C402.4. Air leakage of building envelope assemblies shall comply with Section C402.5.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

Vertical Fenestration	
U-Factor	
Nonmetal Framing	0.26
Metal Framing, Fixed	0.31
Metal Framing, Operable	0.38
Metal Framing, Entrance Doors	0.60
SHGC	
SEW Orientation	0.35
N Orientation	0.53
Slab on Grade Floors	
Unheated Slabs	R-10 for 24" below
Floors	
Mass	R-30ci
Joist/Framing	R-30
Walls	
Mass	
Residential	R-9.5ci
All Other	R-13.3ci
Steel Framed	
Residential	R-19 + R-8.5ci
All Other	R-13 + R-10ci
Wood Framed	R-21 int.
Roofs	
Insulation Above Deck	
Residential	R-38ci
All Other	R-30ci
Attic and other	R-49
Opaque Doors	
Swinging	U-0.37
NonSwinging	U-0.34

AIR LEAKAGE TESTING REQUIREMENTS

The completed building shall be tested for air leakage and the air leakage rate of the building envelope shall not exceed 0.40 cfm per sq. ft. at a pressure differential of 0.30 inches water gauge at the upper 95 percent confidence interval in accordance with ASTM E 779 or an equivalent method approved by the code official. A report that includes the tested surface area, floor area, air by volume, stories above grade, and leakage rates shall be submitted to the building owner and the code official per SEC C402.4.1.2.3.

OUTDOOR AIR INTAKE FOR RESIDENTIAL UNITS

Exhaust fan only ventilation systems shall provide outdoor air through one of the methods listed in Seattle Mechanical Code (SMC) 403.8.6.1. Window trickle vents (minimum 4 sq. inches of net free area in each occupiable space and not less than 4 sq. inches of net free area of opening for each 10 cfm of the required outdoor air) may be considered to provide the outside air and may be noted in the window schedule to show compliance.

EXHAUST OUTLETS FOR RESIDENTIAL UNITS

All environmental air exhaust outlets shall be minimum 3 ft. from operable openings (including window trickle vents if they are used for outdoor air intake) into the building per SMC 501.3.1. Exhaust outlets and operable openings shall be shown on the elevation plans in compliance with SMC 501.3.1.

SBC 510.2 COMPLIANCE

This building complies with the SBC Section 510.2 Horizontal Building Separation Allowance by meeting all of the following requirements:

- The buildings are separated with a horizontal assembly having a fire resistance rating of three (3) hours.
- The building below the horizontal assembly is two (2) stories above grade plane.
- The building below the horizontal assembly is Type IA construction.
- Shaft and stairway enclosures through the horizontal assembly have a fire resistance rating of two (2) hours with opening protectives in accordance with Section 716.5.
- The stairway is constructed of both wood studs above the horizontal assembly.
- The building below the horizontal assembly is S-1 Warehouse and B Office.
- The building above the horizontal assembly is R-2 and A-3.
- The maximum building height for Type IA is unlimited meaning that the Type VA will be the limiting height for the building. Type VA has a maximum building height of fifty (50) feet but can be increased twenty (20) feet for the automatic sprinkler system increase allowed in Section 504.2 and an additional twenty (20) feet for rooftop structures allowed in Section 504.3. This puts the maximum building height at ninety (90) feet. The building height is sixty-five (65) feet.
- The building is five (5) stories above the grade plane which is less than the maximum seven (7) stories above the grade plane.
- All portions of the building above and below the three (3) hour horizontal assembly are protected throughout with an automatic sprinkler system that complies with Section 903.3.1.1.
- The highest occupied floor is 62'-6" above the lowest level of fire department access which is less than the 75'-0" maximum allowed.
- The building is not above seven (7) stories so the interior exit stairwells are not required to be pressurized.

MORELLA BROS
PROPERTIES, LLC.

P.O. BOX 98063
SEA TAC, WA 98168



TWIST DESIGN INC
4444 WOODLAND PARK AVE N., SUITE 100
SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO: 16359.01

MANAGER: KDC

DRAWN: RC

CHECKED: KDC

REVISION

NO. DATE ISSUE

12/16/19 MUP SET

06/23/20 CORRECTION #1

02/01/21 CORRECTION #2

03/23/21 CORRECTION #3

STAMP



DPD DEDICATED APPROVAL STAMP SPACE

TITLE
CODE INFORMATION

SHEET NUMBER

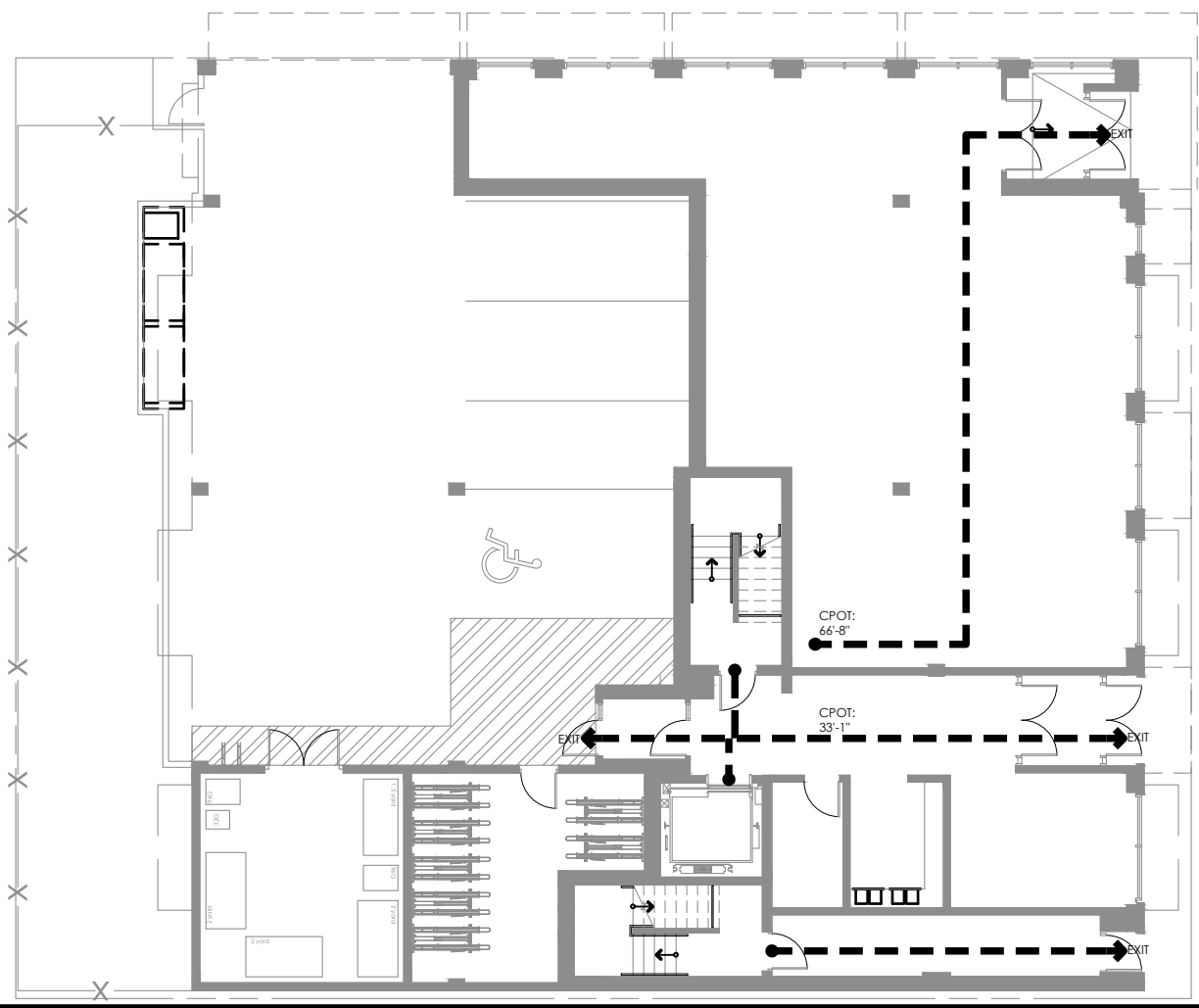
A0.03

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PLOTTED: RAJC 3/24/2021 4:45 PM
S:\1-PROJECTS\339-MORELLA\16359.01 - 55TH AND ROOSEVELT WAY\02-CADD ARCHIVE\MAP 2

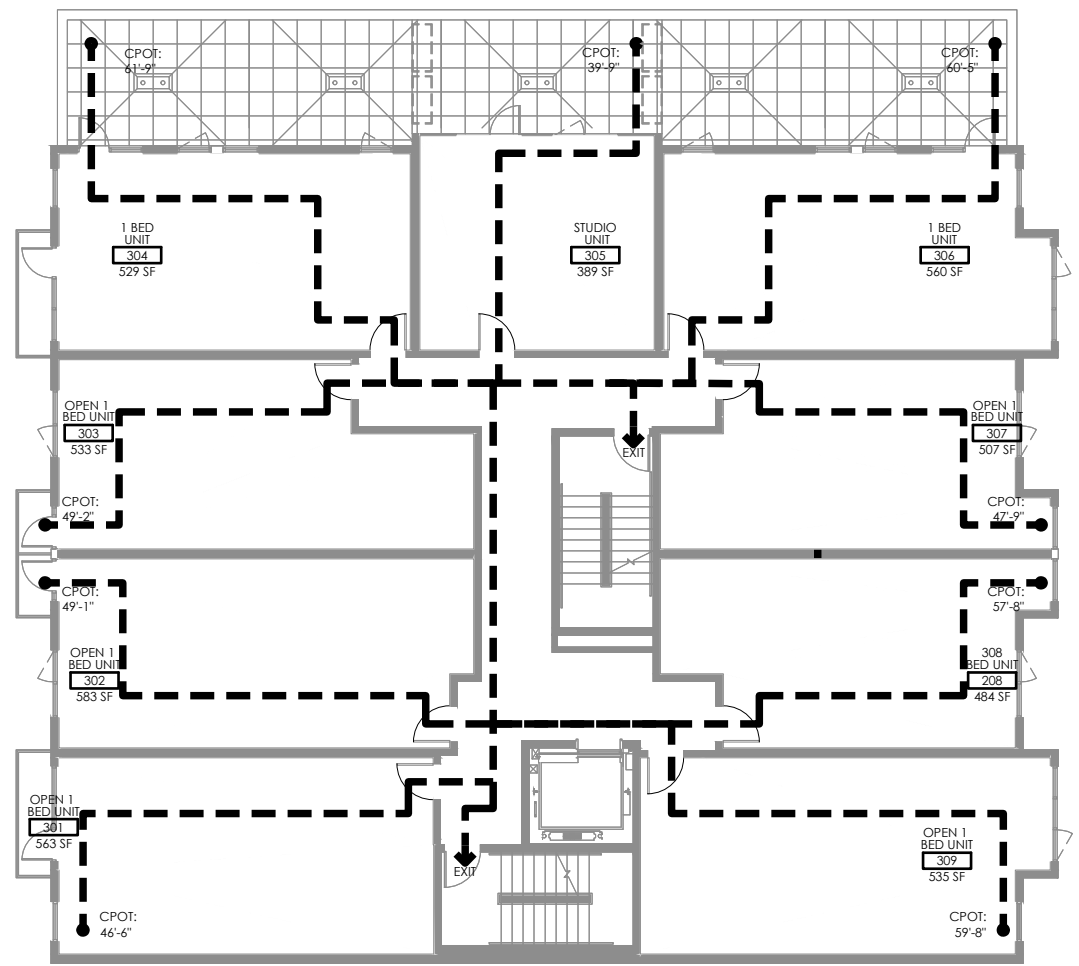
5,727 SF/ 500 OCC. PER SF =
12 OCCUPANTS

2 FIRST FLOOR EXITING PLAN
1/16" = 1'-0"



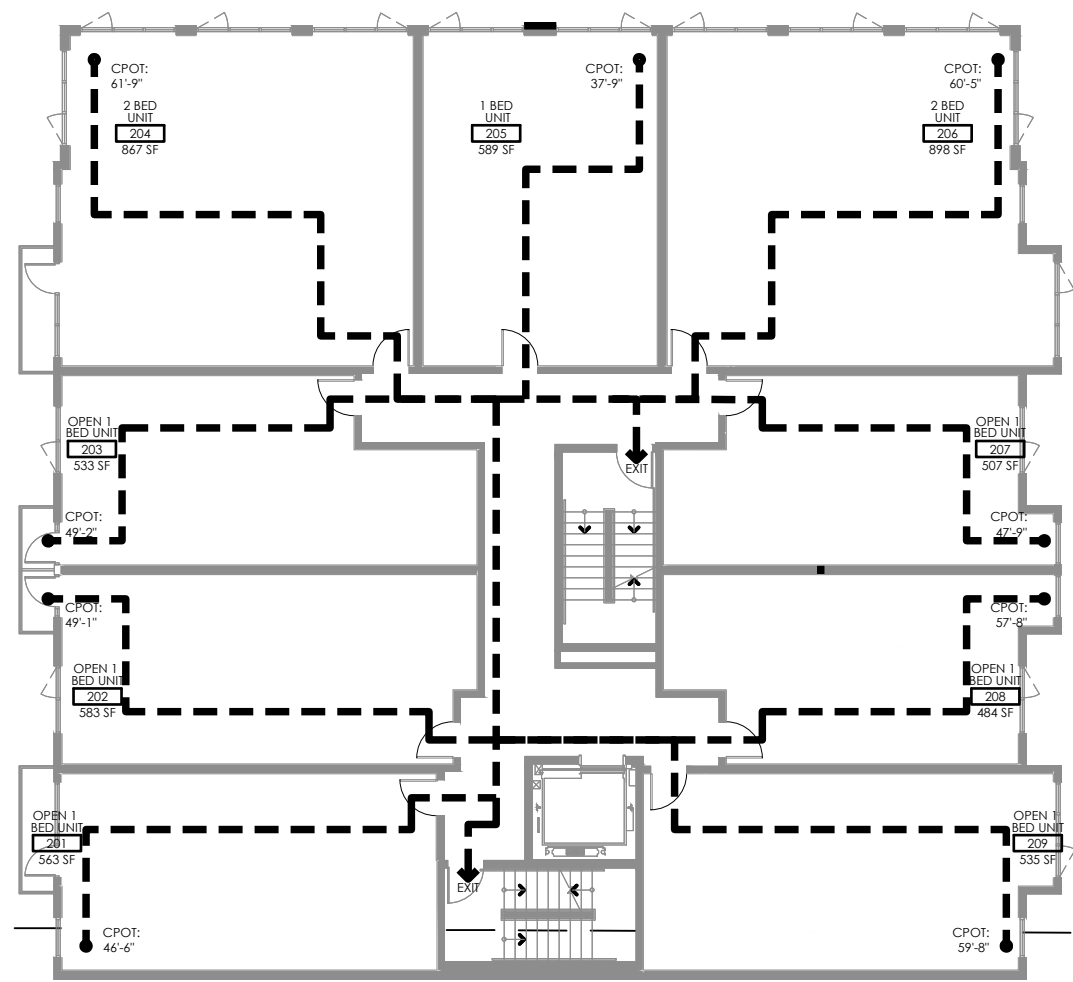
5,802 SF/ 200 OCC. PER SF=
29 OCCUPANTS

7 THIRD FLOOR EXITING PLAN
1/16" = 1'-0"



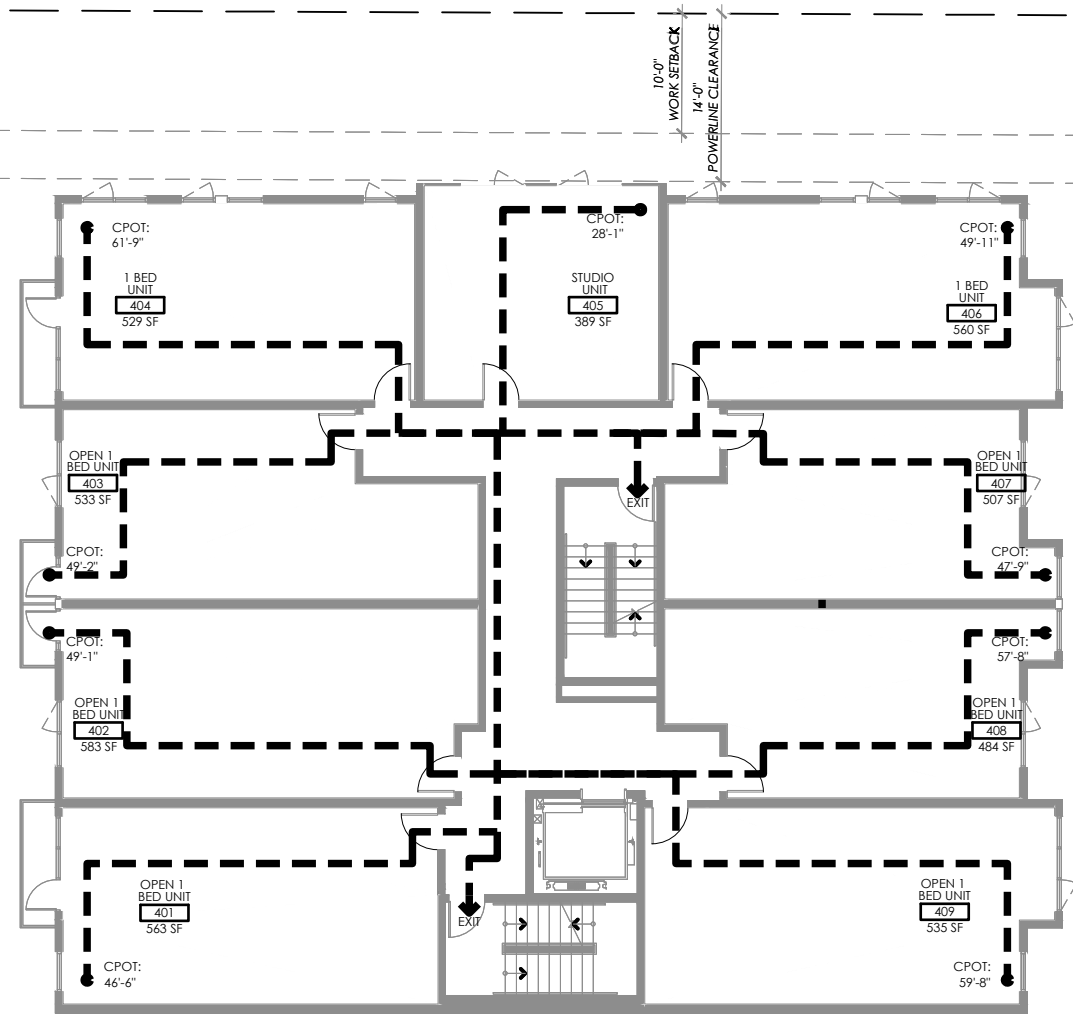
6,688 SF/ 200 OCC. PER SF =
34 OCCUPANTS

4 SECOND FLOOR EXITING PLAN
1/16" = 1'-0"



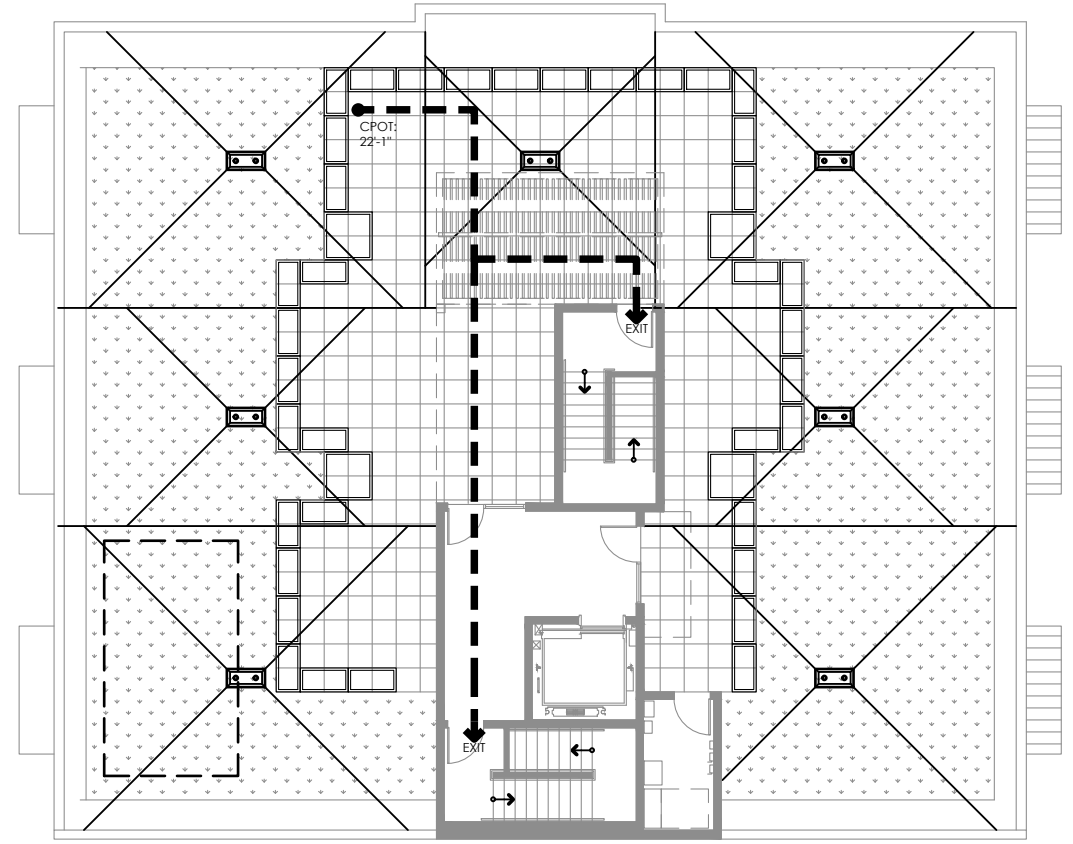
5,802 SF/ 200 OCC. PER SF=
29 OCCUPANTS

9 FOURTH FLOOR EXITING PLAN
1/16" = 1'-0"



722 SF/ 15 OCC. PER SF=
48 OCCUPANTS

14 ROOF EXITING PLAN
1/16" = 1'-0"



LEGEND:

--- EXIT PATH OF TRAVEL

GENERAL NOTES

- ALL COMMON PATH OF TRAVEL DISTANCE IS LESS THAN 75'-0"
- EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD POSTED. THOSE SIGNS SHALL FOLLOW ALL REGULATIONS IN SEATTLE BUILDING CODE 1004.3.

TOTAL NUMBER OF
OCCUPANTS=
285 OCCUPANTS

MINIMUM DOOR EXIT WIDTH CALCULATION
HIGHEST OCCUPANT LOAD PER FLOOR = 95 OCCUPANTS

TOTAL DOOR EXIT WIDTH REQUIRED = 95 OCC. X .2'/OCC. = 19'
TOTAL DOOR EXIT WIDTH PROVIDED = 2 X 36' = 72'

MINIMUM STAIR WIDTH CALCULATION
HIGHEST OCCUPANT LOAD PER FLOOR = 95 OCCUPANTS

TOTAL STAIR WIDTH REQUIRED = 95 OCC. X .3'/OCC. = 28.5'
TOTAL STAIR WIDTH PROVIDED = 2 X 44' = 88"

MORELLA BROS
PROPERTIES, LLC.

P.O. BOX 98063
SEA TAC, WA 98168



TWIST DESIGN INC
4444 WOODLAND PARK AVE N., SUITE 100
SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO: 16359.01

MANAGER: KDC

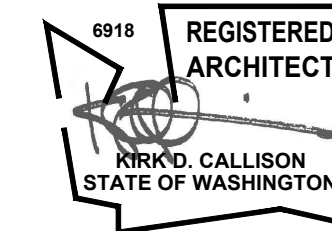
DRAWN: RC

CHECKED: KDC

REVISION

NO.	DATE	ISSUE
	12/16/19	MUP SET
△	06/23/20	CORRECTION #1
△	02/01/21	CORRECTION #2
△	03/23/21	CORRECTION #3

STAMP



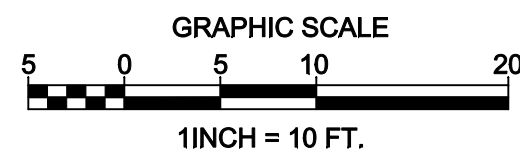
DPD DEDICATED APPROVAL STAMP SPACE

TITLE

EXITING PLANS

SHEET NUMBER

A0.04



	FOUND MONUMENT AS DESCRIBED		—OHP— OVERHEAD POWER
	FOUND REBAR AS DESCRIBED		—OHU— OVERHEAD UTILITIES
	TACK IN LEAD FOUND		—X— CHAINLINK FENCE
	SET 5/8" X 24" IRON ROD W/1" YELLOW PLASTIC CAP		—□— WOOD FENCE
	POWER METER		CONCRETE WALL
	UTILITY POLE		ROCKERY
	GAS METER		ASPHALT SURFACE
	SANITARY SEWER CLEANOUT		CONCRETE SURFACE
	SANITARY SEWER MANHOLE		GRAVEL SURFACE
	WATER VALVE		CA CRAB APPLE <i>Malus</i>
	FIRE HYDRANT		CH CHERRY <i>Prunus serrulata</i>
	WATER METER		MP MAPLE <i>Acer macrophyllum</i>
	SIGN		* INDICATES MULTI-TRUNK
—SS—	APPROXIMATE LOCATION SANITARY SEWER LINE		
—SD—	APPROXIMATE LOCATION STORM DRAIN LINE		

LOTS 23 AND 24, BLOCK 5, GRAHAM'S UNIVERSITY ADDITION TO THE CITY OF SEATTLE,
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 17 OF PLATS, PAGE 47,
RECORDS OF KING COUNTY, WASHINGTON;

SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

THE PLAT OF GRAHAM'S UNIVERSITY ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 17 OF PLATS, PAGE 47, RECORDS OF KING COUNTY, WASHINGTON.

SURVEYOR:	SITE SURVEYING, INC. 21823 NE 11TH ST SAKAMASHI, WA 98074 PHONE: 425.298.4412
PROPERTY OWNER:	MORELLA PROPERTIES PO BOX 68063 SEATAC, WA 98168
TAX PARCEL NUMBER:	286210-0600
PROJECT ADDRESS:	5339 ROOSEVELT WAY NE SEATTLE, WA 98105
ZONING:	NC2-40
JURISDICTION:	CITY OF SEATTLE
PARCEL ACREAGE:	8,003 S.F. (± 0.184 ACRES) AS SURVEYED

1. THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT, EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
2. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND NIKON INVO 5.0 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN OCTOBER 2018 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND CONDITIONS AND ANY SUBTIL PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY WCCS SURVEY CONTROL DATABASE.

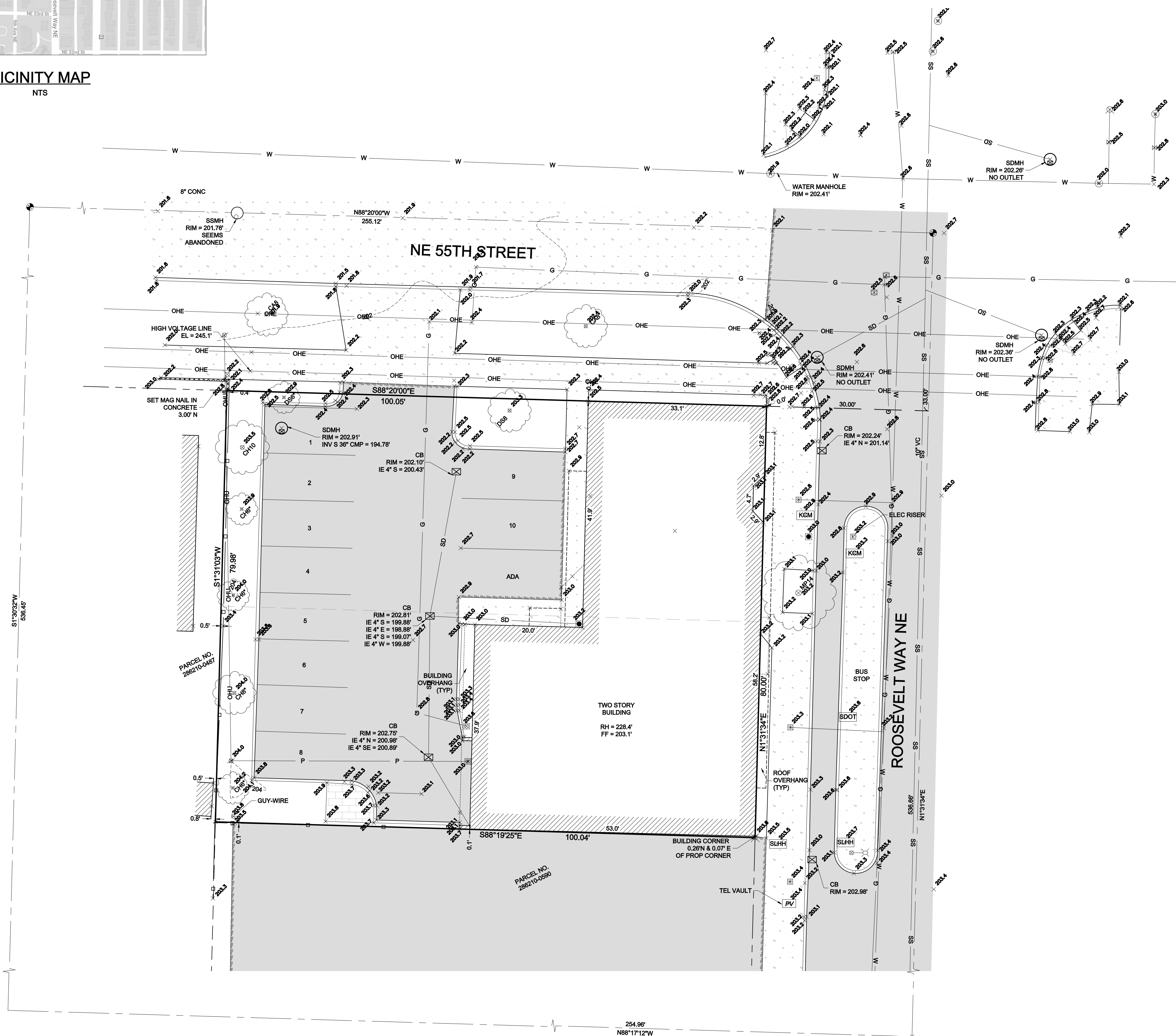
THE MARK IS A BRASS CAP 15 FEET NORTH OF THE INTERSECTION OF BACK OF CONCRETE WALK AT THE NORTHEAST CORNER OF THE INTERSECTION OF ROOSEVELT WAY NE AND NE 5TH STREET.

POINT ID NO. SNN-0004;
ELEVATION: 202.585 FEET (61.748 METERS) NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



VICINITY MAP



NW 1/4, SE 1/4, SEC 8, TWP 25N, RNG 4E, W.M.



DATE	REVISION	DRN

TOPOGRAPHIC SURVEY
MORELLA BROS PROPERTIES
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

PROJECT NO. 18-429

DRAWN BY: MTS
CHECKED BY: TNW
DATE: 11/11/2020

SHEET 1 OF 1

[illegible]

286210-0600

Job Number
18144

Sheet
C1.0 of **8**



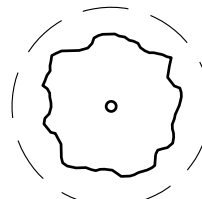
Know what's **below**.
Call before you dig.
Dial 811

PRELIMINARY LANDSCAPE PLANS
FOR

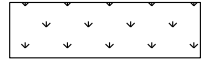
MORELLA BROS PROPERTIES

NW 1/4 OF SE 1/4 SECTION 8, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.
CITY OF SEATTLE, KING COUNTY, WASHINGTON

LEGEND

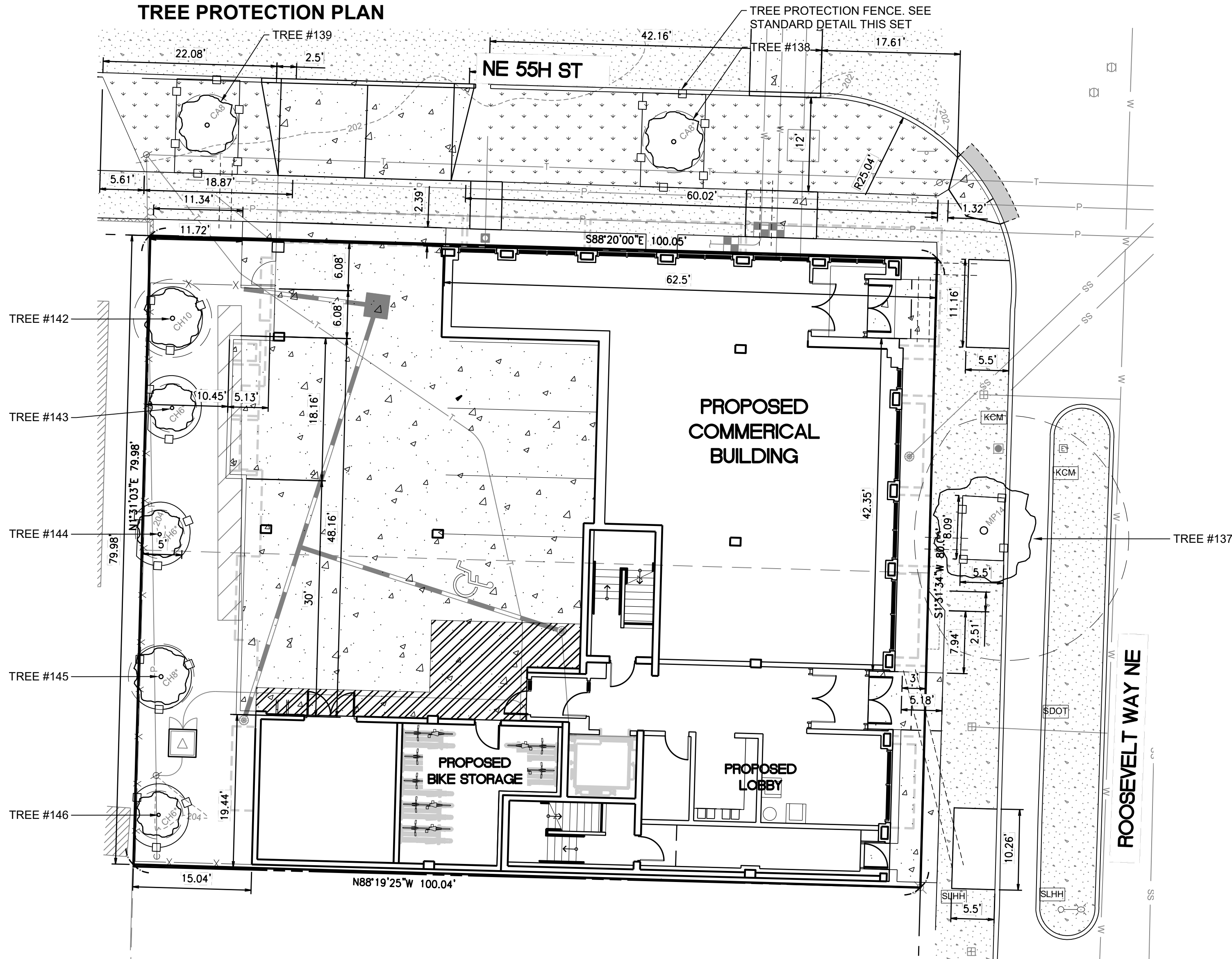


EXISTING TREE TO BE RETAINED. TYPICAL
DASHED LINE IS ESTIMATED DRIPLINE



EXISTING LAWN TO BE RETAINED. PROTECT DURING
CONSTRUCTION. RETURN TO PRE-CONSTRUCTION
CONDITION ONCE ALL WORK IS COMPLETED

TREE PROTECTION PLAN

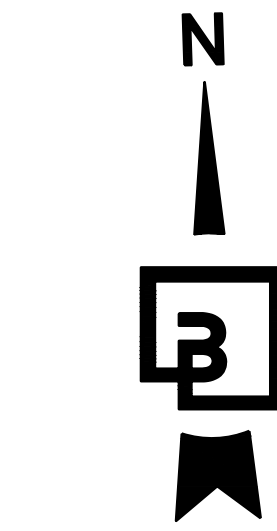


TREE TABLE

TREE #	D.B.H.	Botanical/COMMON NAME	NOTES
TREE #137	14.3"	Acer platanoides / NORWAY MAPLE	Located in ROW
TREE #138	8.5"	Sorbus aucuparia / MT. ASH	Located in ROW
TREE #139	7.8"	Sorbus aucuparia / MT. ASH	Located in ROW
TREE #140	7.4"	Prunus sp. / FLOWERING CHERRY	Onsite
TREE #141	7.7"	Prunus sp. / FLOWERING CHERRY	Onsite
TREE #142	9.6"	Prunus sp. / FLOWERING CHERRY	Onsite
TREE #143	10.7"	Prunus sp. / FLOWERING CHERRY	Onsite
TREE #144	6.3"	Prunus sp. / FLOWERING CHERRY	Onsite
TREE #145	12.2"	Prunus sp. / FLOWERING CHERRY	Onsite
TREE #146	6.8"	Prunus sp. / FLOWERING CHERRY	Onsite

D.B.H.: DIAMETER BREAST HEIGHT

NOTE: ONLY TREES TO BE RETAINED ARE SHOWN ON THIS PLAN

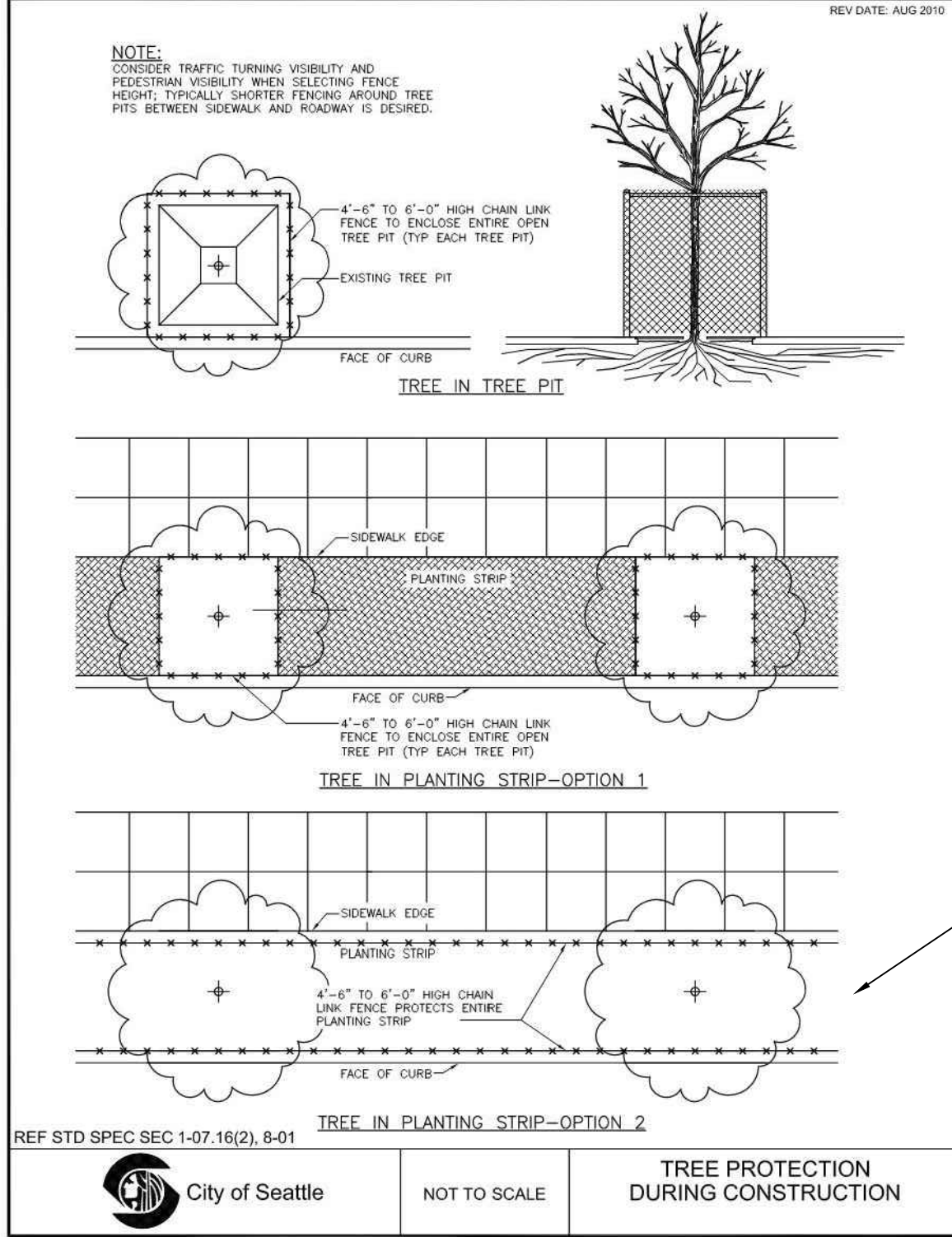


SCALE: 1"=10'

100 LANDSCAPE PLANTING

STANDARD PLAN NO 132a

REV DATE: JUL 2015

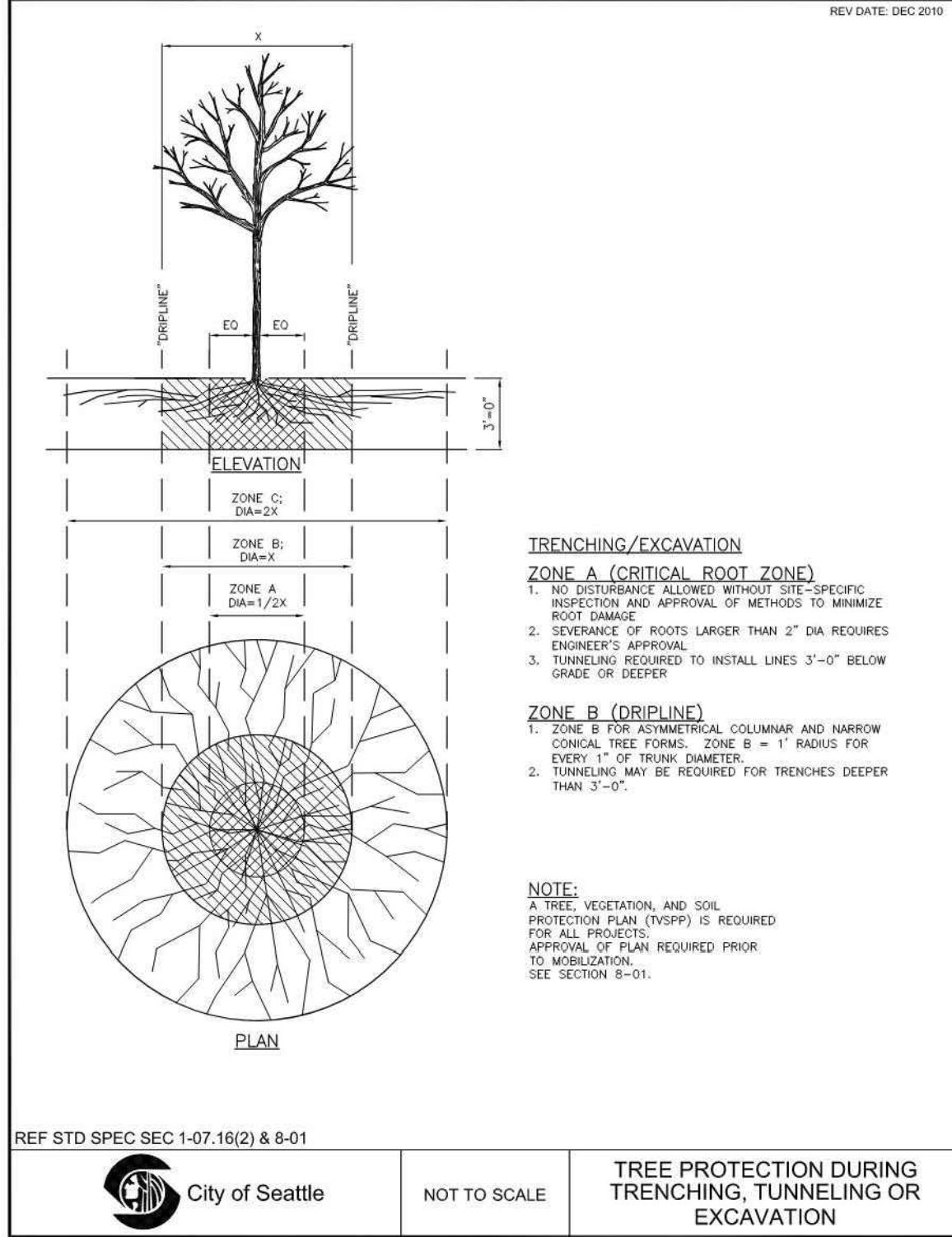


INSTALL TREE PROTECTION FOR
STREET TREE ON ROOSEVELT
WAY PER OPTION 2

100 LANDSCAPE PLANTING

STANDARD PLAN NO 133

REV DATE: DEC 2010



TREE PROTECTION PLAN
5339 ROOSEVELT WAY NE
SEATTLE WA, 98105

MORELLA BROS PROPERTIES
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

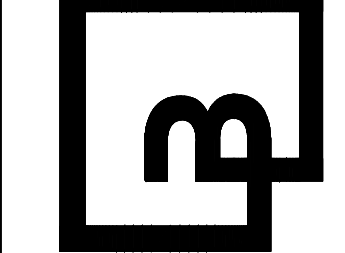
For:



Scale:
Horizontal
1"=10'
Vertical
N/A

Designed: W/LP
Drawn: W/LP
Checked: LRP
Approved: LRP
Date: 3-23-21

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
18144
Sheet
L1 of 7

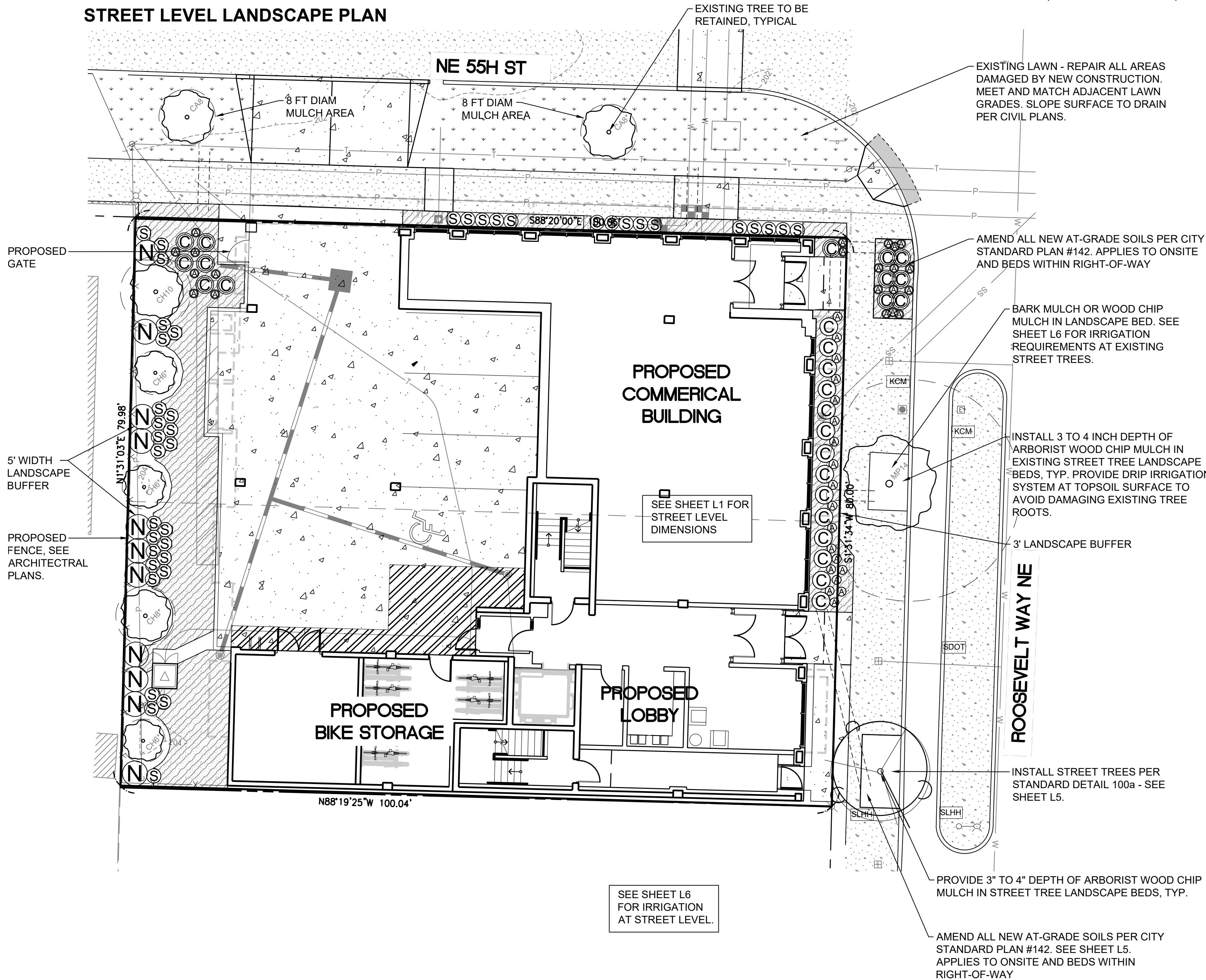


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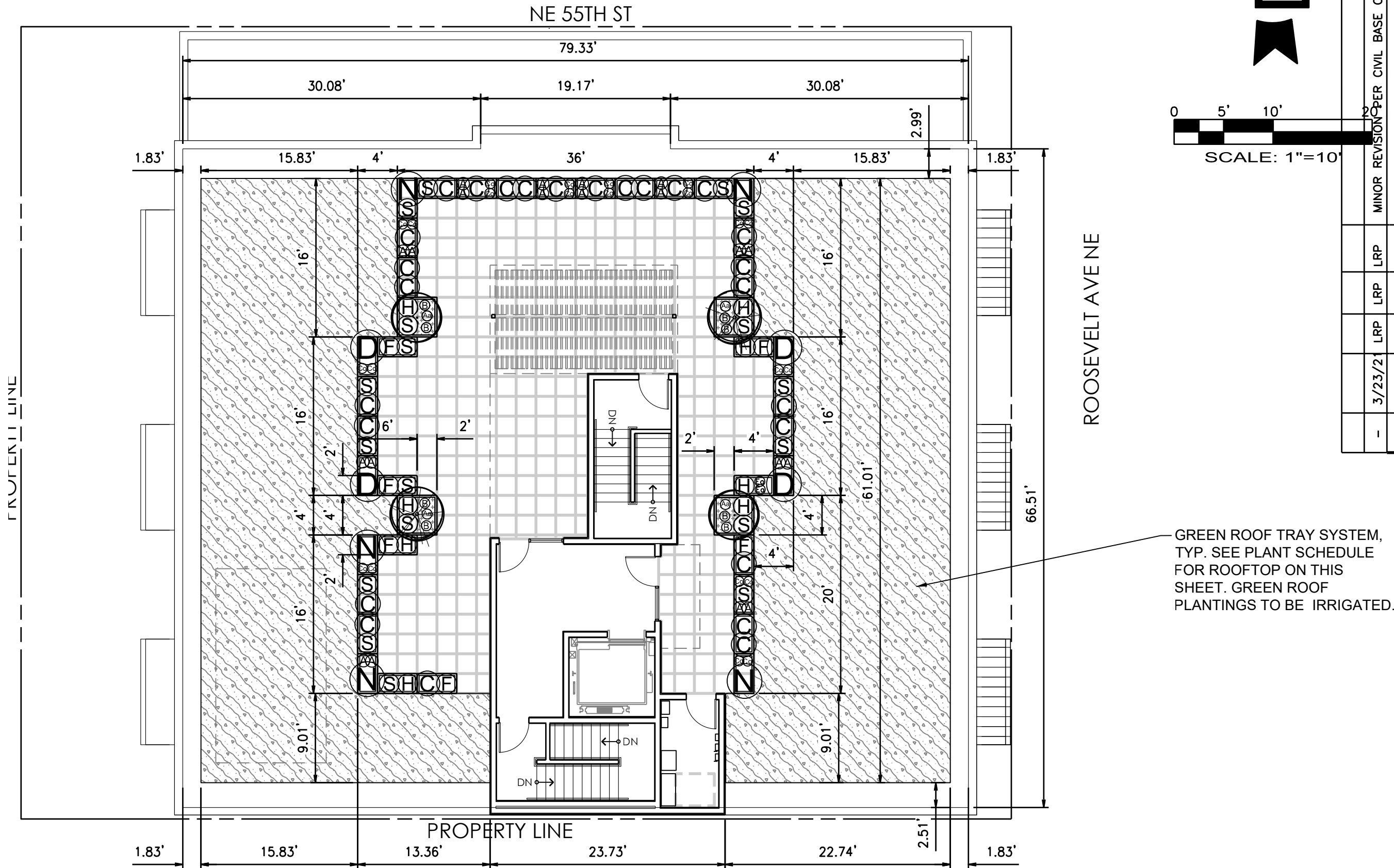
PRELIMINARY LANDSCAPE PLANS
FOR
MORELLA BROS PROPERTIES
NW 1/4 OF SE 1/4 SECTION 8, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.
CITY OF SEATTLE, KING COUNTY, WASHINGTON

SEE SHEET L7 FOR
IRRIGATION AT
ROOFTOP LEVEL.




STREET LEVEL LANDSCAPE PLAN



ROOFTOP LANDSCAPE PLAN

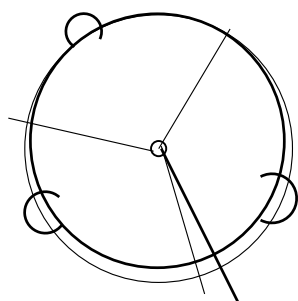




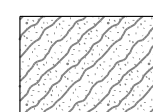


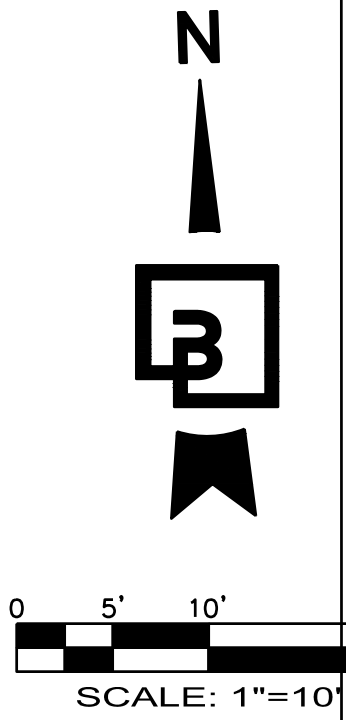
PLANT SCHEDULE ROOFTOP LANDSCAPE

TREES	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	
	ACER PALMATUM 'BLOODGOOD' / BLOODGOOD JAPANESE MAPLE	B & B	5'-6" MIN. HT.	2	
	CHAMAECYPARIS OBTUSA 'GRACILIS AUREA' / GOLD SLENDER HINOKI CYPRESS FULL AND MATCHING	B & B	4'-5" MIN. HT.	2	
SHRUBS	BOTANICAL / COMMON NAME	CONT.	WATER USE	SPACING	QTY
Ⓢ	AGERATINA ALTISSIMA 'CHOCOLATE' / PURPLELEAF BUGBANE	#1	MEDIUM	12" o.c.	4
Ⓐ	ASTER X FRIKARTII 'MONCH' / MONCH ASTER	#1	DROUGHT TOLERANT	15" o.c.	20
Ⓒ	CHIONOCHLOA RUBRA / RED TUSSOCK	30" MIN. HT.	DROUGHT TOLERANT	30" o.c.	26
Ⓞ	COREOPSIS VERTICILLATA 'ZAGREB' / ZAGREB THREAD LEAF COREOPSIS	#1	LOW	12" o.c.	22
Ⓟ	DRYOPTERIS ERYTHROSORA 'BRILLIANCE' / AUTUMN FERN	#1	MEDIUM	12" o.c.	8
ⓖ	ERYNGIUM AMETHYSTINUM / AMETHYST ERYNGO	#1	DROUGHT TOLERANT	12" o.c.	2
Ⓣ	FOTHERGILLA GARDENII / DWARF FOTHERGILLA	30" MIN. HT.	DROUGHT TOLERANT	24" o.c.	6
Ⓓ	FUCHSIA MAGELLANICA 'DAVID' / DAVID HARDY FUCHSIA	30" MIN. HT.	MEDIUM	42" o.c.	4
ⓗ	HAKONECHLOA MACRA 'BENI-KAZE' / GREEN FOREST GRASS	#1	MEDIUM	24" o.c.	8
Ⓝ	NANDINA DOMESTICA 'GULF STREAM' TM / GULF STREAM HEAVENLY BAMBOO	30" MIN. HT.	DROUGHT TOLERANT	42" o.c.	5
Ⓢ	SARCOCOCCA HOOKERIANA DIGYNA 'PURPLE STEM' / PURPLE STEM SWEETBOX	30" MIN. HT.	DROUGHT TOLERANT	24" o.c.	18
GROUND COVERS	BOTANICAL / COMMON NAME	CONT.	WATER USE	SPACING	QTY
	OPHIOPOGON PLANISCAPUS 'NIGRESCENS' / BLACK MONDO GRASS	#1	MEDIUM	12" o.c.	20

GREEN ROOF TRAY ROOF 2,338 SF
TRAY SYSTEM WITH 2" TO 4" DEPTH GROWING MEDIUM AS MANUFACTURED BY COLUMBIA GREEN OR APPROVED EQUAL. PLANT SPECIES MIX TO BE DETERMINED AND SHALL BE DROUGHT TOLERANT AND ADAPTED TO LOCAL CLIMATE.

PLANT SCHEDULE STREETScape LANDSCAPE

TREES	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	
	TILIA MONGOLICA 'HARVEST GOLD' / HARVEST GOLD LINDEN FULL AND MATCHING. INSTALL PER STANDARD DETAIL 100A	B & B	2"-2.5" CAL.	1	
SHRUBS	BOTANICAL / COMMON NAME	CONT.	WATER USE	SPACING	QTY
	ASTER X FRIKARTII 'MONCH' / MONCH ASTER	#1	DROUGHT TOLERANT	15" o.c.	40
	CHIONOCHLOA RUBRA / RED TUSsock	30" MIN. HT.	DROUGHT TOLERANT	30" o.c.	27
	NANDINA DOMESTICA 'GULF STREAM' TM / GULF STREAM HEAVENLY BAMBOO	30" MIN. HT.	DROUGHT TOLERANT	42" o.c.	11
	SARCOCOCCA HOOKERIANA DIGYNA 'PURPLE STEM' / PURPLE STEM SWEETBOX	30" MIN. HT.	DROUGHT TOLERANT	24" o.c.	41
GROUND COVERS	BOTANICAL / COMMON NAME	CONT.	WATER USE	SPACING	QTY
	CALLUNA VULGARIS 'SPRING TORCH' / SCOTCH HEATHER	#1	DROUGHT TOLERANT	18" o.c.	355



Revision				
No.	Date	By	Chd.	Appr.
1	3/23/21	LRP	JV/LP	LRP
MINOR REVISIONS PER CIVIL BASE CHANGE				
REVISED PER CITY COMMENTS				

Title: PRELIMINARY LANDSCAPE PLAN
5339 ROOSEVELT WAY NE
SEATTLE WA, 98105

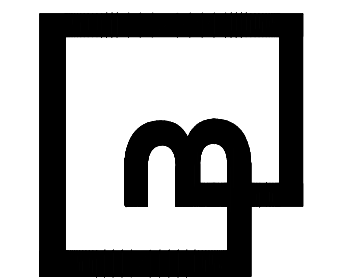
For: MORELLA BROS PROPERTIES
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105



Scale: Horizontal 1"=10' Vertical N/A

Drafted	Drawn	Checked	Approved	Date
JV/LP	LRP	LRP	LRP	3-23-21

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

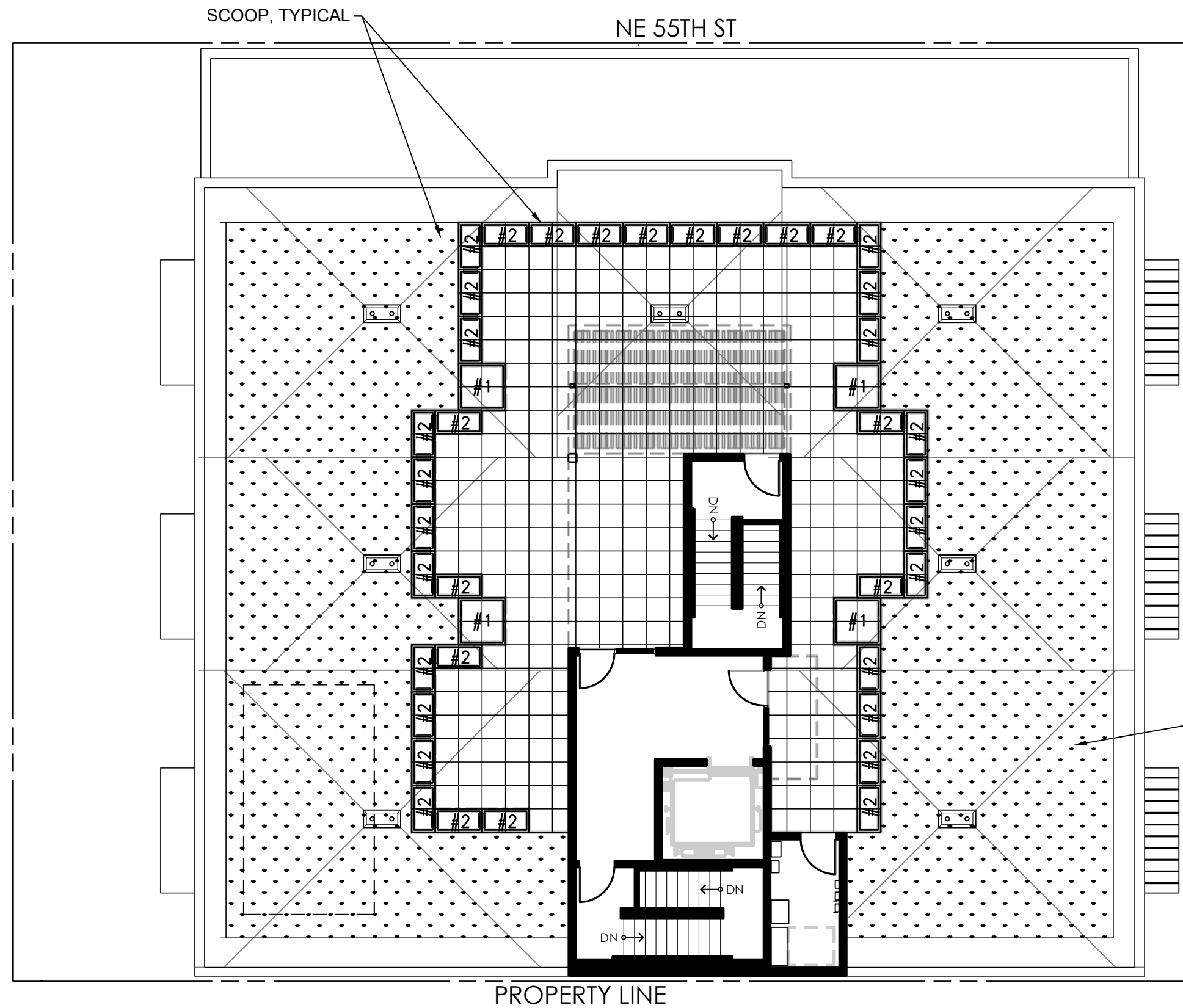


Job Number 18144
Sheet L2 of 7



PRELIMINARY LANDSCAPE PLANS
FOR
MORELLA BROS PROPERTIES
NW 1/4 OF SE 1/4 SECTION 8, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.
CITY OF SEATTLE, KING COUNTY, WASHINGTON

ROOFTOP PLANT CONTAINER DIAGRAM



PLANT CONTAINER SCHEDULE

ALL CONTAINERS FROM TOURNESOL SITEWORKS, PHONE 800-542-2282

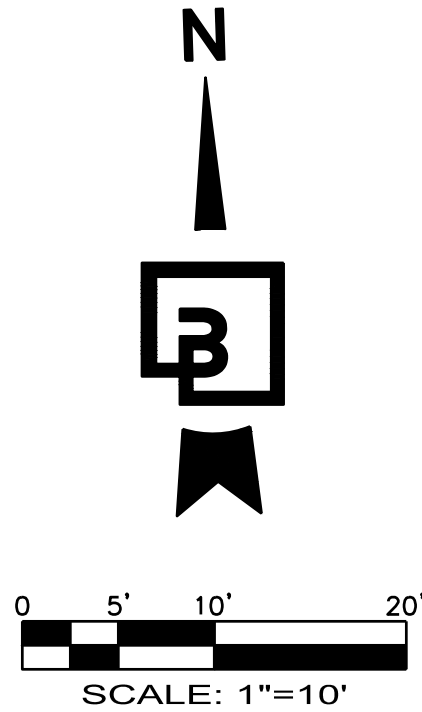
'SCOOP' OPTION FOR THE 'WILSHIRE' COLLECTION TO BE INSTALLED. SEE LOCATIONS THIS SHEET. COORDINATE WITH SALES REP

TIER 1 COLOR TO BE DETERMINED

ALL CONTAINERS TO BE FILLED WITH CEDAR GROVE 'LIGHTWEIGHT SOIL #1'
ADJUST QUANTITIES OF INSTALLED SOIL TO ACCOMMODATE 35% COMPACT RATE

NUMBER	MODEL #	QUANTITY
#1	WR-484836	4
#2	WR-482418	37

GREEN ROOF TRAY SYSTEM,
TYP. SEE PLANT SCHEDULE
FOR ROOFTOP ON SHEET L2



MINOR REVISION PER CIVIL BASE CHANGE		REVISED PER CITY COMMENTS		Revision	
	LRP	LRP	Appr.		
	LRP	JW/LP	Cdd.		
3/23/21	LRP	LRP	Date	No.	
1	12/15/20				

Title: CONTAINER EXHIBIT
5339 ROOSEVELT WAY NE
SEATTLE WA, 98105

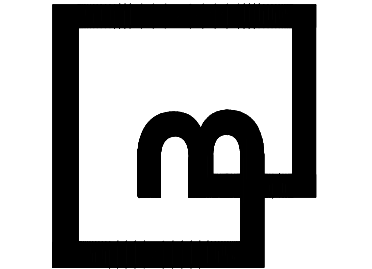
For: MORELLA BROS PROPERTIES
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105



Scale:
Horizontal
1"=10'
Vertical
N/A

Designed JW/LP	JW/LP	LRP	LRP	Date 3-23-21
Drawn	Checked	Approved	LRP	

Barghausen
Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com



Job Number
18144

Sheet
L3 of 7

NW 1/4 OF SE 1/4 SECTION 8, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.
CITY OF SEATTLE, KING COUNTY, WASHINGTON

**AREAS COUNTED AS VISIBLE ARE ALL GROUND LEVEL AREAS EXCEPT AREA IN SOUTHWEST CORNER BEHIND THE POWER CABINET AND BUILDING.
 **PARCEL SIZE DOES NOT INCLUDE ANY EXISTING OR PROPOSED LANDSCAPING WITHIN THE RIGHT OF WAY.
 **SEE PLANT SCHEDULE ON SHEET L2 AREAS COUNTED AS DROUGHT TOLERANT OR NATIVE SPECIES INCLUDES ALL ON-SITE GROUND LEVEL PLANT BEDS. PLANTS IN ROOFTOP CONTAINERS ARE MIXED WITH NON-DROUGHT TOLERANT SPECIES AND ARE NOT COUNTED. GREEN ROOF AREA IS COUNTED.

AREAS WITH LESS THAN 24 INCHES SOIL DEPTH:

ROOFTOP RAISED CONTAINERS 18" DEPTH =	213 SF
ROOFTOP GREEN ROOF TRAY SYSTEM =	2,339 SF
TOTAL AREA LESS THAN 24" SOIL DEPTH =	2,552 SF

ON-SITE PLANTED AREAS AT STREET LEVEL =	1,204 SF
ROOFTOP RAISED CONTAINERS 36" DEPTH =	52 SF
PLANTED AREAS WITHIN STREET ROW** =	<u>1,276 SF</u>
TOTAL AREA 24" OR MORE SOIL DEPTH =	2,532 SF

COUNTED AS 2 FT OR MORE AT MATURITY:

TOTAL SHRUBS & PERENNIALS OVER 2 FT HT = 138

EXISTING SAVED LARGE TREES**	DBH (INCHES)
------------------------------	--------------

ON SITE:	
TREE #142	9.6
TREE #143	10.7
TREE #144	6.3
TREE #145	12.2
TREE #146	6.8
TOTAL DBH ON SITE =	45.6

SEE SHEET L1

MORELLA BROS PROPERTIES
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

For:



Scale:

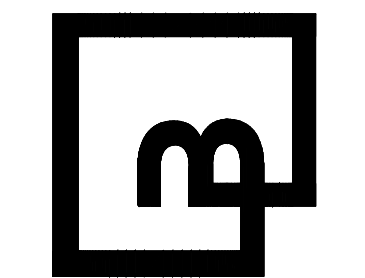
Horizontal

N/A

Vertical

Designed JV/LP
 Drawn JV/LP
 Checked LRP
 Approved LRP
 Date 3-23-21

**Barghausen
Consulting Engineers, Inc.**
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 **barghausen.com**



Job Number
18144

Sheet
4 of **7**



Know what's **below**.
Call before you dig
Dial 811

100 LANDSCAPE PLANTING

STANDARD PLAN NO 142

REV DATE: JAN 2017

PLANTING BEDS

TURF (LAWN) AREAS

2"-3" ARBORIST WOOD CHIP MULCH

GRASS: SEED OR SOO

3" OF COMPOST INCORPORATED INTO SOIL TO 8" DEPTH

1 1/2" OF COMPOST INCORPORATED INTO SOIL TO 8" DEPTH

SUBSOIL SCARIFIED 4" BELOW COMPOST AMENDED LAYER (12" BELOW SOIL SURFACE), AS DETERMINED BY THE ENGINEER

SUBSOIL SCARIFIED 4" BELOW COMPOST AMENDED LAYER (12" BELOW SOIL SURFACE), AS DETERMINED BY THE ENGINEER

0"

6"

12"

NOTES:

1. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, MUST BE AMENDED WITH COMPOST AS DESCRIBED BELOW.

2. SUBSOIL SHOULD BE SCARIFIED (LOOSENED) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.

3. COMPOST MUST BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL, OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.

4. TURF AREAS MUST RECEIVE 1.75 INCHES OF COMPOST FILLED IN TO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 20-25% COMPOST BY VOLUME. THEN PLANT GRASS SEED OR SOO PER SPECIFICATION.

5. PLANTING BEDS MUST RECEIVE 3 INCHES OF COMPOST FILLED IN TO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING, WITH 2-3 INCHES OF ARBORIST WOOD CHIP MULCH OR APPROVED EQUAL.

6. SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS, SOIL SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.

THE MATERIALS AND METHODS IN THIS DETAIL TAKE PRECEDENCE OVER THE WRITTEN SPECIFICATIONS ON THIS SHEET.

REF STD SPEC SEC 8-01, 8-02 & 9-14

City of Seattle

NOT TO SCALE

SOIL AMENDMENT AND DEPTH

2017 Edition City of Seattle Standard Plans for Municipal Construction

100 LANDSCAPE PLANTING

STANDARD PLAN NO 100a

REV DATE: AUG 2013

THIS DETAIL APPLIES TO ALL NEW TREE PLANTING WITHIN THE RIGHT-OF-WAY.

STAKE TREE WITH (2) TREATED 2" LODGEPOLE PINE DOWELED TREE STAKES (8'-0" LENGTH) LOOP EACH THE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH.

"CHAINLOCK" OR EQUAL TREE TIE MATERIAL (1" SIZE) NAIL OR STAPLE TREE TIE MATERIAL TO STAKE TO HOLD VERTICALLY. LOOP EACH THE AROUND HALF TREE LOOSELY TO PROVIDE 1" SLACK FOR TRUNK GROWTH.

2"-3" MULCH DEPTH (TAPERED AT TRUNK)

MULCH TREE PIT MIN 5'-0" LENGTH X FULL PLANTING STRIP WIDTH BETWEEN CURB AND SIDEWALK (FOR PLANTING STRIPS LESS THAN 6'-0" WIDE) OR PROVIDE 5'-0" DIA MULCH RING FOR PLANTING STRIPS WIDER THAN 6'-0".

SIDEWALK

18" ROOTBARRIER AT SIDEWALK

ROUGHEN SIDES OF PLANTING HOLE MAXIMIZE EXCAVATED AREA WITHOUT UNDERMINING ADJACENT PAVING/CURB

ROOTBARRIER: PLACE AT EDGE OF PAVEMENT/SIDEWALK/ETC.; PLACE PRIOR TO PLACEMENT OF NEW SIDEWALK OR CURB TO PREVENT UNDERMINING.

SEE STD SPEC SECTION 8-02-210(B), OR AS APPROVED BY ENGINEER

REMOVE ALL WIRE, STRINGS, AND OTHER NON-BURLAP MATERIAL AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. MINIMUM REMOVE ENTIRELY WHEN DIRECTED BY THE ENGINEER.

MIN WIDTH OF TREE PIT = 2 TIMES ROOTBALL DIAMETER OR 5'-0", WHICHEVER IS GREATER

MULCH AREA TO BE CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION WITH TREE ROOTS

24" ROOTBARRIER AT CURB WHEN SHOWN ON THE DRAWINGS

TREE PIT DEPTH = ROOTBALL DEPTH (MEASURE BEFORE DIGGING TO AVOID OVEREXCAVATION)

3" TO 4" HIGH WATERING RING (SEE NOTE 2)

SET TOP OF ROOT CROWN 2" ABOVE ADJACENT CURB & SIDEWALK GRADE

DRIVE STAKES 6" TO 1'-0" INTO UNDISTURBED SOIL BELOW ROOTBALL

DRIVE STAKE AT ROOTBALL EDGE (TYP)(SEE NOTE 1)

UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK)

NOTES:

1. PLANTING INCLUDES REMOVAL OF STAKES ONE YEAR AFTER INSTALLATION.

2. SHAPE SOIL SURFACE TO PROVIDE 4" DIA WATERING RING.

3. TREE CLEARANCE SHALL BE PER STD PLAN NO 030.

4. SEE STD PLAN NO 424 FOR TREE PIT DETAIL.

5. ADJUST TREE TIES DURING ESTABLISHMENT TO ALLOW ROOM FOR GROWTH (8" SLACK).

6. ROOT BARRIER REQUIRED ALONG EDGE OF ROADWAY, CURB, DRIVEWAY, TRAIL, SIDEWALK, OR OTHER STRUCTURES WHERE ROOTBALL IS WITHIN TWO FEET. PLACE VERTICAL ROOTBARRIER SHOWN IN STANDARD PLANS NO 424a OR 424b. INSTALL ROOT BARRIERS FOR NEWLY PLANTED TREES ONLY.

REF STD SPEC SEC 8-02

City of Seattle

NOT TO SCALE

DECIDUOUS TREE PLANTING IN PLANTING STRIP

2014 Edition City of Seattle Standard Plans for Municipal Construction

PRELIMINARY LANDSCAPE PLANS

FOR

MORELLA BROS PROPERTIES

NW 1/4 OF SE 1/4 SECTION 8, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.

CITY OF SEATTLE, KING COUNTY, WASHINGTON

HOLD PLANTS FROM EDGE OF PLANTER AS NOTED ON PLANT LIST

SPACING AS CALLED OUT ON PLAN/PLANT LIST

HOLD PLANTS FROM EDGE OF PLANTER AS NOTED ON PLANT LIST

BED LINE EDGE

CURB/WALK

NOTE: THIS SPACING APPLIES TO GROUNDCOVER AND FORMAL SHRUB ROW PLACEMENT.

PLANT MATERIAL SPACING DETAIL

NOT TO SCALE

2" MULCH LAYER (COMPACTED DEPTH)

FEATHER EXCESS SOIL UNDER MULCH

1" MULCH AT CROWN

1/2" ABOVE GRADE

1" ABOVE GRADE

PREPARED PLANTING BED

NOTE: REMOVE CONTAINER & WORK ROOTS FREE OF SOIL. BACKFILL TO BE SETTLED USING WATER ONLY SEE PLANT LIST FOR PLANT SPACING

LESS THAN 1 GAL. (PLANTED BEFORE MULCH)

1 GAL. CONTAINER and LARGER (PLANTED BEFORE MULCH)

GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 90-DAY MAINTENANCE.

QUALIFICATIONS:

LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEARS' EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:

SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

REPAIR OF EXISTING PLANTINGS:

DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

IRRIGATION SYSTEM:

BIDDER-DESIGN IRRIGATION SYSTEM. LANDSCAPE CONTRACTOR TO VERIFY AVAILABLE WATER PRESSURE PRIOR TO BEGINNING ANY WORK ON THE PROPOSED IRRIGATION SYSTEM. PROVIDE WRITTEN RESULTS OF WATER PRESSURE TO LANDSCAPE ARCHITECT

REPAIR OF IRRIGATION SYSTEM:

DURING THE COURSE OF WORK, REPAIR ANY DAMAGE TO THE IRRIGATION SYSTEM TO MATCH CONDITIONS PRIOR TO THE DAMAGE.

GARANTEE:

GARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

60-DAY MAINTENANCE:

CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 60 DAYS FOLLOWING STORE OPENING. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

SUBMITTALS:

SUBMIT FIVE (5) COPIES THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF THE WORK:

A) DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED.

B) TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS.

C) TREE STAKING AND GUYING MATERIALS.

D) ONE (1) QUART SIZE OF TOPSOIL AND MULCH.

E) PLANTING SCHEDULE INCLUDING DATES AND TIMES.

F) MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR.

MATERIALS:

PLANT MATERIALS:

PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BARED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "GAL" INDICATES GALLON.

A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.

B) QUALITY:

PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "CROTCHES" LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET CITY OR ANSI STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.

C) SUBSTITUTION:

NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.

D) LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.

E) DELIVER PLANT MATERIAL AFTER PREPARATION OF PLANTING AREAS HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET MATERIAL IN SHADE. PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

SOIL PREPARATION:

CONFORM TO THE REQUIREMENTS OF SEATTLE STANDARD PLAN 142. SEE DETAIL ON THIS SHEET.

TOPSOIL, AMENDMENT, AND BACKFILL, ARE GENERAL REQUIREMENTS FOR ALL LANDSCAPE AREAS, UNLESS NOTED OTHERWISE ON THE PLANS. SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. PROVIDE CHANGE ORDER FOR ADDITIONAL OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.

TOPSOIL (AT-GRADE PLANTERS):

CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF SITE SOURCES. SEE CITY OF SEATTLE STANDARD DETAIL THIS SHEET.

TOPSOIL (ROOFTOP CONTAINERS):

CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF SITE SOURCES.

ORGANIC MULCH (TOPDRESSING):

IN ALL PLANT BEDS AND RAISED PLANTERS: ARBORIST WOOD CHIP MULCH PER SEATTLE STANDARD SPECIFICATIONS 9.14.4 (4). SEE SPECIFICATION ON THIS SHEET.

COMPOST:

CONFORM TO THE REQUIREMENTS OF SEATTLE STANDARD SPECIFICATIONS 9-14.4 (8)

STAKES:

2-INCH DIAMETER BY 8-FOOT MINIMUM LODGEPOLE PINE STAKES.

GUY MATERIAL:

1-INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES; OR, 3/8" DIAMETER RUBBER. NO WIRE.

LAWN:

COMMERCIAL SEED AS NOTED ON PLAN.

HERBICIDE:

HERBICIDE IS NOT RECOMMENDED FOR THE FIRST YEAR AFTER INSTALLATION.

ANTI-DESICCANT:

"WILT-PROOF," 48 HOURS PRIOR TO SHIPMENT TO SITE FROM JUNE 1 THROUGH SEPTEMBER. THOROUGHLY ROOT WATER PLANTS PRIOR TO DELIVERY. PLANT MATERIAL DELIVERED TO SITE TO BE KEPT CONTINUALLY MOIST THROUGH INSTALLATION.

EXECUTION:

CONTAMINANTS:

VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

FINISH GRADES:

FINE GRADE AND REMOVE ROCKS, DEBRIS, AND FOREIGN OBJECTS OVER 2 INCHES DIAMETER FROM TOP SURFACE OF PREPARED LANDSCAPE AREAS. FINISH ELEVATIONS TO BE DEFINED AS 3 INCHES BELOW CURBS; WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL PLANTING BED AREAS AND 1-INCH BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL LAWN AREAS. FINISH GRADE REFER TO GRADES PRIOR TO INSTALLATION OF MULCH OR LAWN. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS. MOISTEN PREPARED AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

TREES AND SHRUBS:

ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES, SHRUBS, AND SUPPORTS TO STAND VERTICAL. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

GROUNDCOVERS:

EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

MULCH:

MULCH ALL LANDSCAPE AREAS NOT COVERED BY LAWN AND/OR SEED. APPLY SUFFICIENT QUANTITY TO PROVIDE A 2 TO 4 INCH DEPTH.

UTILITY CLEARANCES:

FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

CLEANUP AND PROTECTION:

DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

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FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

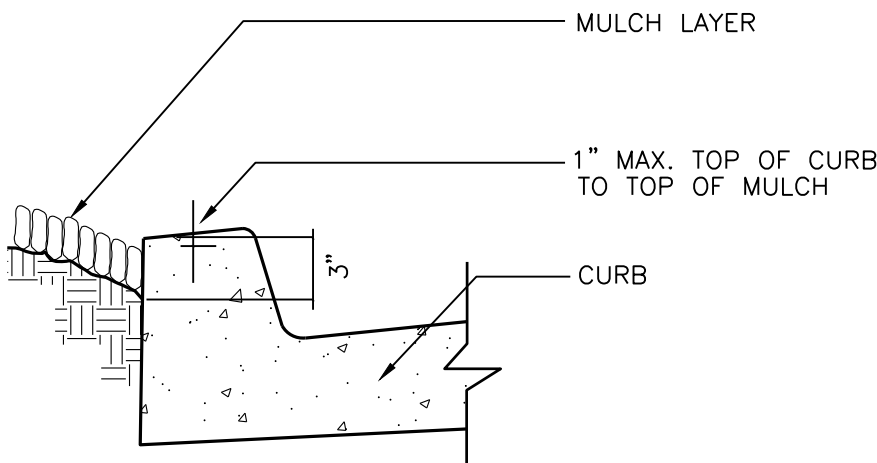
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- 9-14.4(4) ARBORIST WOOD CHIP MULCH
- Procurement.** For Project Sites located within the City limits of Seattle; the Contractor shall procure arborist wood chip mulch materials from only approved sources as specified by the City of Seattle, City Purchasing and Contracting Services (<http://www.seattle.gov/contracting/construction.html>).
 - Quality.** Arborist Wood Chip Mulch (AWCM) shall be coarse ground wood chips (approximately 1/2" to 6" along the longest dimension) derived from the mechanical grinding or shredding of the above-ground portions of trees. It may contain wood, wood fiber, bark, branches, and leaves; but may not contain visible amounts of soil. It shall be free of weeds and weed seeds including but not limited to plants on the King County Noxious Weed list available at: www.kingcounty.gov/weeds, and shall be free of invasive plant portions capable of resprouting, including but not limited to horsetail, ivy, Clematis, knotweed, etc. It may not contain more than 12% by weight of manufactured inert material (plastic, concrete, ceramics, metal, etc.).
 - Gradation.** Arborist Wood Chip Mulch, when tested, shall meet the following loose volume gradation:

Percent	Minimum	Passing
Sieve Size		
2" 95		100
1" 70		100
5/8 0		50
1/4 0		40

No particles may be longer than eight inches.

- Submittals.** At the Engineer's request, prior to delivery the Contractor shall provide the following:
 - The source of the product and species of trees included in it;
 - A sieve analysis verifying the product meets the above size gradation requirement;
 - A 5 gallon sample of the product, for the Engineer's approval.



MULCH AT CURB DETAIL

NOT TO SCALE



Know what's below.
Call before you dig.
Dial 811

PRELIMINARY LANDSCAPE NOTES AND DETAILS

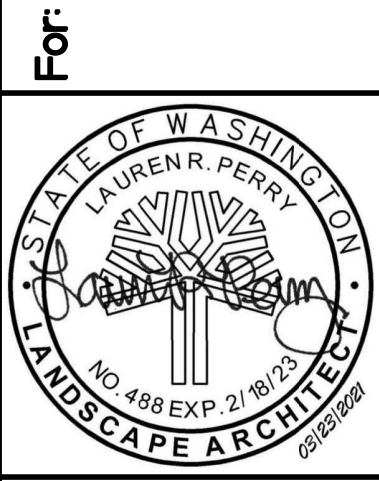
5339 ROOSEVELT WAY NE

SEATTLE WA, 98105

MORELLA BROS PROPERTIES

5339 ROOSEVELT WAY NE

SEATTLE, WA 98105



Scale:

Horizontal N/A

Vertical N/A

Designed JV/LP

Drawn JV/LP

Checked LRP

Approved LRP

Date 3-23-21

Barghausen Consulting Engineers, Inc.

18215 72nd Avenue South

Kent, WA 98032

425.251.6222

barghausen.com

B

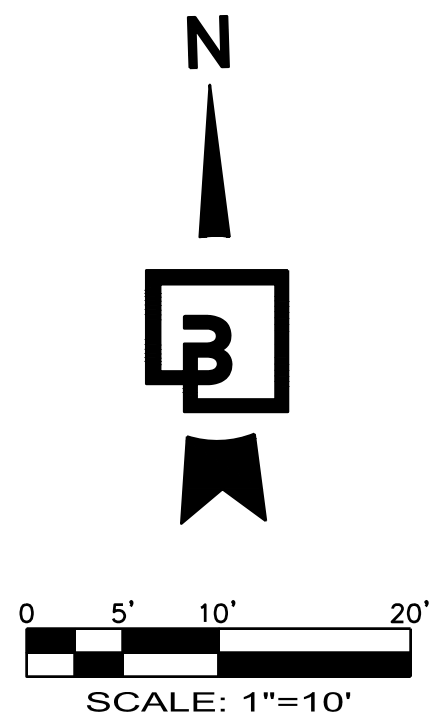
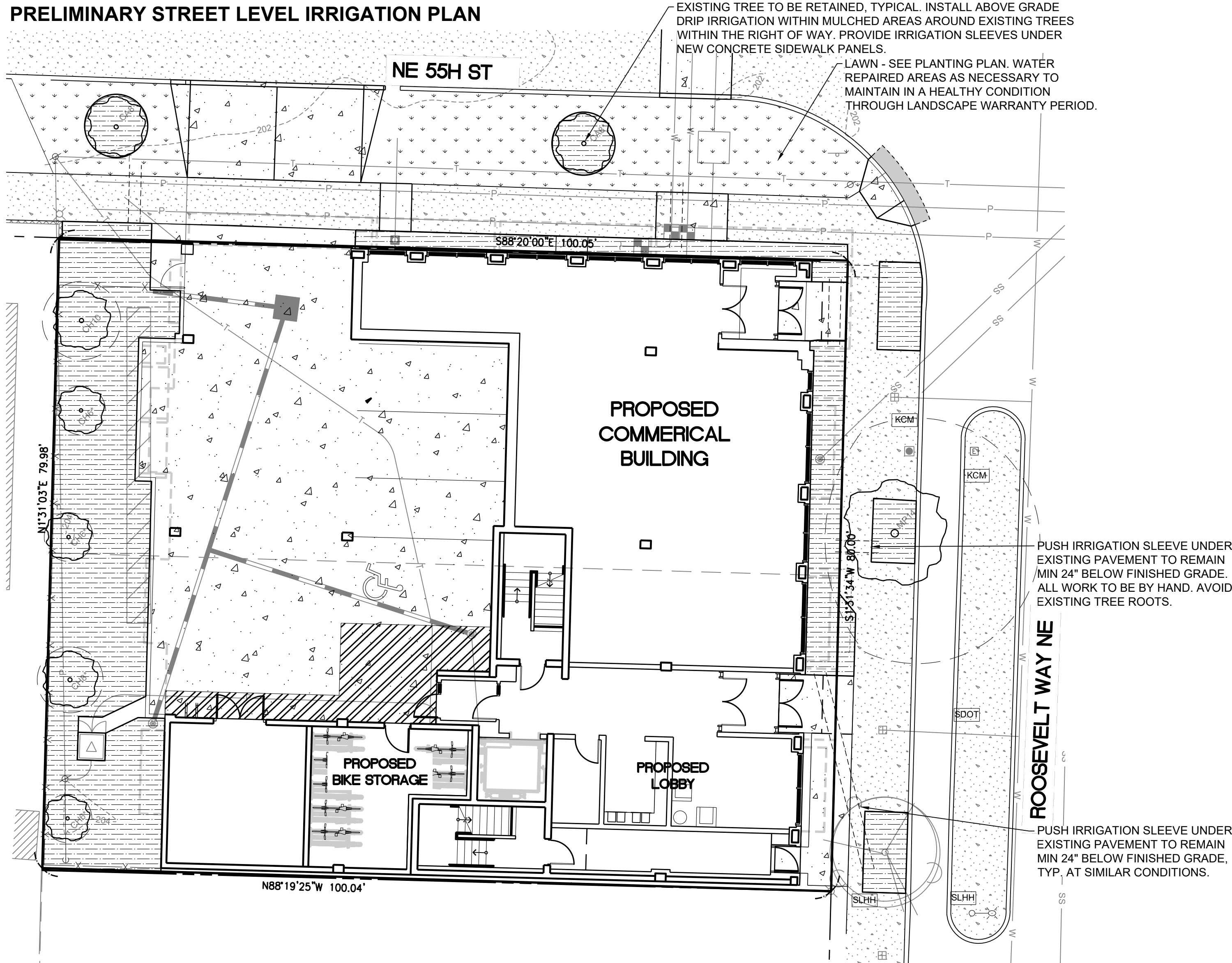
Job Number 18144

Sheet

L5 of 7

PRELIMINARY LANDSCAPE PLANS
FOR
MORELLA BROS PROPERTIES
NW 1/4 OF SE 1/4 SECTION 8, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.
CITY OF SEATTLE, KING COUNTY, WASHINGTON

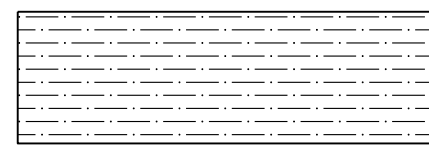
PRELIMINARY STREET LEVEL IRRIGATION PLAN



PRELIMINARY IRRIGATION SCHEDULE

DESCRIPTION

DRIP IRRIGATION:



NETAFIM LANDSCAPE DRIPLINE COMPONENTS WITH NETAFIM TWIST LOCK FITTINGS AND ADAPTORS
NCZ-1S 1 INCH NETAFIM CONTROL ZONE KIT WITH SCREEN FILTER, 50 PSI
TLCV4 18025 DRIP TUBING
TLSB TUBING STAPLES, 3' ON-CENTER

DESCRIPTION



DRIP IRRIGATION: 1 INCH NETAFIM CONTROL ZONE KIT WITH SCREEN FILTER, 50 PSI.
ONE VALVE PER BOX



RAINBIRD WIRED RAIN SENSOR



RAINBIRD: ESP-LXMEF IRRIGATION CONTROLLER, (HARDWIRE CONNECTION); PROVIDE GROUND AND BATTERIES PER MFR. SPECS.; COORDINATE WITH OWNER AND GENERAL CONTRACTOR FOR BEST LOCATION OF IRRIGATION CONTROLLER. IF LOCATION IS TO BE OUTSIDE, COORDINATE WHETHER THE CONTROLLER IS TO BE MOUNTED ON AN EXTERIOR BUILDING WALL OR MOUNTED ON A METAL PEDESTAL WITH CONC. FOOTING.



RAINBIRD EFB-CP 1" MASTER VALVE AND FS100B 1" FLOW SENSOR. SEE DETAIL THIS SET. WIRE FLOW SENSOR BACK TO CONTROLLER WITH PE-39 DATA CABLE

P.O.C.



WILKINS 950 XLT- 1" DOUBLE CHECK VALVE (STATE APPROVED); TEST AND CERTIFICATION BY LICENSED BACKFLOW TESTER
WILKINS 850 - BALL VALVE, SIZE TO MATCH PIPE
CARSON INDUSTRIES #1730 (TWO AT P.O.C.) GRADE LEVEL VAULT WITH BOLT LOCK LID



PLASTIC BALL VALVE, MATCH LINE SIZE, IN VALVE BOX



HUNTER HQ-33DLRC 3/4" QUICK COUPLING VALVE, IN VALVE BOX, PROVIDE TWO KEYS AND SWIVELS

MAINLINE - SCH 40 PVC (18" COVER); SIZE PER PLAN, 2" SIZE MINIMUM

LATERAL - SCH 40 PVC (12" COVER); SIZE PER PLAN, 3/4" SIZE MINIMUM

SLEEVE - CLASS 200; 24" MINIMUM COVER AT VEHICLE CROSSINGS AND 18" MINIMUM COVER IN LANDSCAPE AREAS, 6" SIZE

IRRIGATION SHOWN DIAGRAMATICALLY FOR PLAN CLARITY. COMMON TRENCH AND PLACE EQUIPMENT IN LANDSCAPE; MANIFOLD GROUPED VALVES IN ADJACENT SHRUB AREAS WHERE FEASIBLE.

SCH 40 PIPE SIZING CHART

PIPE SIZE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	
FLOW GPM	1-8	8.1-13	13.1-23	23.1-32	32.1-53	53.1-74	GPM (MAX.)

Revision		Minor Revision Per Civil Base Change		Revised Per City Comments	
No.	Date	By	Chd.	Appr.	
1	3/23/21	LRP	LRP	LRP	
	12/15/20	LRP	JV/LP	LRP	

Title:
PRELIMINARY IRRIGATION PLAN - STREET LEVEL
5339 ROOSEVELT WAY NE
SEATTLE WA, 98105

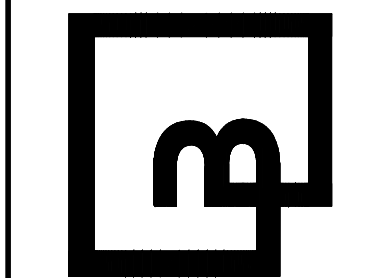
For:
MORELLA BROS PROPERTIES
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105



Scale:
Horizontal
1"=10'
Vertical
N/A

Designed	Drawn	Checked	Approved	Date
JV/LP	JV/LP	LRP	LRP	3-23-21

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18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

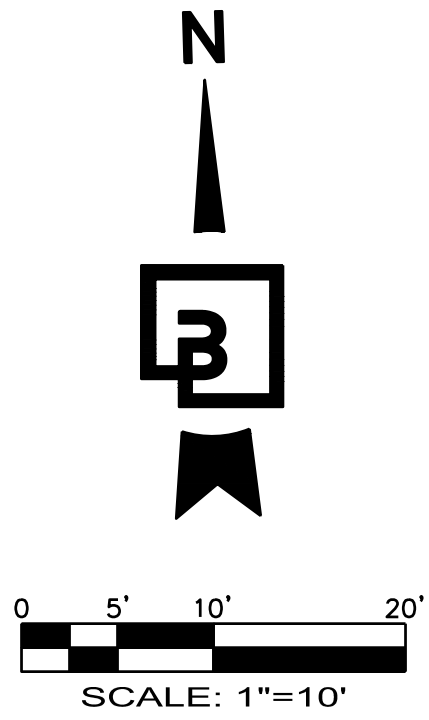


Job Number
18144
Sheet
L6 of **7**

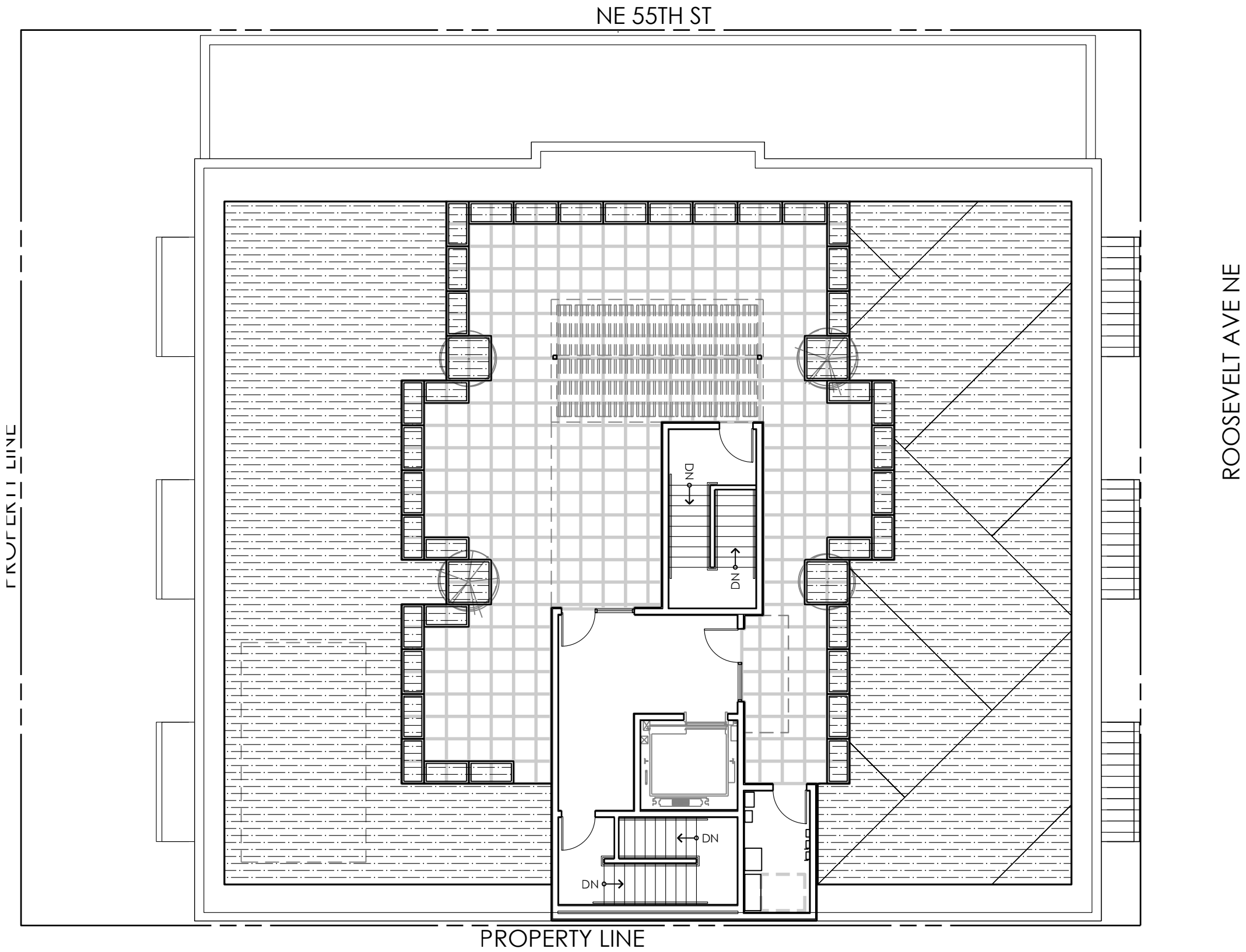


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PRELIMINARY LANDSCAPE PLANS
FOR
MORELLA BROS PROPERTIES
NW 1/4 OF SE 1/4 SECTION 8, TOWNSHIP 25 NORTH, RANGE 4 EAST W.M.
CITY OF SEATTLE, KING COUNTY, WASHINGTON



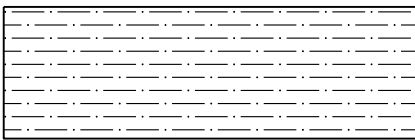
PRELIMINARY ROOFTOP IRRIGATION PLAN



PRELIMINARY IRRIGATION SCHEDULE

DESCRIPTION

DRIP IRRIGATION:



NETAFIM LANDSCAPE DRIPLINE COMPONENTS WITH NETAFIM TWIST LOCK FITTINGS AND ADAPTORS
NCZ-1S 1 INCH NETAFIM CONTROL ZONE KIT WITH SCREEN FILTER, 50 PSI
TLCV4 18025 DRIP TUBING
TLSB TUBING STAPLES, 3' ON-CENTER

DESCRIPTION



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ONE VALVE PER BOX



RAINBIRD WIRED RAIN SENSOR



RAINBIRD: ESP-LXMEF IRRIGATION CONTROLLER, (HARDWIRE CONNECTION); PROVIDE GROUND AND BATTERIES PER MFR. SPECS.; COORDINATE WITH OWNER AND GENERAL CONTRACTOR FOR BEST LOCATION OF IRRIGATION CONTROLLER. IF LOCATION IS TO BE OUTSIDE, COORDINATE WHETHER THE CONTROLLER IS TO BE MOUNTED ON AN EXTERIOR BUILDING WALL OR MOUNTED ON A METAL PEDESTAL WITH CONC. FOOTING.



RAINBIRD EFB-CP 1" MASTER VALVE AND FS100B 1" FLOW SENSOR. SEE DETAIL THIS SET. WIRE FLOW SENSOR BACK TO CONTROLLER WITH PE-39 DATA CABLE

P.O.C.



WILKINS 950 XLT- 1" DOUBLE CHECK VALVE (STATE APPROVED); TEST AND CERTIFICATION BY LICENSED BACKFLOW TESTER
WILKINS 850 - BALL VALVE, SIZE TO MATCH PIPE
CARSON INDUSTRIES #1730 (TWO AT P.O.C.) GRADE LEVEL VAULT WITH BOLT LOCK LID



PLASTIC BALL VALVE, MATCH LINE SIZE, IN VALVE BOX



HUNTER HQ-33DLRC 3/4" QUICK COUPLING VALVE, IN VALVE BOX, PROVIDE TWO KEYS AND SWIVELS

----- MAINLINE - SCH 40 PVC (18" COVER); SIZE PER PLAN, 2" SIZE MINIMUM

----- LATERAL - SCH 40 PVC (12" COVER); SIZE PER PLAN, 3/4" SIZE MINIMUM

----- SLEEVE - CLASS 200; 24" MINIMUM COVER AT VEHICLE CROSSINGS AND 18" MINIMUM COVER IN LANDSCAPE AREAS, 6" SIZE

IRRIGATION SHOWN DIAGRAMATICALLY FOR PLAN CLARITY. COMMON TRENCH AND PLACE EQUIPMENT IN LANDSCAPE; MANIFOLD GROUPED VALVES IN ADJACENT SHRUB AREAS WHERE FEASIBLE.

SCH 40 PIPE SIZING CHART

PIPE SIZE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	
FLOW GPM	1-8	8.1-13	13.1-23	23.1-32	32.1-53	53.1-74	GPM (MAX.)

Revision		Minor Revision Per Civil Base Change		Revised Per City Comments	
No.	Date	By	Chd.	Appr.	
1	12/15/20				
2	3/23/21				

Title: **PRELIMINARY IRRIGATION PLAN - ROOFTOP**
5339 ROOSEVELT WAY NE
SEATTLE WA, 98105

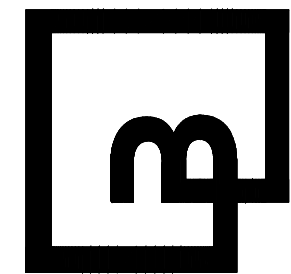
For: **MORELLA BROS PROPERTIES**
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105



Scale: Horizontal 1"=10' Vertical N/A

Dsgn'd	Drwn	Chkd	Appr'd	Date
WJ/LP	WJ/LP	LRP	LRP	3-23-21

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18215 72nd Avenue South
Kent, WA 98032
425.251.6222 barghausen.com



Job Number **18144**
Sheet **L7** of **7**



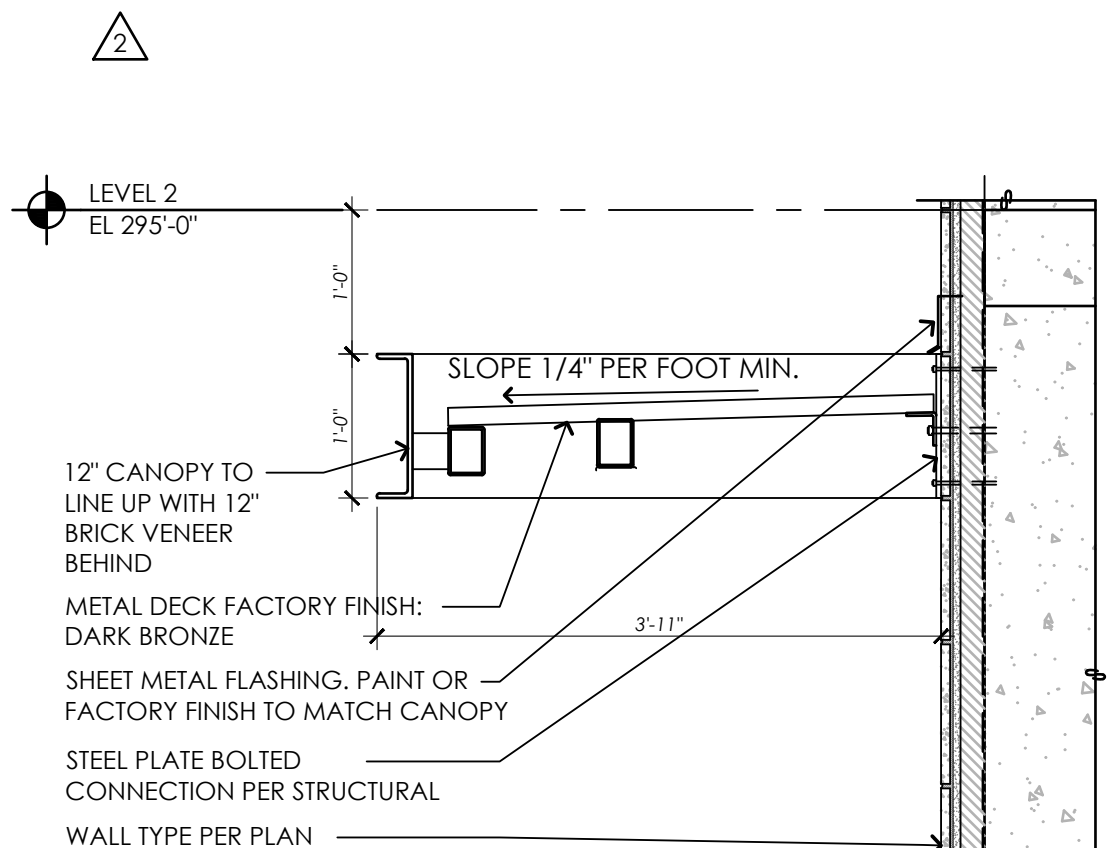
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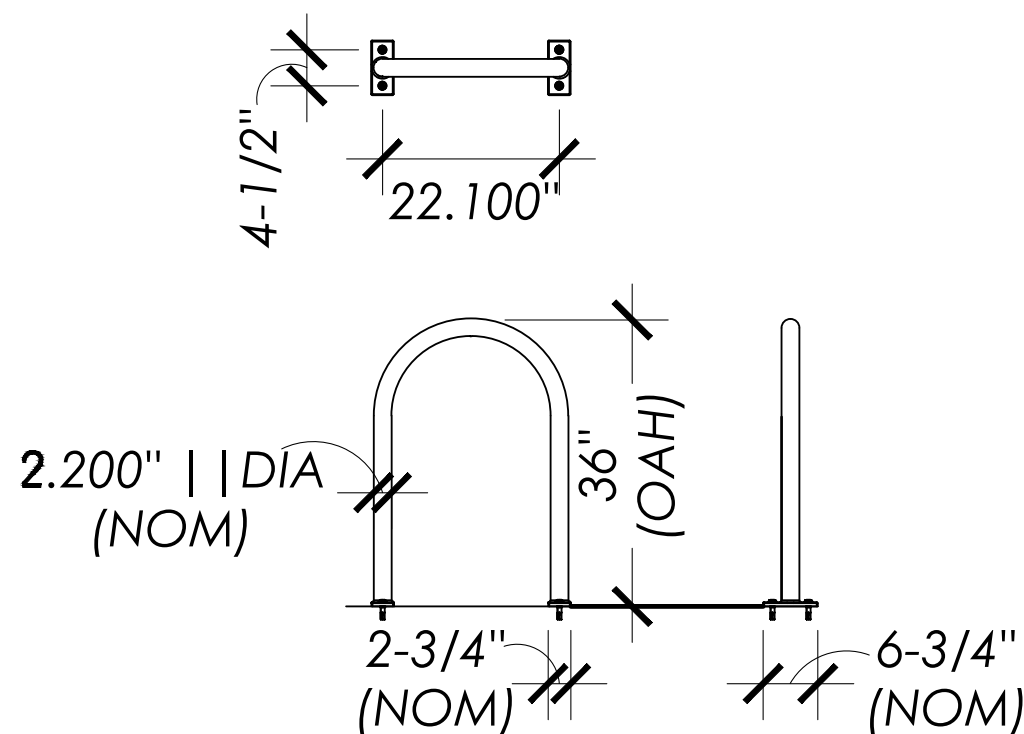
55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM



10 FRONT CANOPY @ CONCRETE
3/4" = 1'-0"

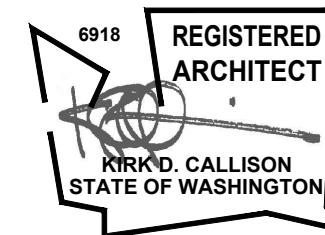


15 BIKE LOOP DETAILS

GENERAL
DATE: DECEMBER 16, 2018
PROJECT NO: 16359.01
MANAGER: KDC
DRAWN: RC
CHECKED: KDC

REVISION		
NO.	DATE	ISSUE
	12/16/19	MUP SET
1	06/23/20	CORRECTION #1
2	02/01/21	CORRECTION #2
3	03/23/21	CORRECTION #3

STAMP



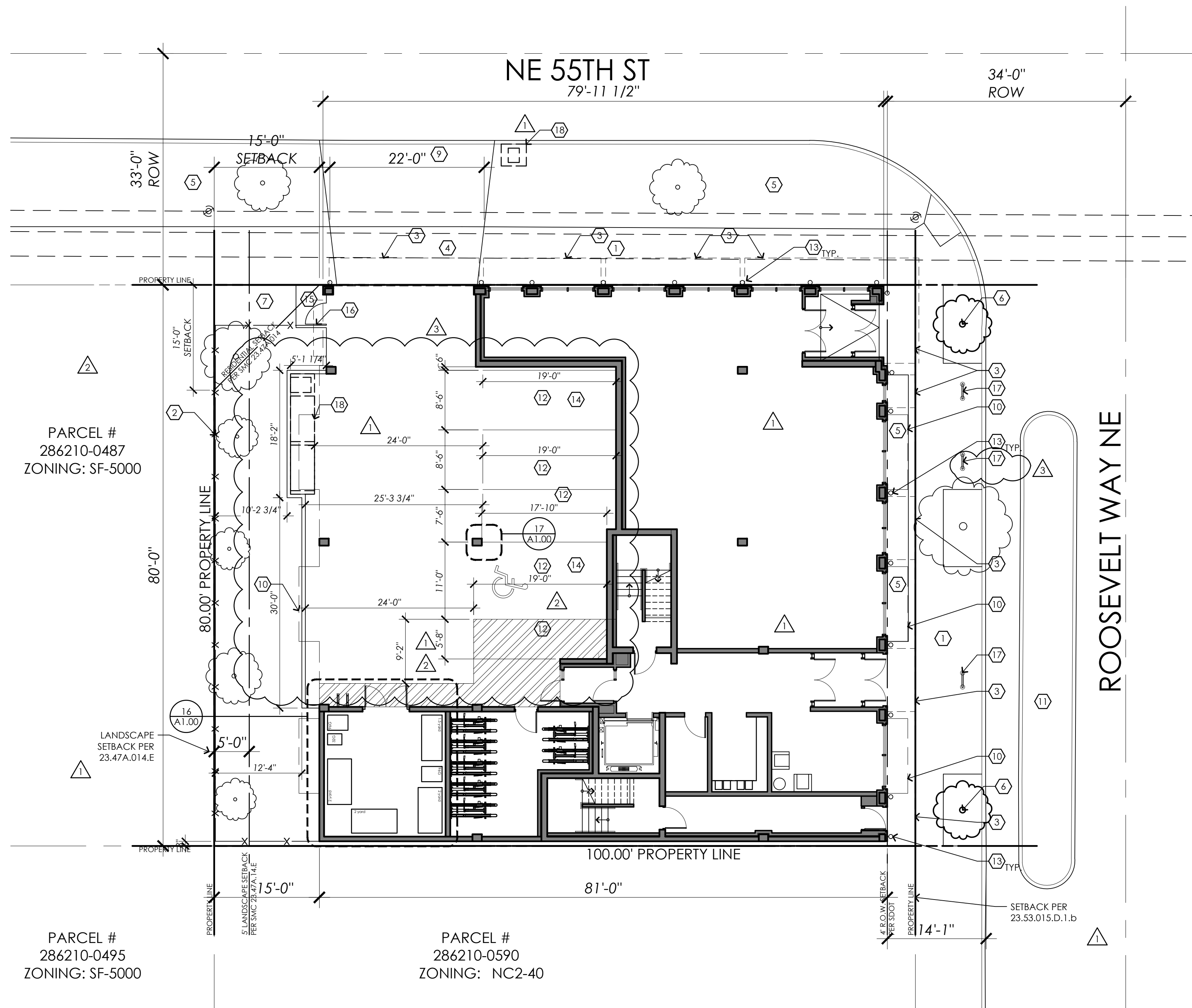
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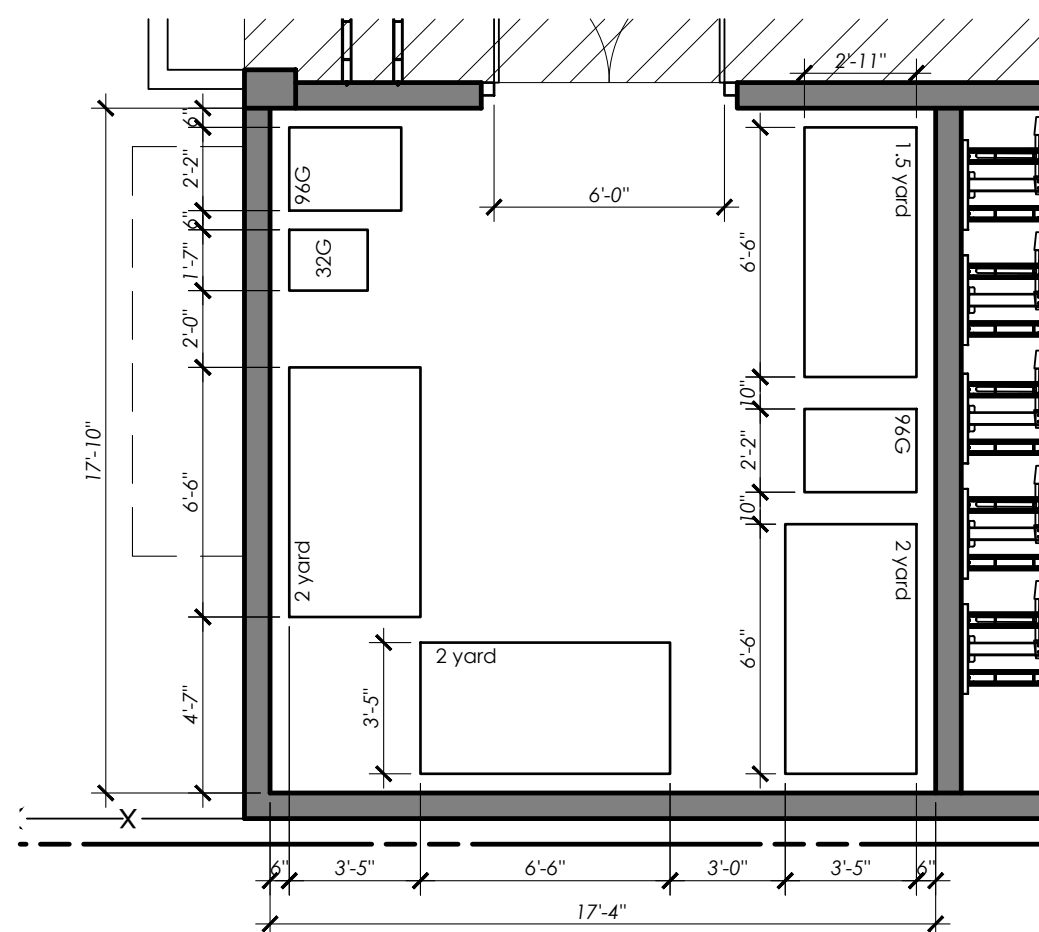
SITE PLAN

SHEET NUMBER

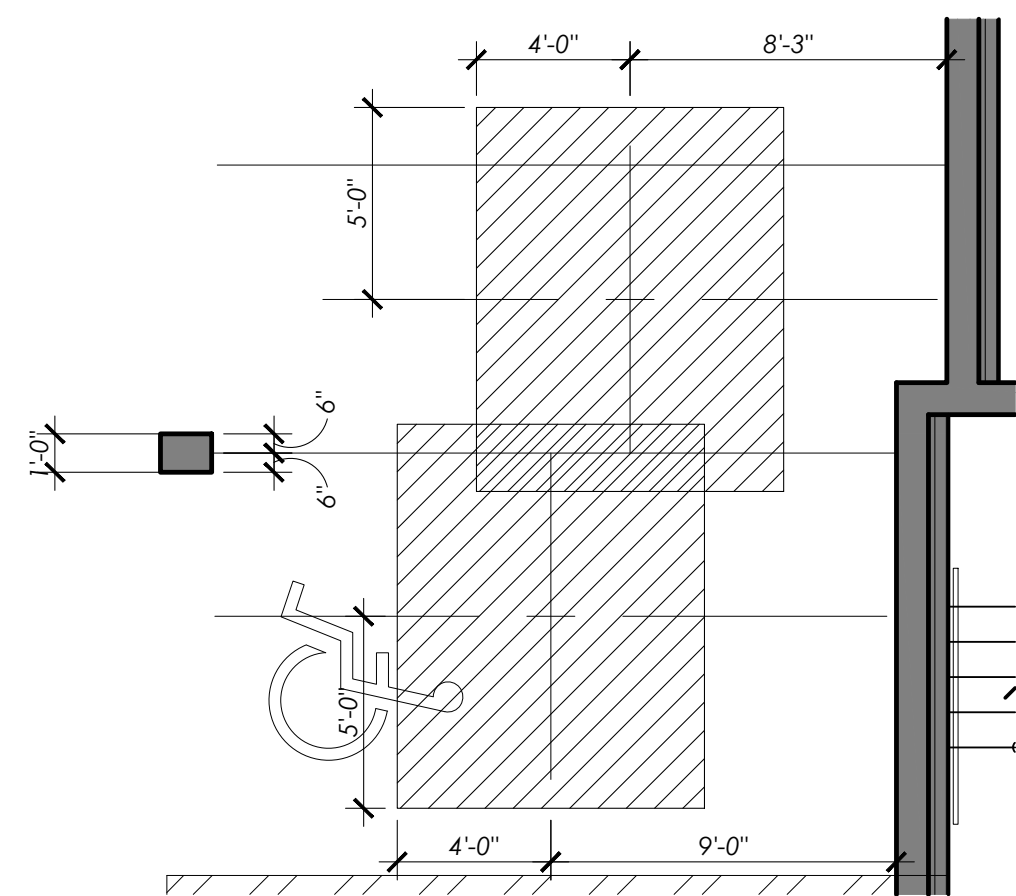
A1.00



11 SITE PLAN
1" = 10'-0"



16 ENLARGED TRASH AREA PLAN
1" = 5'-0"



17 ENLARGED PARKING COLUMN, TYP.
1" = 5'-0"

BICYCLE PARKING REQUIREMENTS

LONG TERM
RESIDENTIAL REQ: 27 SPACES (1 PER DWELLING UNIT)
COMMERCIAL (A.5) REQ: 2 SPACES(1 PER 2000 SF)

TOTAL REQ: 29 SPACES
TOTAL PROVIDED: 30 SPACES

SHORT TERM
RESIDENTIAL REQ: 4 SPACES (1 PER 20 DWELLING UNITS)
COMMERCIAL (A.5) REQ: 2 SPACE (1 PER 10,000 SF)

TOTAL REQ: 6 SPACES
 TOTAL PROVIDED: 6 SPACES

SOLID WASTE REQUIREMENTS

MINIMUM AREA FOR SHARED STORAGE SPACE:	
RESIDENTIAL	375 SF
COMMERCIAL	41 SF
TOTAL	416 SF

SITE PLAN GENERAL NOTES

1. THE SITE SHOWN IS EXISTING AND WILL REMAIN AS IS UNLESS NOTED OTHERWISE.
2. SITE LIGHTING TO HAVE EMERGENCY BACKUPS AS REQUIRED BY CODE.
3. ALL SITE LIGHTING TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES, PER 23.47A.022
4. EV CHARGING INFRASTRUCTURE TO BE COMPLIANT WITH SMC 23.54_.030.L

PARKING REQUIREMENTS

NO PARKING REQUIRED

4 STALLS PROVIDED

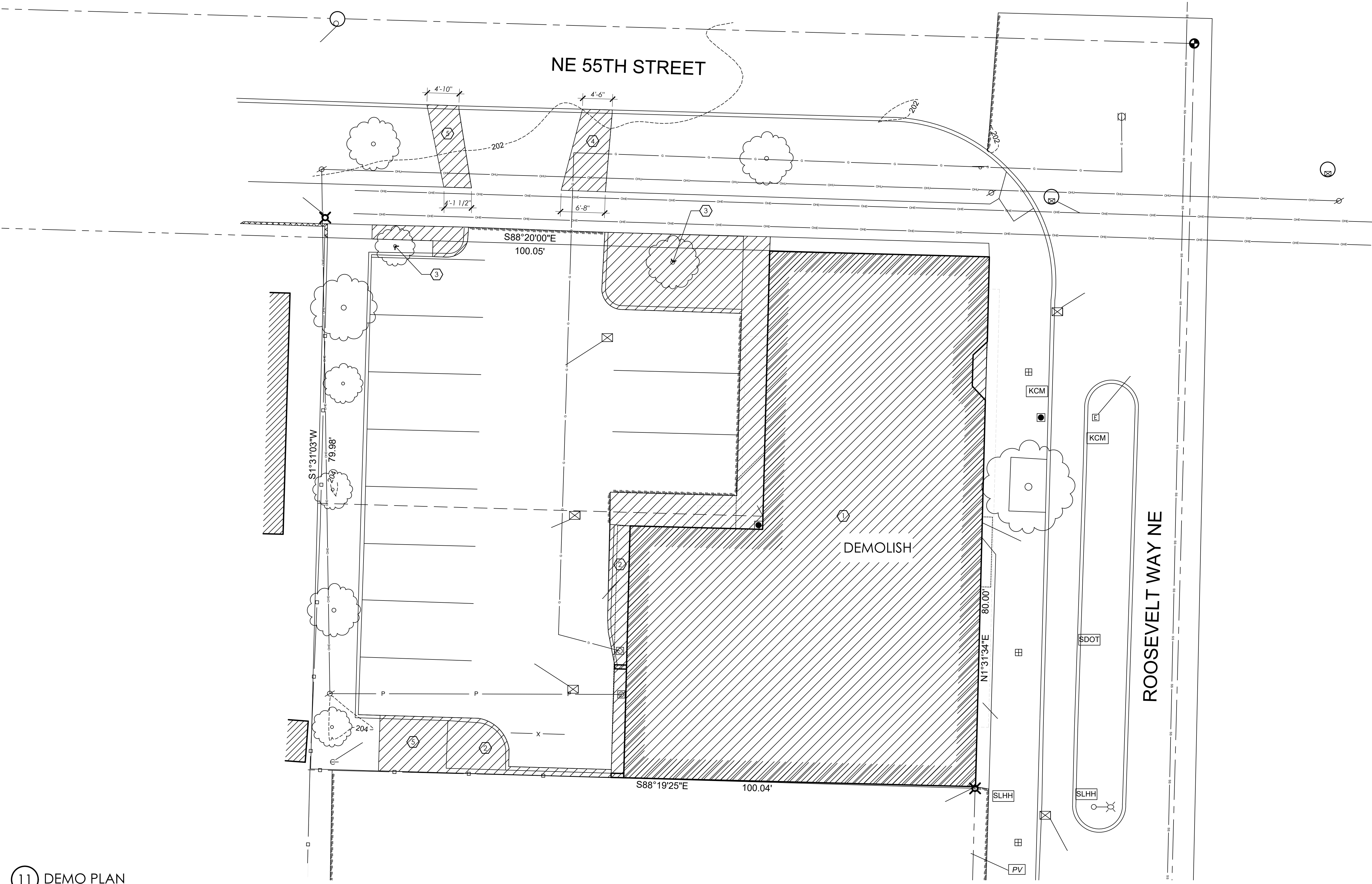
SITE PLAN KEYNOTES

-
- 1 EXISTING SIDEWALK
 - 2 6' FENCE, PER 23.47A.022.C
 - 3 LINE OF METAL CANOPY ABOVE
CONCRETE SIDEWALK. SEE CIVIL.
 - 4 PLANTER STRIP. SEE LANDSCAPE.
 - 5 NEW TREE. SEE LANDSCAPE.
 - 6 LANDSCAPING. SEE LANDSCAPE.
 - 7 EXISTING LANDSCAPING
 - 8 NEW CONCRETE DRIVEWAY. SEE CIVIL.
 - 9 LINE OF BUILDING ABOVE
BUS STOP
 - 10 COMMERCIAL PARKING STALL
 - 11 WALL MOUNTED LIGHT, PROGRESS LIGHTING CYLINDER, BLACK, LED, ON
DAYLIGHT SENSOR.
 - 12 EV PARKING STALL
 - 13 CONCRETE PATH
 - 14 GATE
 - 15 BIKE LOOP
 - 16 TRASH STAGING AREA (CONTAINERS PLACED BY BUILDING MAINTENANCE)

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11
1/8" = 1'-0"

11 DEMO PLAN



DEMO PLAN KEYNOTES

- 1 REMOVE BUILDING
- 2 REMOVE SIDEWALK
- 3 REMOVE TREE
- 4 REMOVE CURB
- 5 REMOVE LANDSCAPING



MORELLA BROS
PROPERTIES, LLC.

P.O. BOX 98063
SEA TAC, WA 98168



TWIST DESIGN INC
4444 WOODLAND PARK AVE N., SUITE 100
SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO: 16359.01

MANAGER: KDC

DRAWN: RC

CHECKED: KDC

REVISION

NO. DATE ISSUE

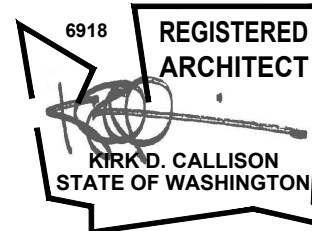
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06/23/20 CORRECTION #1

02/01/21 CORRECTION #2

03/23/21 CORRECTION #3

STAMP



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TITLE

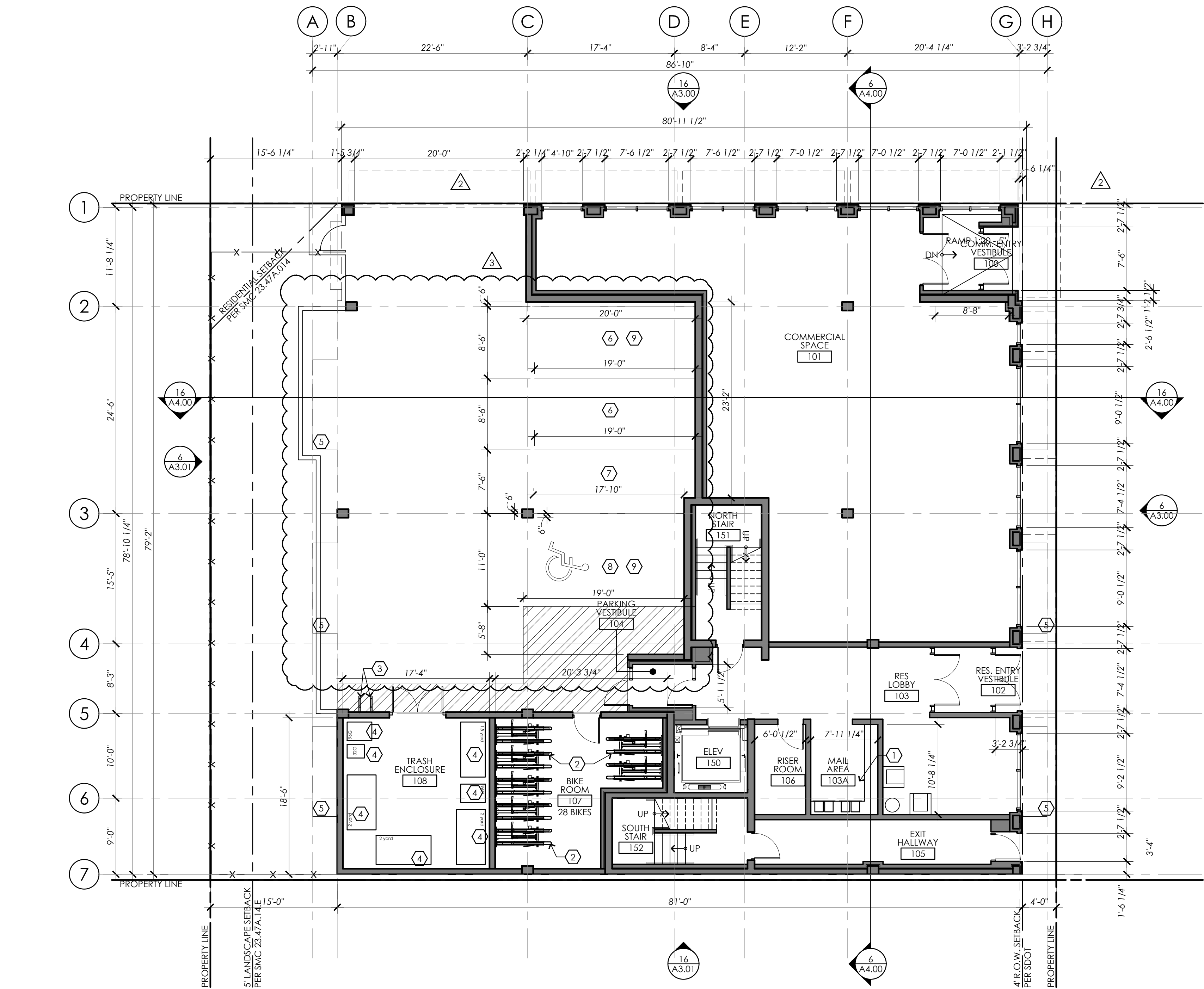
DEMO PLAN

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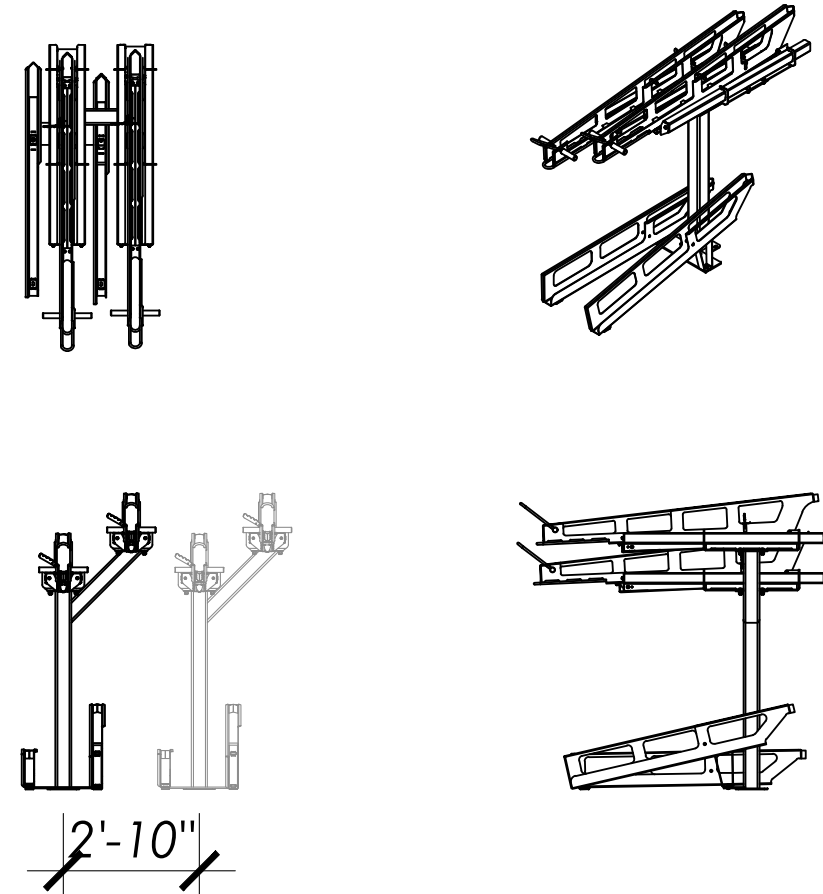
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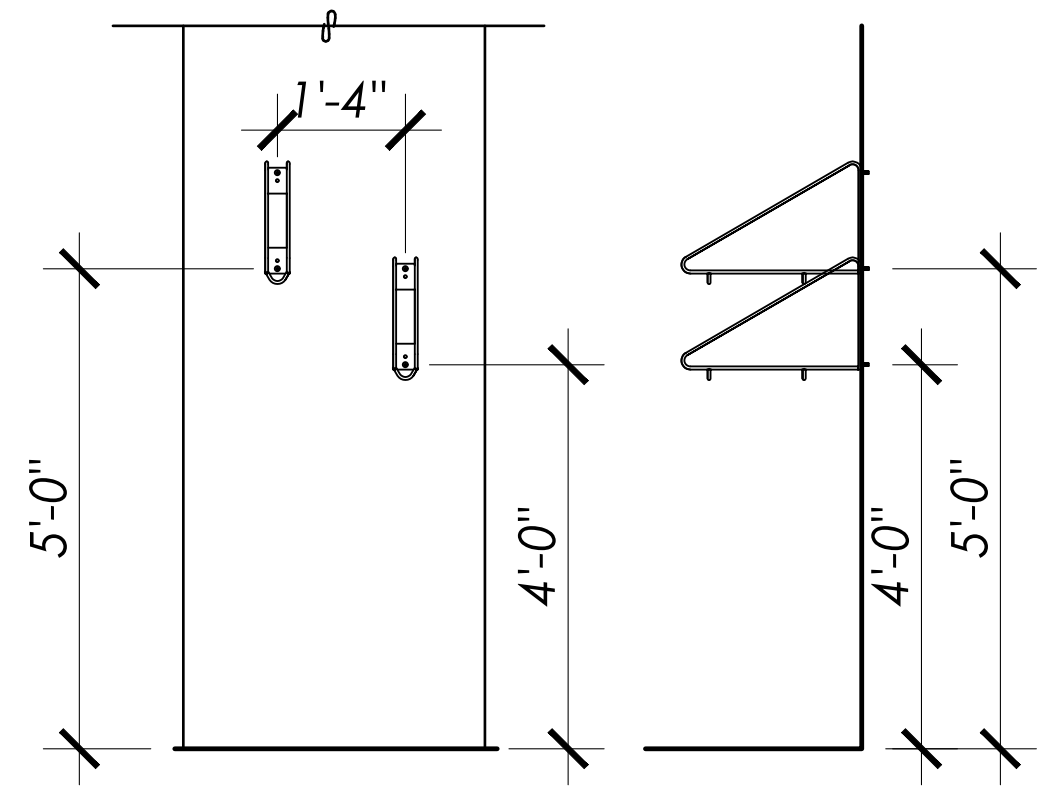
11 FIRST FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN KEYNOTES

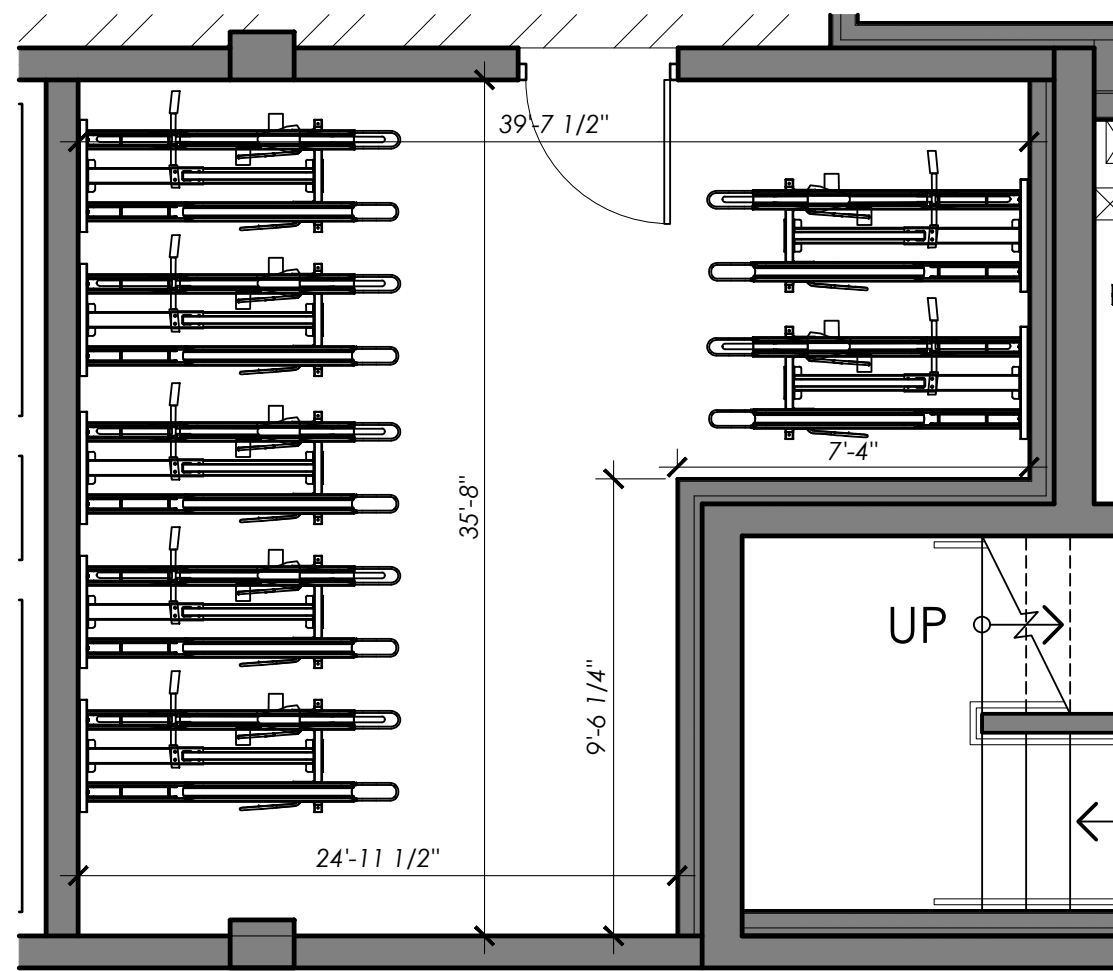
- MAILBOX AREA
- BIKE RACKS: CYCLESAFE QUAD-RACK HI-DENSITY BIKE RACK, 4 BIKE PARKING EACH, 7 RACKS, 28 BIKE PARKING (SEE DETAIL 10/A2.00)
- BIKE RACKS: CYCLESAFE WALL RACK, 1 BIKE PARKING EACH, 2 RACKS, 2 BIKE PARKING (SEE DETAIL 15/A2.00)
- TRASH CONTAINER
- LINE OF BUILDING OVERHEAD
- LARGE COMMERCIAL PARKING STALL
- SMALL COMMERCIAL PARKING STALL
- ACCESSIBLE VAN PARKING STALL
- EV STALL



10 QUAD BIKE RACK DETAILS
1/4" = 1'-0"



15 BIKE WALL RACK DETAIL
1/2" = 1'-0"



11 ENLARGED BIKE ROOM
1/8" = 1'-0"

MORELLA BROS PROPERTIES, LLC.

P.O. BOX 98063
SEA TAC, WA 98168



TWIST DESIGN INC
4444 WOODLAND PARK AVE N., SUITE 100
SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

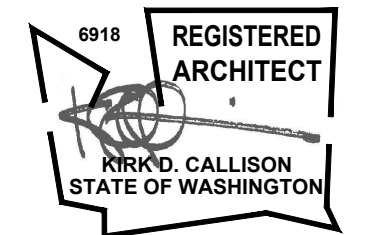
GENERAL

DATE: DECEMBER 16, 2018
PROJECT NO.: 16359.01
MANAGER: KDC
DRAWN: RC
CHECKED: KDC

REVISION

NO.	DATE	ISSUE
1	12/16/19	MUP SET
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3	02/01/21	CORRECTION #2
4	03/23/21	CORRECTION #3

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TITLE

FIRST FLOOR PLAN

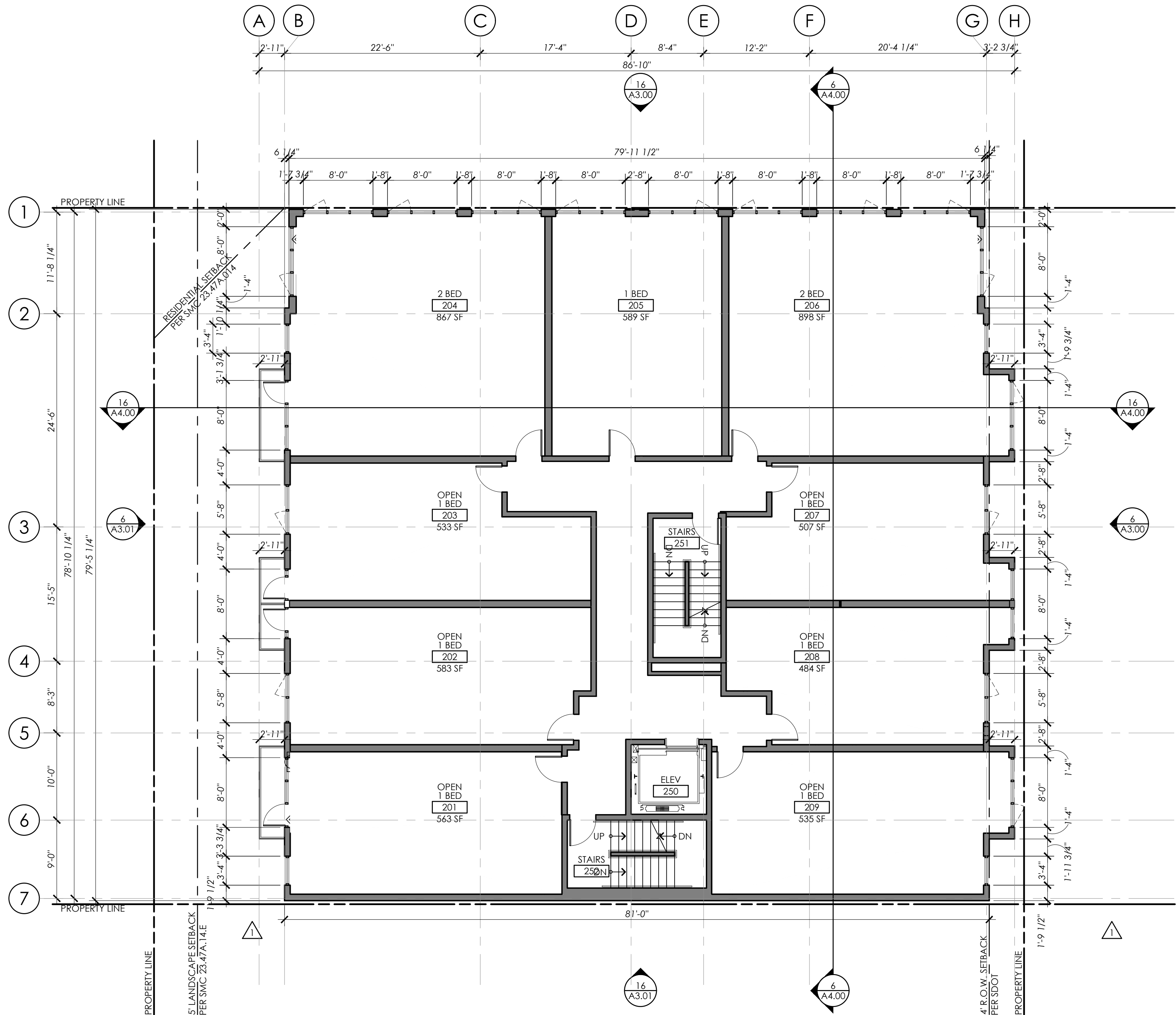
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11 SECOND FLOOR PLAN
1/8" = 1'-0"



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SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO.: 16359.01

MANAGER: KDC

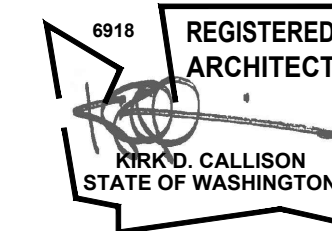
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REVISION

NO.	DATE	ISSUE
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2	06/23/20	CORRECTION #1
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4	03/23/21	CORRECTION #3

STAMP



DPD DEDICATED APPROVAL STAMP SPACE

TITLE

SECOND
FLOOR PLAN

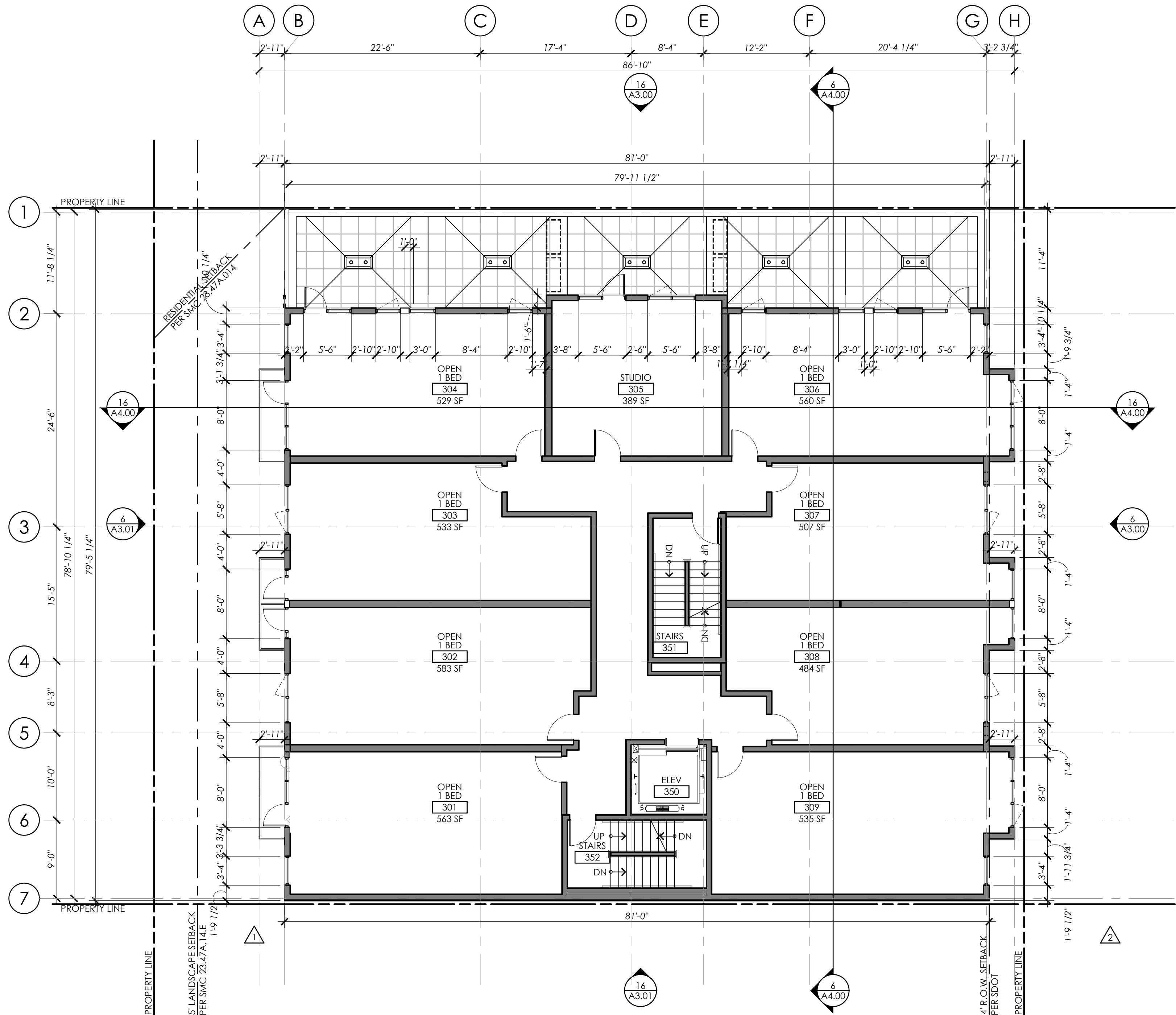
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11 THIRD FLOOR PLAN
1/8" = 1'-0"



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SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO.: 16359.01

MANAGER: KDC

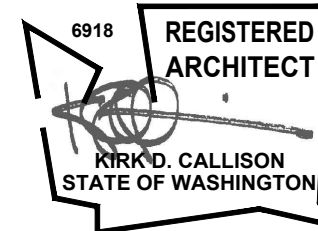
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CHECKED: KDC

REVISION

NO.	DATE	ISSUE
	12/16/19	MUP SET
△	06/23/20	CORRECTION #1
△	02/01/21	CORRECTION #2
△	03/23/21	CORRECTION #3

STAMP



DPD DEDICATED APPROVAL STAMP SPACE

TITLE

THIRD
FLOOR PLAN

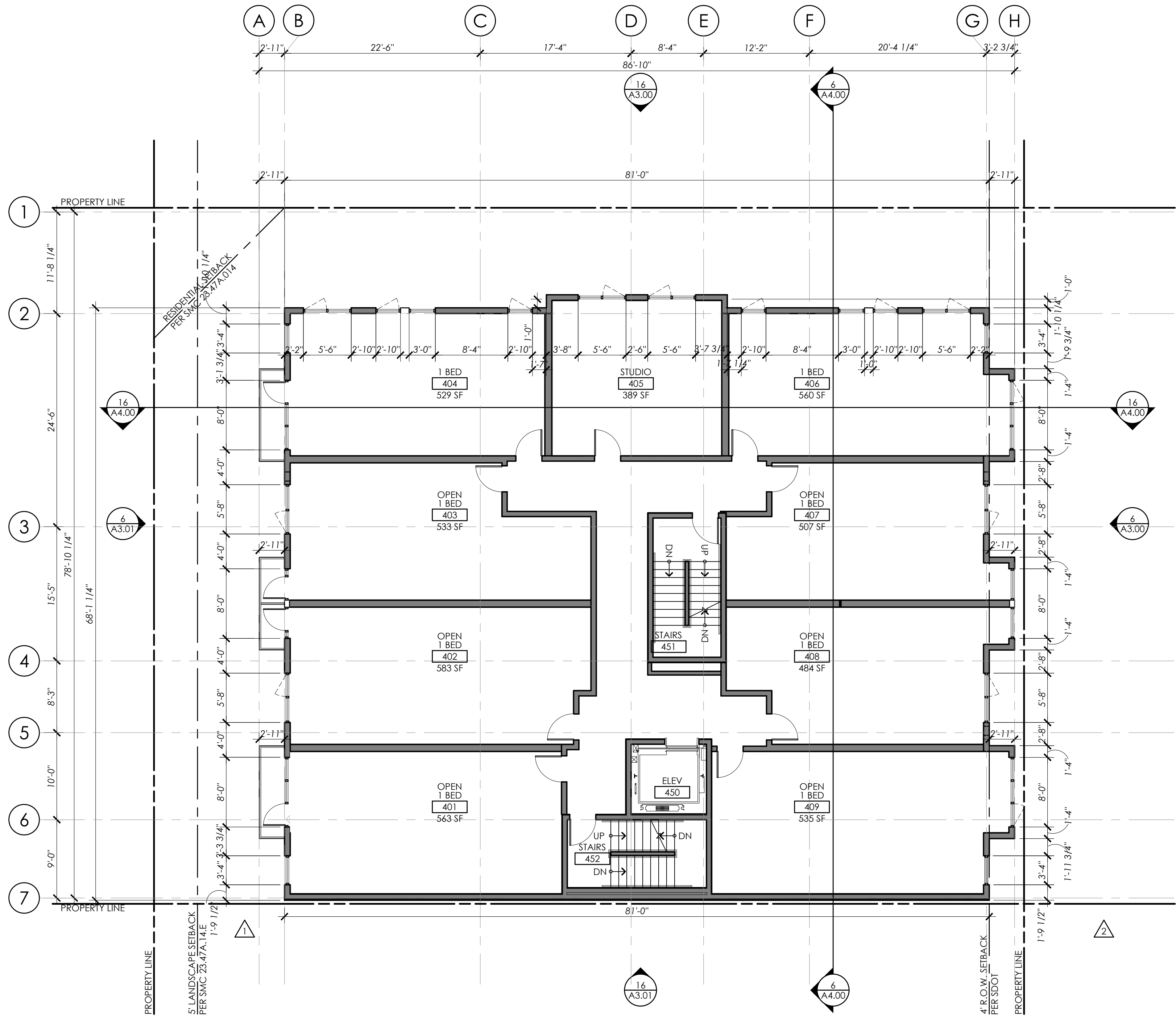
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11 FOURTH FLOOR PLAN
1/8" = 1'-0"



MORELLA BROS
PROPERTIES, LLC.

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SEA TAC, WA 98168



TWIST DESIGN INC
4444 WOODLAND PARK AVE N., SUITE 100
SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO.: 16359.01

MANAGER: KDC

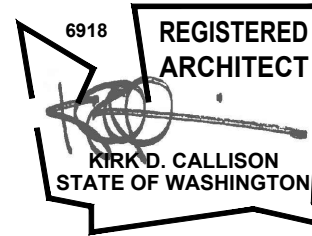
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CHECKED: KDC

REVISION

NO.	DATE	ISSUE
	12/16/19	MUP SET
△	06/23/20	CORRECTION #1
△	02/01/21	CORRECTION #2
△	03/23/21	CORRECTION #3

STAMP



DPD DEDICATED APPROVAL STAMP SPACE

TITLE

FOURTH
FLOOR PLAN

SHEET NUMBER

A2.03



- 1 TPO ROOFING.
- 2 METAL TRELLIS ABOVE.
- 3 PAVERS.
- 4 DOOR TO HAVE PANIC HARDWARE AND CLOSER.
- 5 PLANTERS. SEE LANDSCAPE.
- 6 GREEN ROOF TRAYS. SEE LANDSCAPE.
- 7 SOLAR PANEL AREA.
- 8 CANOPY ABOVE.

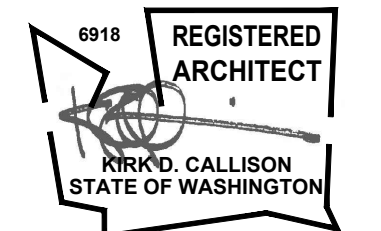
PROJECT

DESIGN TEAM

GENERAL	
DATE:	DECEMBER 16, 2018
PROJECT NO:	16359.01
MANAGER:	KDC
DRAWN:	RC
CHECKED:	KDC

REVISION		
NO.	DATE	ISSUE
	12/16/19	MUP SET
1	06/23/20	CORRECTION #1
2	02/01/21	CORRECTION #2
3	03/23/21	CORRECTION #3

STAMP



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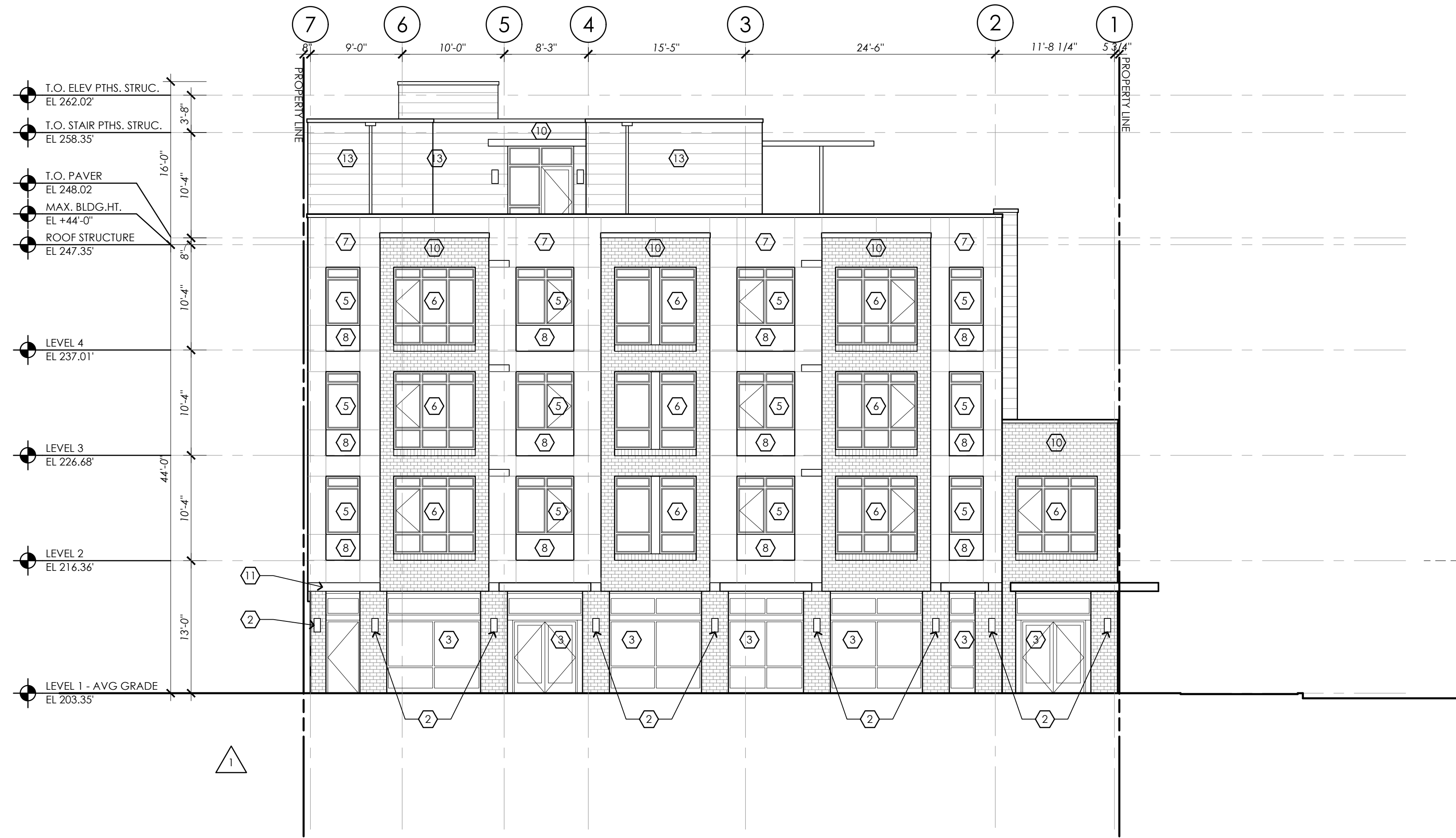
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S:\1-PROJECTS\339-MORELLA\16359.01 - 55TH AND ROOSEVELT WAY\02-CADD ARCHIVE\MAP 2



6 EAST ELEVATION
1/8" = 1'-0"



16 NORTH ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

- 1 METAL CANOPY, PAINTED, SEE DETAIL 1 & 2/A4.03.
- 2 LED WALL SCONCE CENTERED @ 7'-6" A.F.F. - PROGRESS CYLINDER - BLACK.
- 3 ALUMINUM STOREFRONT, KAWNEER, CLEAR FINISH.
- 4 ARCHITECTURAL CONCRETE, NATURAL.
- 5 VINYL WINDOW, PLYGEM, WHITE.
- 6 VINYL WINDOW, PLYGEM, CLAY.
- 7 FIBER CEMENT PANEL SIDING, BM, CHELSEA GRAY, HC-168.
- 8 FIBER CEMENT PANEL SIDING, BM, HALE NAVY, HC-154.
- 9 FACTORY FINISHED CAP FLASHING, GRAY.
- 10 BRICK, SMOOTH FINISH, DARK BROWN.
- 11 METAL CANOPY
- 12 4" STEEL MESH GRILLE
- 13 FIBER CEMENT HORIZONTAL SIDING, BM, HALE HAVY, HC-154.
- 14 FIBER CEMENT VERTICAL SIDING, BM, HALE HAVY, HC-154.
- 15 CMU BLOCK
- 16 WOOD FENCE
- 17 DECK W/ BALCONY

MORELLA BROS
PROPERTIES, LLC.

P.O. BOX 98063
SEA TAC, WA 98168



TWIST DESIGN INC
4444 WOODLAND PARK AVE N., SUITE 100
SEATTLE, WA 98103 (206) 402 4484

PROJECT

**55TH AND
ROOSEVELT**
5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

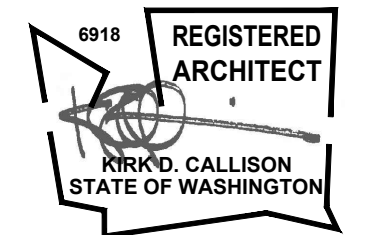
GENERAL

DATE: DECEMBER 16, 2018
PROJECT NO: 16359.01
MANAGER: KDC
DRAWN: RC
CHECKED: KDC

REVISION

NO.	DATE	ISSUE
1	12/16/19	MUP SET
2	06/23/20	CORRECTION #1
3	02/01/21	CORRECTION #2
4	03/23/21	CORRECTION #3

STAMP



DPD DEDICATED APPROVAL STAMP SPACE

TITLE

ELEVATIONS

SHEET NUMBER

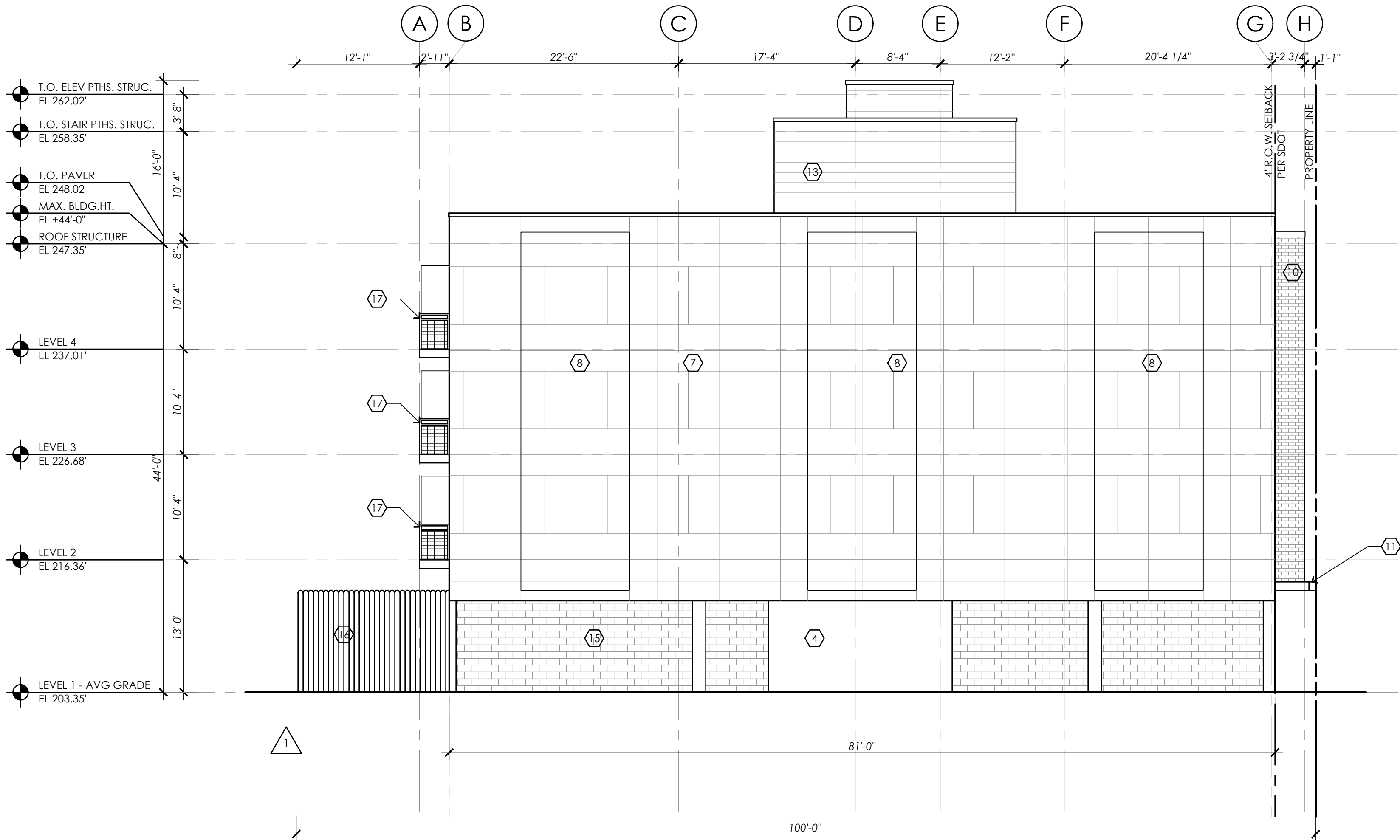
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S:\1-PROJECTS\359-MORELLA\16359.01 - 55TH AND ROOSEVELT WAY\02-CADD ARCHIVE\MAP 2



6 WEST ELEVATION
1/8" = 1'-0"



16 SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES

- 1 METAL CANOPY, PAINTED, SEE DETAIL 1 & 2/A4.03.
- 2 LED WALL SCONCE CENTERED @ 7'-6" A.F.F. - PROGRESS CYLINDER - BLACK.
- 3 ALUMINUM STOREFRONT, KAWNEER, CLEAR FINISH.
- 4 ARCHITECTURAL CONCRETE, NATURAL.
- 5 VINYL WINDOW, PLYGEM, WHITE.
- 6 VINYL WINDOW, PLYGEM, CLAY.
- 7 FIBER CEMENT PANEL SIDING, BM, CHELSEA GRAY, HC-168.
- 8 FIBER CEMENT PANEL SIDING, BM, HALE NAVY, HC-154.
- 9 FACTORY FINISHED CAP FLASHING, GRAY.
- 10 BRICK, SMOOTH FINISH, DARK BROWN.
- 11 METAL CANOPY
- 12 4" STEEL MESH GRILLE
- 13 FIBER CEMENT HORIZONTAL SIDING, BM, HALE NAVY, HC-154
- 14 FIBER CEMENT VERTICAL SIDING, BM, HALE NAVY, HC-154
- 15 CMU BLOCK
- 16 WOOD FENCE
- 17 METAL DECK W/ RAILING

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SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

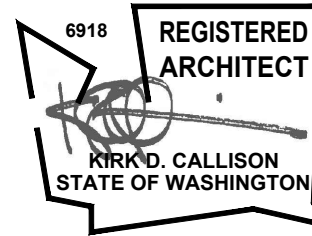
GENERAL

DATE: DECEMBER 16, 2018
PROJECT NO: 16359.01
MANAGER: KDC
DRAWN: RC
CHECKED: KDC

REVISION

NO.	DATE	ISSUE
	12/16/19	MUP SET
1	06/23/20	CORRECTION #1
2	02/01/21	CORRECTION #2
3	03/23/21	CORRECTION #3

STAMP



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COLORED ELEVATION LEGEND

- 1

BRICK, MUTUAL MATERIALS MIX: COAL CREEK.
- 2

BENJAMIN MOORE EXTERIOR PAINT COLOR: CHELSEA GRAY, HC-168
- 3

BENJAMIN MOORE EXTERIOR PAINT COLOR: HALE NAVY, HC-154
- 4

VINYL WINDOW, PLYGEM - COLOR: WHITE
- 5

VINYL WINDOW, PLYGEM - COLOR: CLAY
- 6

CONCRETE - COLOR: NATURAL AND/OR STAMPED NATURAL
- 7

CMU BLOCK - COLOR: NATURAL



8 EAST ELEVATION
1/8" = 1'-0"



18 NORTH ELEVATION
1/8" = 1'-0"

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PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO: 16359.01

MANAGER: KDC

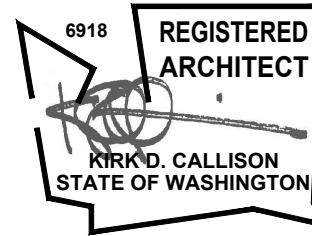
DRAWN: RC

CHECKED: KDC

REVISION

NO.	DATE	ISSUE
	12/16/19	MUP SET
△	06/23/20	CORRECTION #1
△	02/01/21	CORRECTION #2
△	03/23/21	CORRECTION #3

STAMP



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TITLE

COLORED
ELEVATIONS

SHEET NUMBER

A3.02

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COLORED ELEVATION LEGEND

- 1

BRICK, MUTUAL MATERIALS MIX: COAL CREEK.
- 2

BENJAMIN MOORE EXTERIOR PAINT COLOR: CHELSEA GRAY, HC-168
- 3

BENJAMIN MOORE EXTERIOR PAINT COLOR: HALE NAVY, HC-154
- 4

VINYL WINDOW, PLYGEM - COLOR: WHITE
- 5

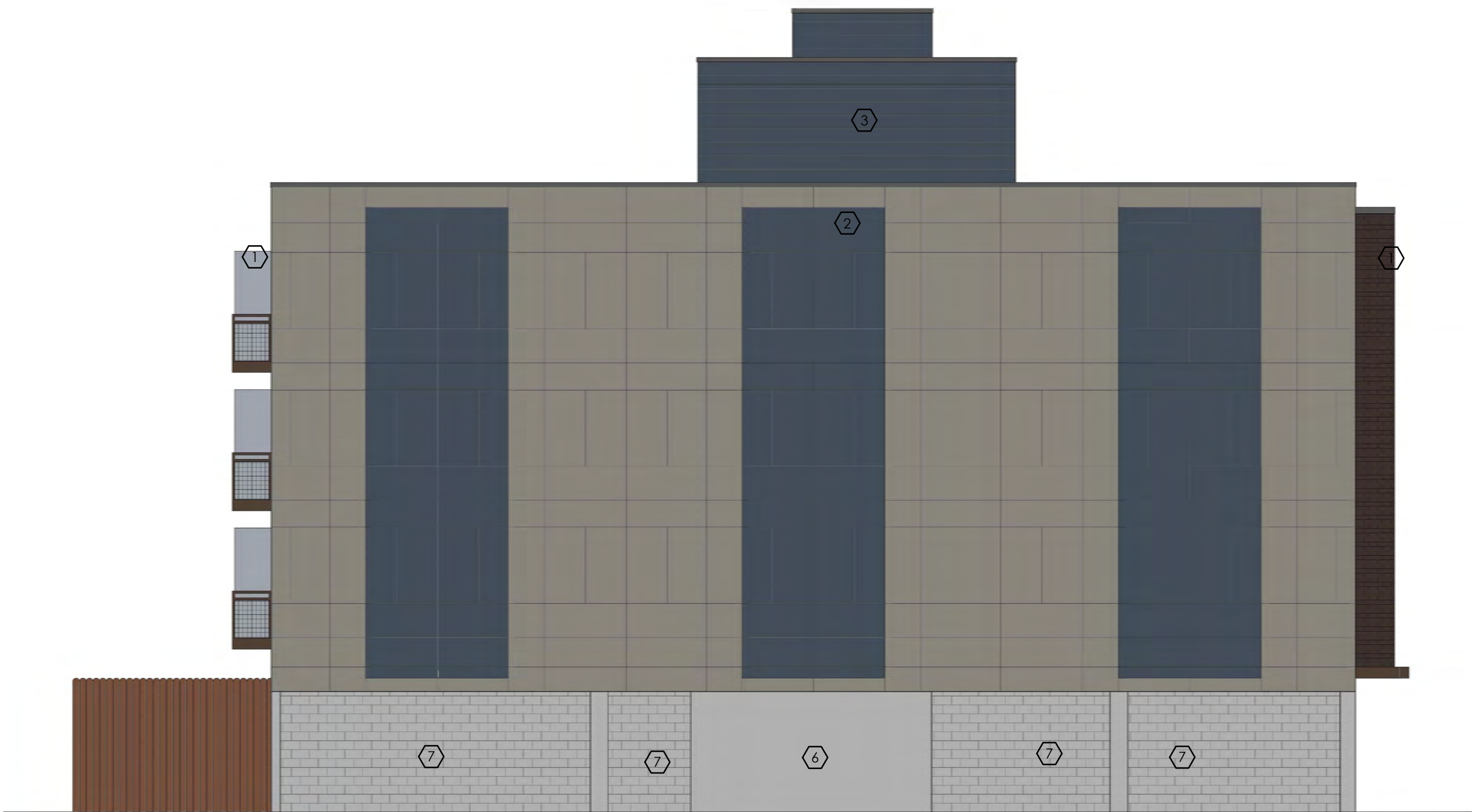
VINYL WINDOW, PLYGEM - COLOR: CLAY
- 6

CONCRETE - COLOR: NATURAL AND/OR STAMPED NATURAL
- 7

CMU BLOCK - COLOR: NATURAL



8 WEST ELEVATION
1/8" = 1'-0"



18 SOUTH ELEVATION
1/8" = 1'-0"

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PROPERTIES, LLC.

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SEATTLE, WA 98103 (206) 402 4484

PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO: 16359.01

MANAGER: KDC

DRAWN: RC

CHECKED: KDC

REVISION

NO. DATE ISSUE

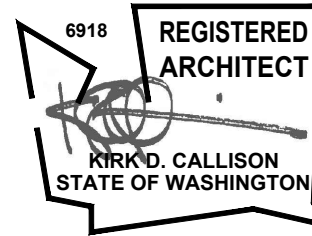
12/16/19 MUP SET

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02/01/21 CORRECTION #2

03/23/21 CORRECTION #3

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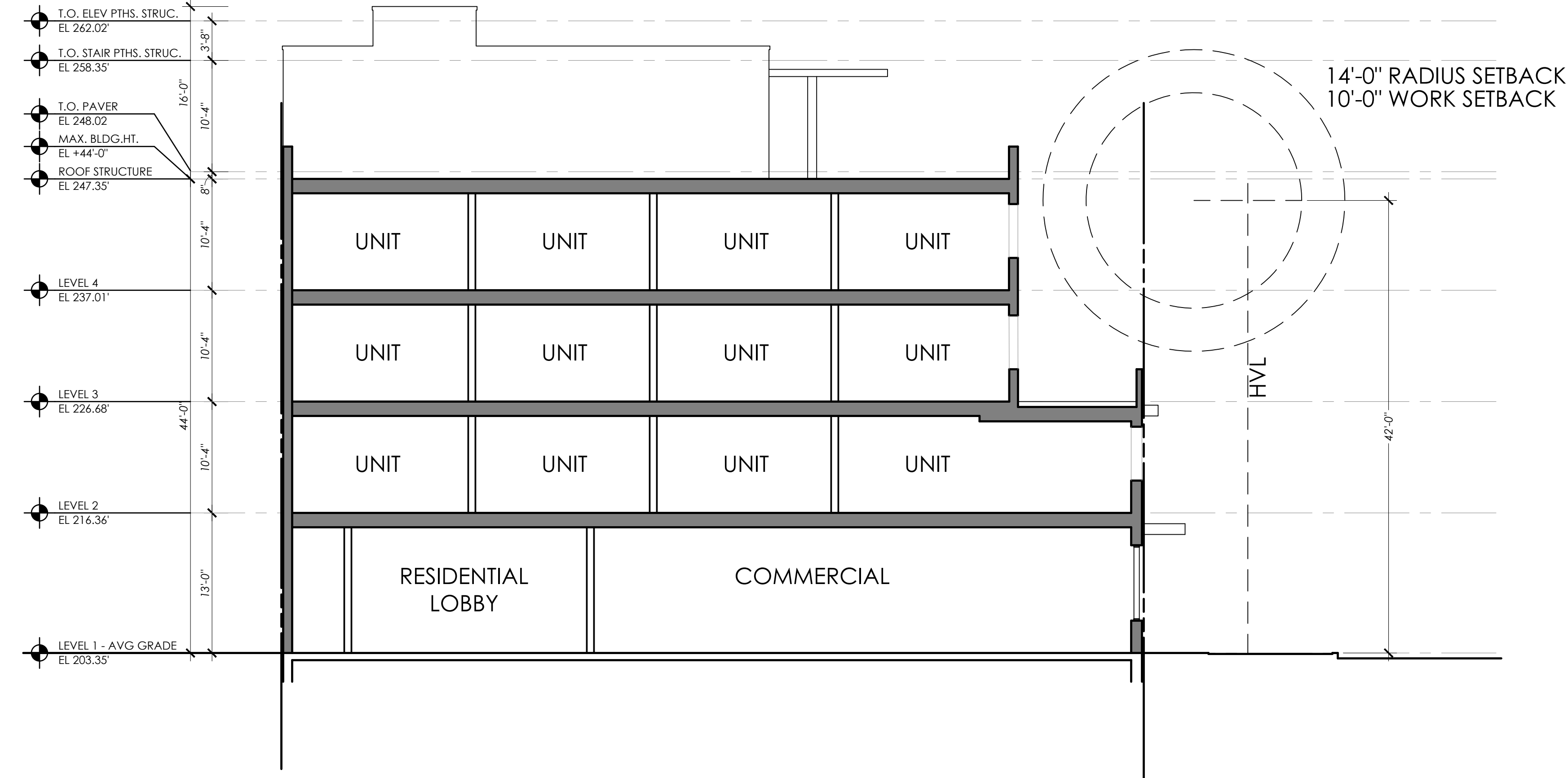
COLORED
ELEVATIONS

SHEET NUMBER

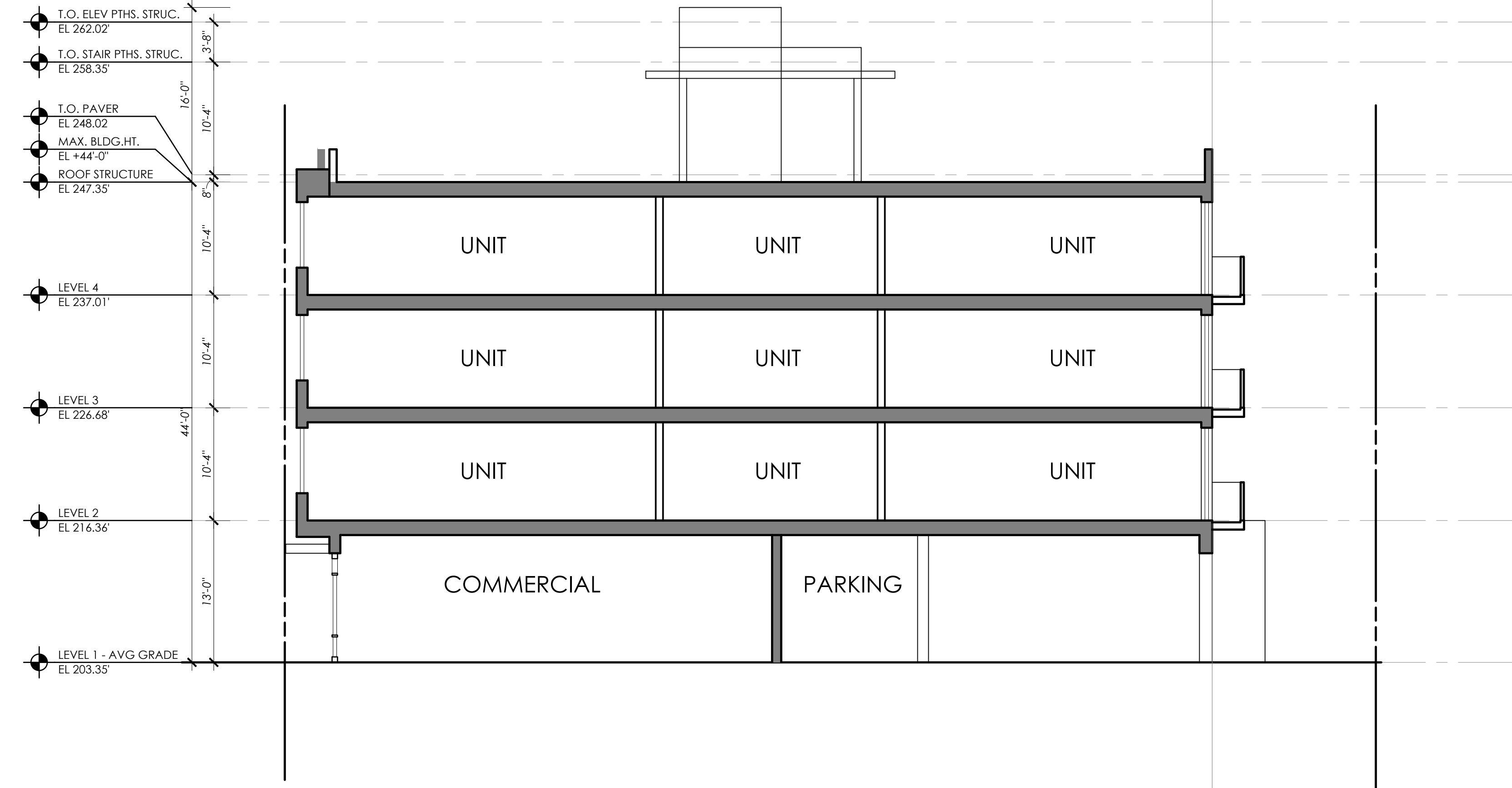
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6 BUILDING SECTION
1/8" = 1'-0"



16 BUILDING SECTION
1/8" = 1'-0"

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4444 WOODLAND PARK AVE N., SUITE 100
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PROJECT

55TH AND
ROOSEVELT

5339 ROOSEVELT WAY NE
SEATTLE, WA 98105

DESIGN TEAM

GENERAL

DATE: DECEMBER 16, 2018

PROJECT NO: 16359.01

MANAGER: KDC

DRAWN: RC

CHECKED: KDC

REVISION

NO. DATE ISSUE

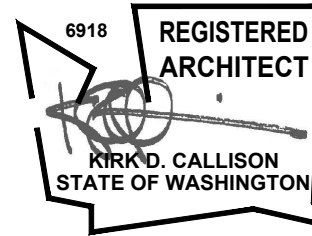
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02/01/21 CORRECTION #2

03/23/21 CORRECTION #3

STAMP



DPD DEDICATED APPROVAL STAMP SPACE

TITLE

BUILDING SECTIONS

SHEET NUMBER

A4.00